

CITY OF MUSKEGON

HISTORIC DISTRICT COMMISSION

MEETING

August 13, 2026 @ 4:00 PM
MUSKEGON CITY HALL, ROOM 204
933 TERRACE STREET, MUSKEGON, MI 49440

- ☐ **CALL TO ORDER:**
- ☐ **ROLL CALL:**
- ☐ **APPROVAL OF MINUTES:**
- ☐ **OLD BUSINESS:**
- ☐ **NEW BUSINESS:**
 - A. Case 2026-15: 502 W Webster Planning**
- ☐ **ANY OTHER BUSINESS:**
- ☐ **PUBLIC COMMENT:**
- ☐ **ADJOURNMENT:**

AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk's Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit: www.shorelinecity.com

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours' notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following:

Ann Marie Meisch, MMC. City Clerk. 933 Terrace St. Muskegon, MI 49440. (231)724-6705.
clerk@shorelinecity.com



Agenda Item Review Form

Muskegon Historic District Commission

Case 2026-15: 502 W Webster	Description of Work: Roof, Porch, and Carriage House Construction
Applicant: Evan Case	District: Clay-Western
Current Use: Residential	Date of Construction: 1/1/1874
Discussion: This house suffered a fire in May and the attached garage was demolished as a result of the damage. As part of the process of repairing what remains, the applicant is seeking approval to replace the main hipped roof on the rear addition, and add a new, 5'-wide covered porch that extends around to the north (rear) elevation. The applicant is also seeking approval to construct a new 26' x 26' two-story carriage house building in the rear yard.	
Standards: See attached <i>Porch and Deck Standards and Guidelines</i> and <i>Design Guidelines for New Construction</i> .	
Deliberation: I move that the HDC (approve/deny) the request to replace the main hipped roof on the rear addition, add a new, 5'-wide covered porch that extends around to the north (rear) elevation, and construct a new 26' x 26' two-story carriage house building in the rear yard as depicted in the August 13, 2026 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.	



View of house from W. Webster Avenue, looking west (photo from May 2026, prior to the fire). Former rear addition/attached garage visible at right.



Current view of house from W. Webster Avenue, looking west.



View of rear addition from 6th Street prior to fire (photo from October 2019).



View of rear addition from 6th Street after the fire, but prior to demolition of roof and garage.



View of rear addition from 6th Street after demolition.



View of rear elevation after the fire, but before demolition.



View of side porch and south (rear) elevation after demolition of garage.



View of west (side) elevation (photo from October 2017, prior to fire).



View of west (side) elevation after demolition.

ROUGH DRAFT
NOT FOR CONSTRUCTION



SCALE: 1" = 20' +/-

TO BE CONSTRUCTED IN ACCORDANCE
WITH ALL APPLICABLE CODE REQUIREMENTS.

231 HOME DESIGN LLC ATTEMPTS TO PROVIDE DRAWINGS THAT ARE AS ACCURATE AS POSSIBLE, THE GENERAL & SUB CONTRACTORS ARE RESPONSIBLE FOR THE VERIFICATION OF DETAILS & ALL DIMENSIONS PRIOR TO AS WELL AS DURING THE CONSTRUCTION OF THIS PROJECT, CONFORMING TO ALL LOCAL & STATE CODES, THE SCALE OF THIS DRAWING IS OVERRULED BY ACTUAL DIMENSIONS. PLEASE REPORT ANY DISCREPANCIES TO 231 HOME DESIGN LLC.

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Layout Page Table			
Label	Title	Description	Comments
P-2	Plot Plan		
A-1	1st Floor Plan		
A-2	2nd Floor Plan		
A-5	Foundation Plan		
E-1	Exterior Elevations		
E-2	Exterior Elevations		



REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR
1	7/27/26	J. DAVIS

502 W. WEBSTER

Plot Plan

231 HOME DESIGN

DATE:

8/4/2026

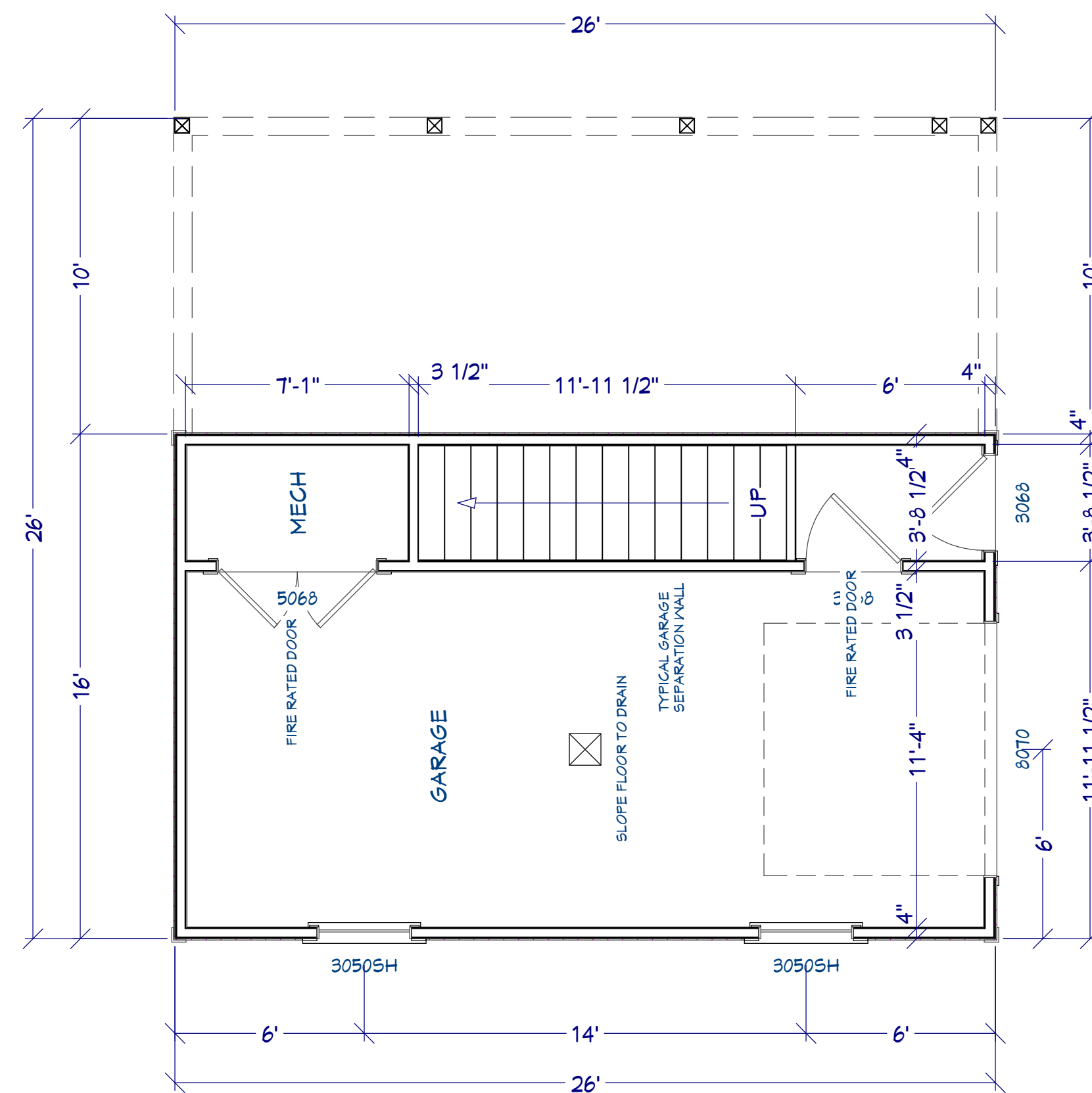
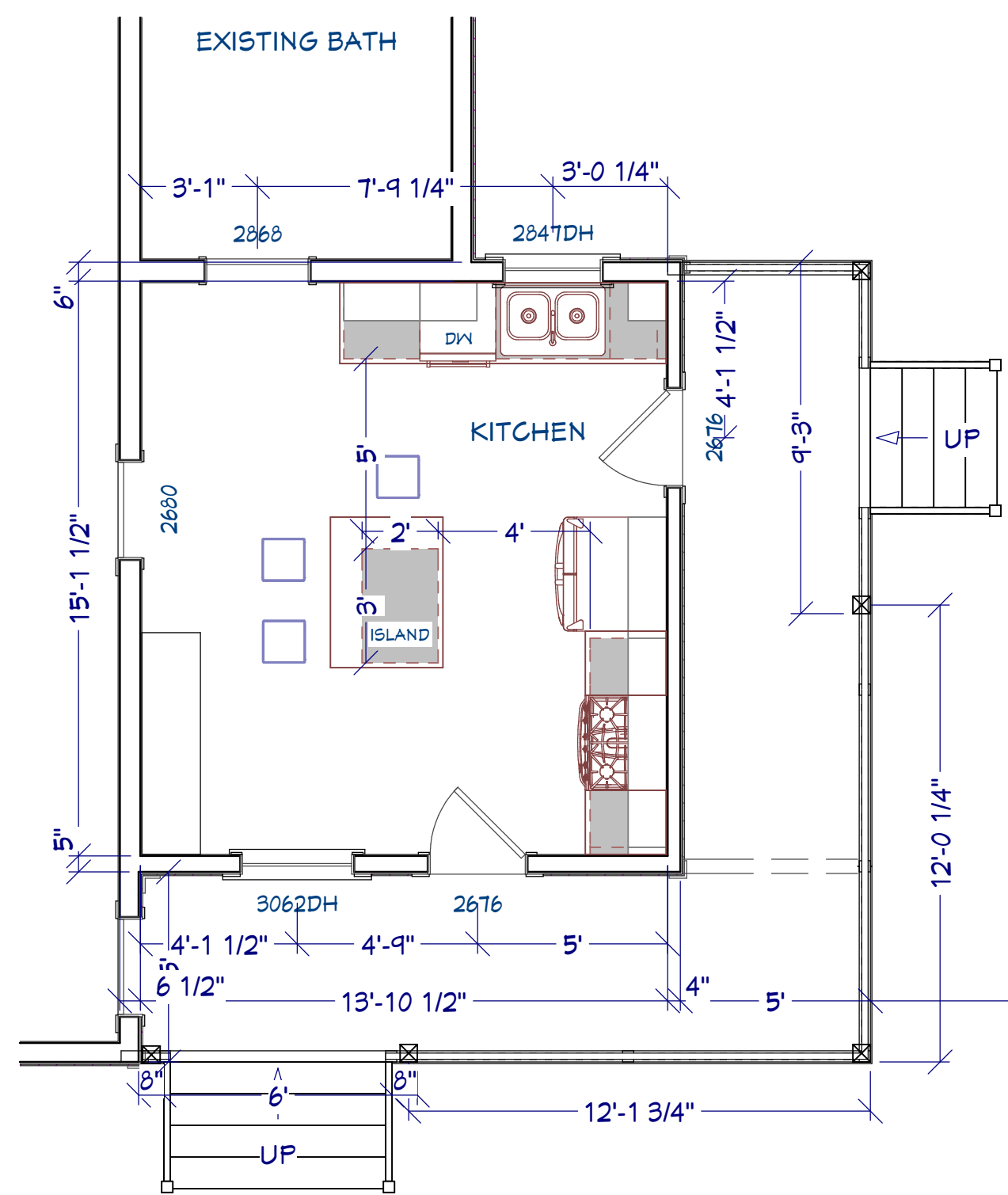
SCALE:

1/4" = 1'

SHEET:

P-2

ROUGH DRAFT
NOT FOR CONSTRUCTION



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502 W. WEBSTER

1st Floor Plan

231 HOME DESIGN

DRAWINGS PROVIDED BY:

DATE:

8/4/2026

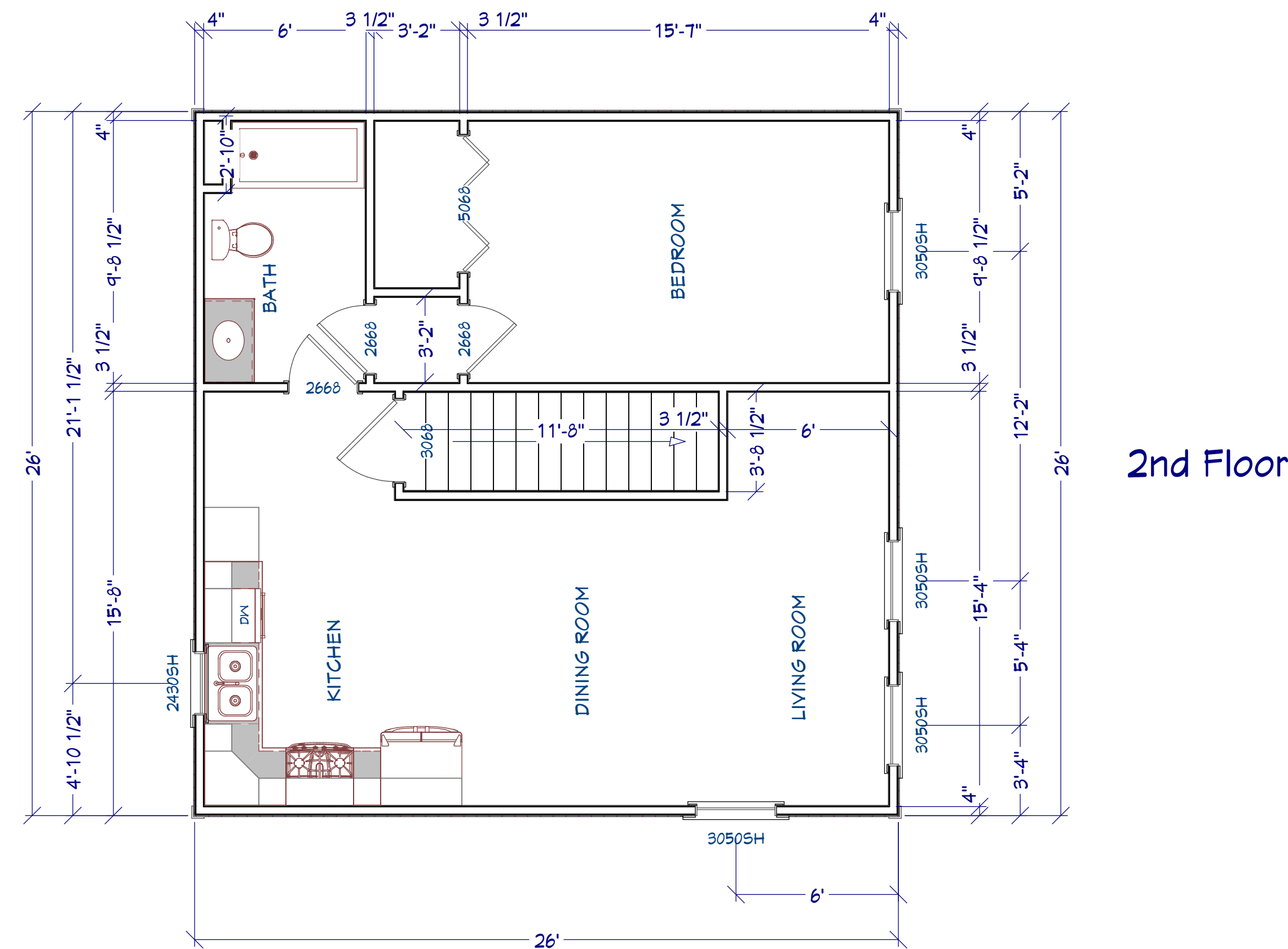
SCALE:

1/4" = 1'

SHEET:

A-1

ROUGH DRAFT
NOT FOR CONSTRUCTION



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502 W. WEBSTER

2nd Floor Plan

231 HOME DESIGN

DRAWINGS PROVIDED BY:

DATE:

8/4/2026

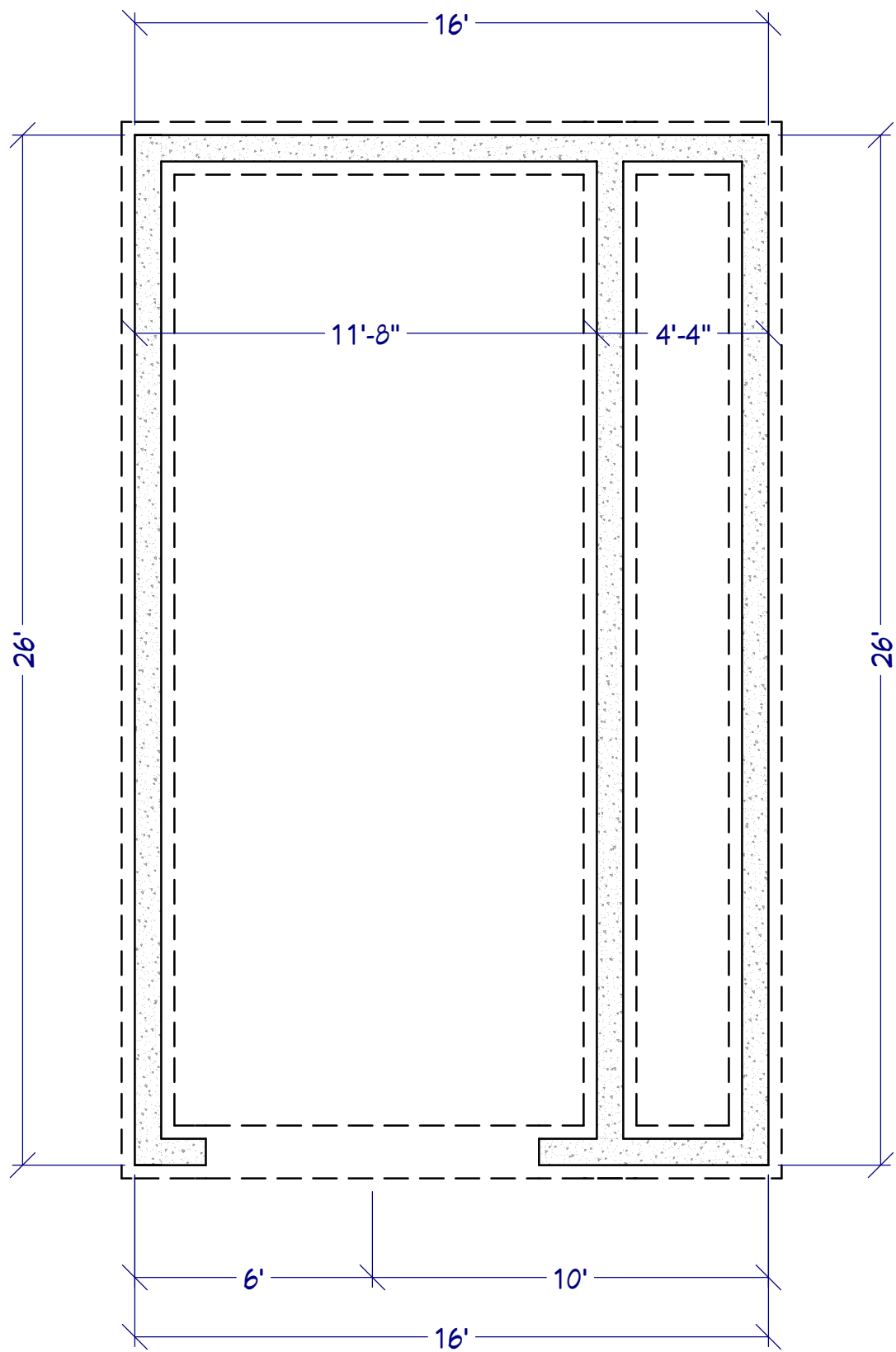
SCALE:

1/4" = 1'

SHEET:

A-2

ROUGH DRAFT
NOT FOR CONSTRUCTION



Foundation

TO BE CONSTRUCTED IN ACCORDANCE
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502 W. WEBSTER

Foundation Plan

231 HOME DESIGN

DATE:

8/4/2026

SCALE:

1/4" = 1'

SHEET:

A-5

ROUGH DRAFT
NOT FOR CONSTRUCTION



Left Elevation



Right Elevation



Rear Elevation

TO BE CONSTRUCTED IN ACCORDANCE
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		ROUGH DRAFT

502 W. WEBSTER

Exterior Elevations

231 HOME DESIGN

DRAWINGS PROVIDED BY:

DATE:

8/4/2026

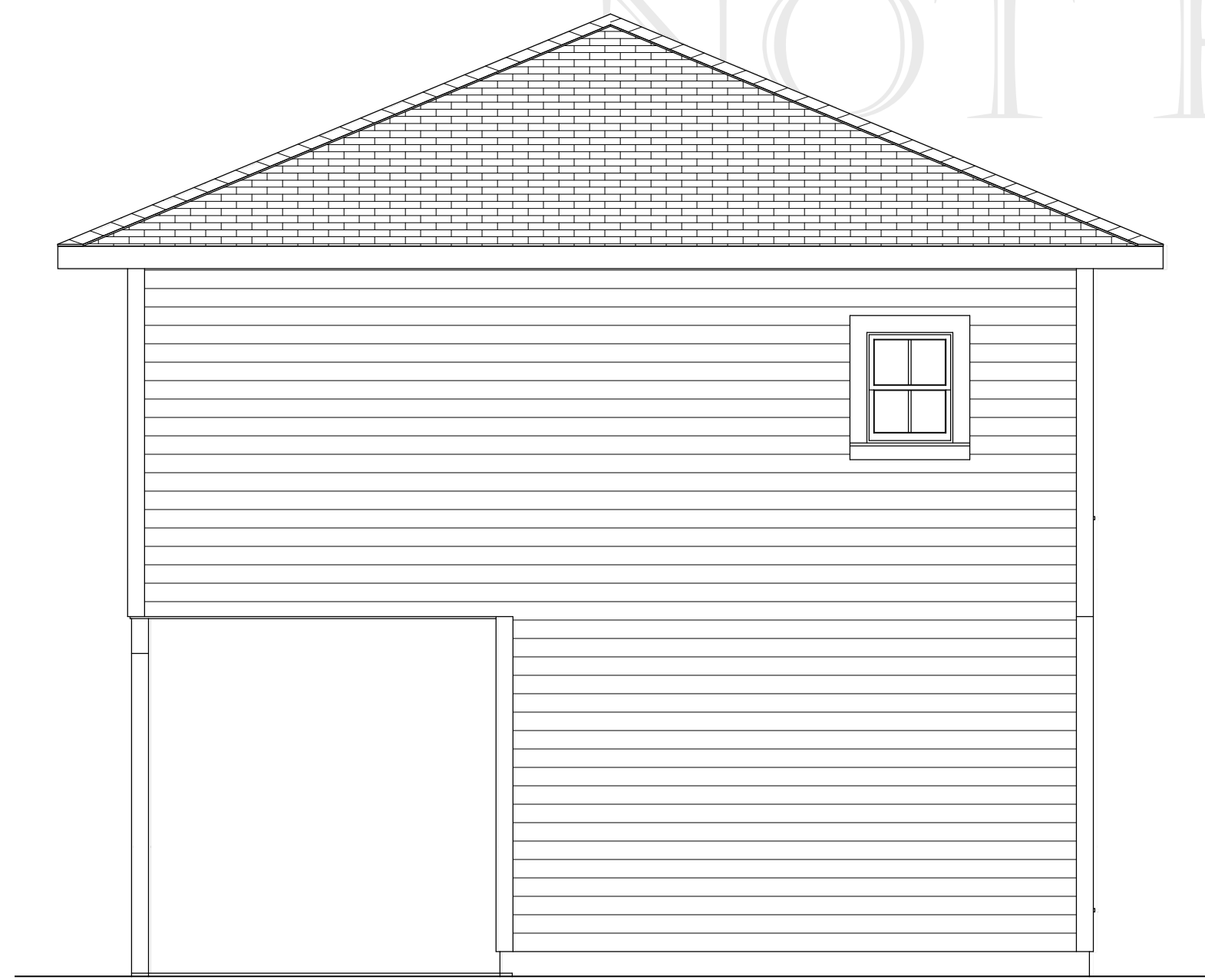
SCALE:

1/4" = 1'

SHEET:

E-1

ROUGH DRAFT
NOT FOR CONSTRUCTION



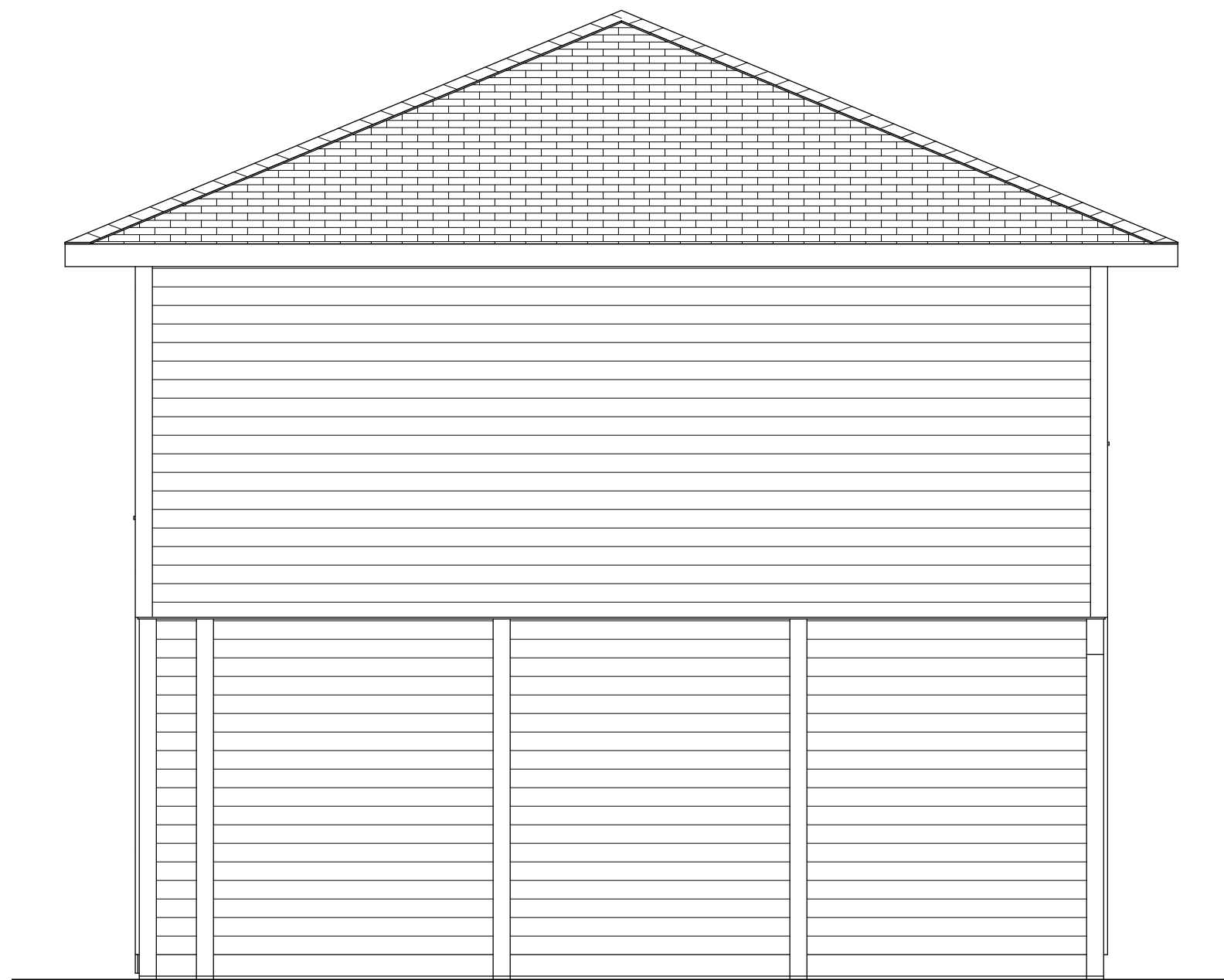
Front Elevation



Rear Elevation



Right Elevation



Left Elevation

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502 W. WEBSTER

Exterior Elevations

231 HOME DESIGN

DRAWINGS PROVIDED BY:

DATE:

8/4/2026

SCALE:

1/4" = 1'

SHEET:

E-2

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
PORCH AND DECK STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

Covered Porches

Newly constructed covered porches shall be decked with tongue and groove decking and painted to complement or contrast the house (unless the construction involves the rebuilding of a missing original porch where documentable evidence shows a different method of decking). Ventilation under the porch deck is necessary to prevent excessive moisture from causing deterioration to the porch members. Therefore, the porch skirt shall be detailed in a similar manner to that shown on the attached decking detail illustration. In some cases, composite decking materials may be permitted for use on covered porches.

Freestanding or Attached Decks (Uncovered Porches)

Placement and design of all decks shall be approved by the Commission. Decks should be located in unobtrusive locations and shall feature one of the edge details featured on the attached decking detail illustration. Decking boards shall consist of 5/4" thick pressure treated decking or square-edged fir decking and appropriately finished. In some cases, composite decking materials may be permitted for use on uncovered porches.

Handrails and Guardrails

Existing original handrails and guardrails shall not be removed without the approval of the Commission. Deteriorated rails shall be repaired as a first course of action. When replacement is necessary, the original details shall be replicated. In cases where height or spacing is required to be modified to meet code requirements, the Commission will carefully review the options to determine the most appropriate method to accomplish this requirement. In cases where handrails or guardrails are new (including those for new decks), the design shall generally conform to the railing and balustrade detail illustrated on the attached sketches.

New guardrails in the historic districts shall conform to the minimum guardrail height in the most recent edition of the building code.

PORCH OR DECK FLOOR HEIGHT FROM FINISHED GROUND GRADE	MINIMUM GUARDRAIL HEIGHT
0" - 30"	0"
≥ 30"	36"

New guardrails on commercial buildings shall conform to the minimum guardrail height for commercial buildings as defined in the most recent edition of the building code.

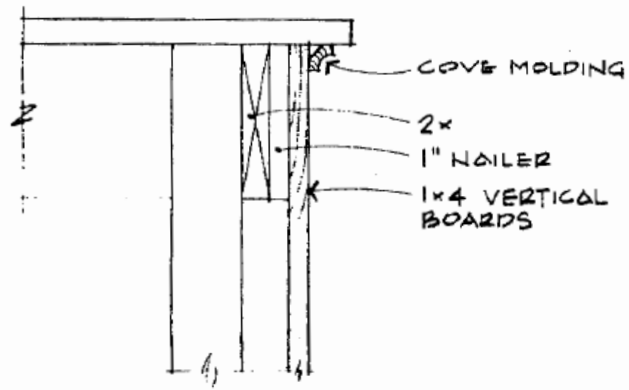
In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies.

Porch Enclosure

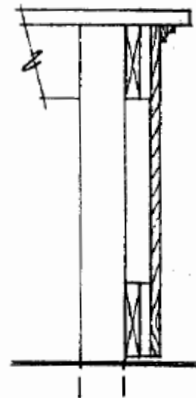
Existing screen or open porches shall not be enclosed with framing or windows without approval by the Commission. Generally, when an open or screened porch is enclosed, the enclosure materials or windows should preserve the appearance of a porch in order to maintain the original design and to avoid the visual effect of a boxed-in appendage. This can often be accomplished with full length windows and exterior screens which would extend from within a few inches off the floor or base of the existing porch opening thus maintaining the effect of a screened in porch or solarium. On most full length porches, building up a half-wall at the base and enclosing it with short windows would not be in keeping with the original design of the house and would detract from the overall appearance. Each request for a porch enclosure will be carefully analyzed by the Commission, taking into consideration the practical and intended usage of the area and the overall visual effect upon the house.

Paint

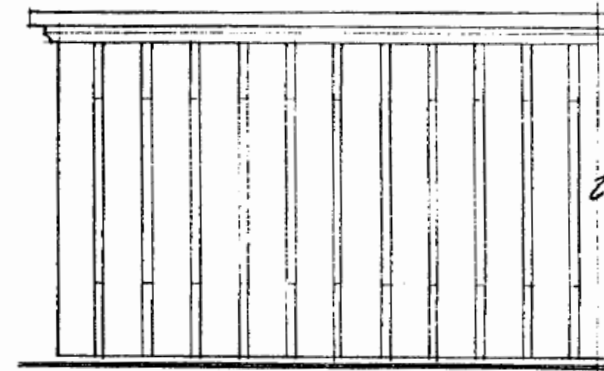
All exposed deck or porch wood shall be painted to complement or contrast the existing structure. Pressure treated wood shall be painted no later than one year after installation.



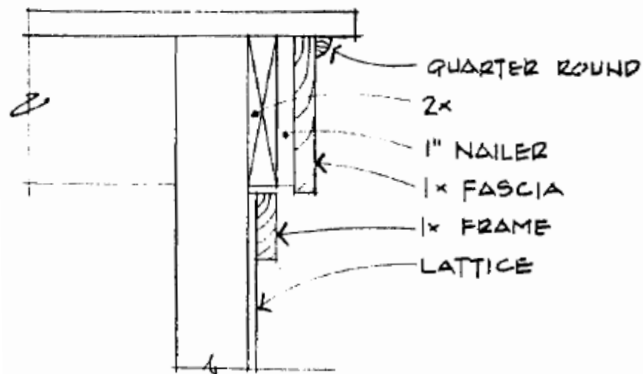
VERTICAL BOARDS



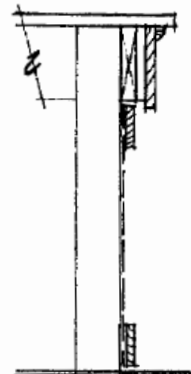
SECTION



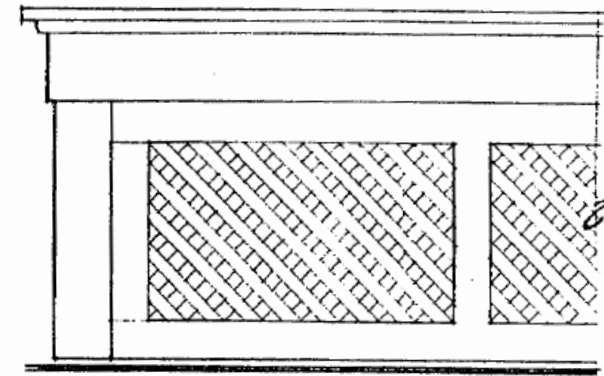
ELEVATION



LATTICE



SECTION

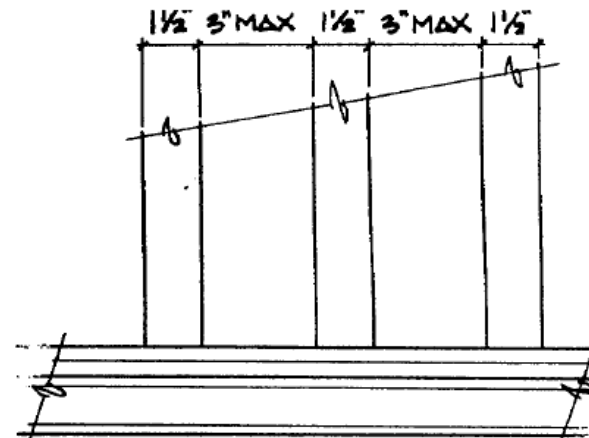
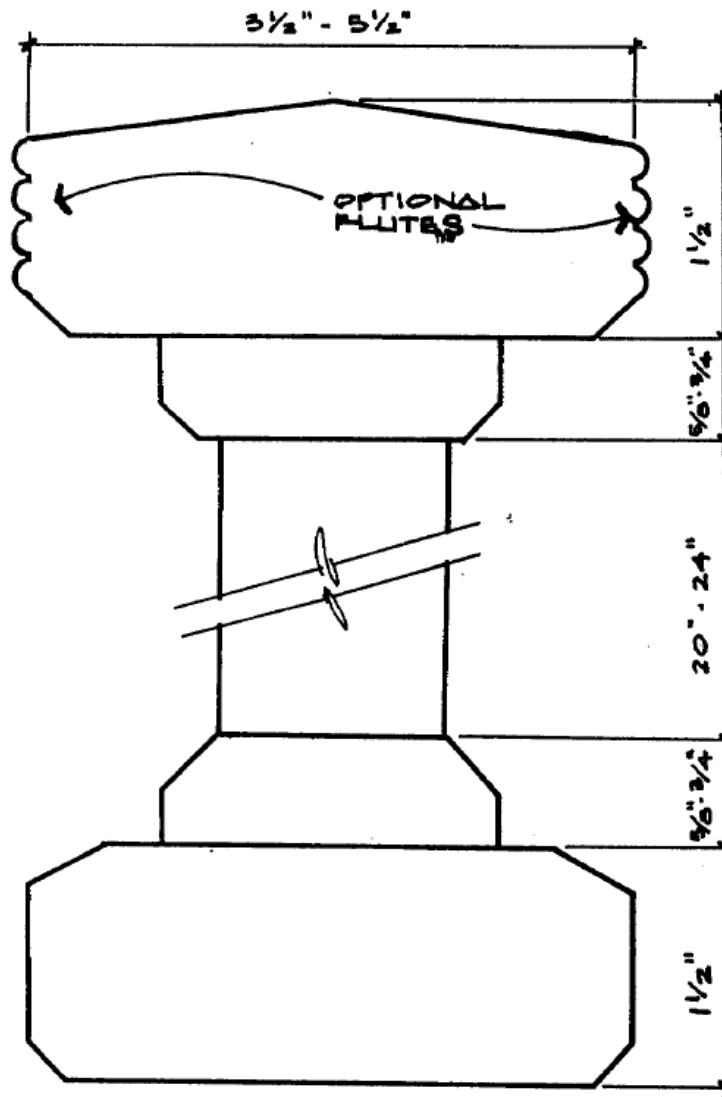


ELEVATION

DECKING DETAILS

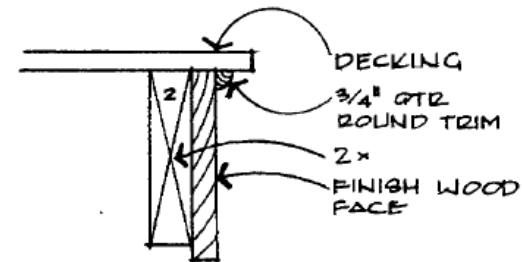
GRAPHICS COURTESY CITY OF KALAMAZOO

DETAIL OF SAMPLE BALLUSTRADE CONSTRUCTION

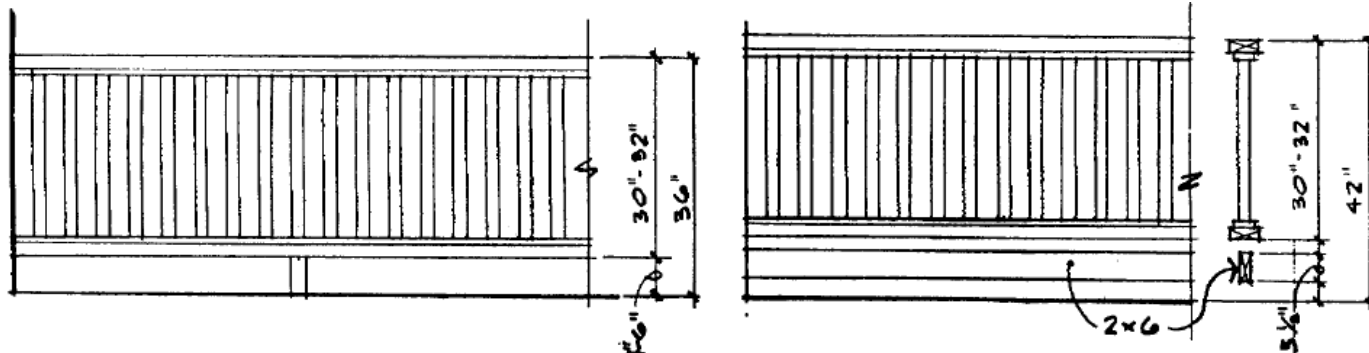


SPACING OF BALLUSTERS

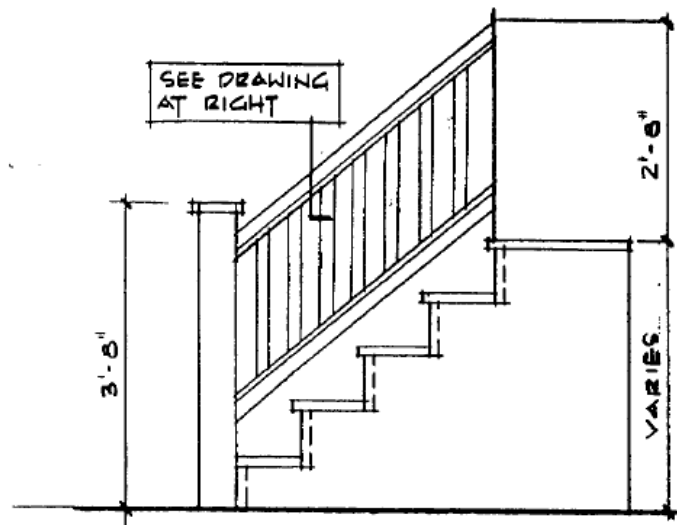
WIDTH $\times$ 3 = CENTER-TO-CENTER SPACING



EDGE DETAIL



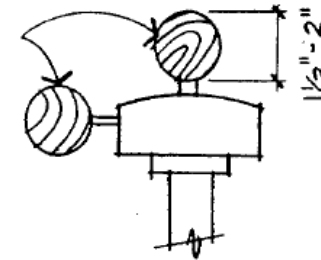
MINIMUM RAIL HEIGHT REQUIREMENTS ARE 24'-30' DEPENDING ON DECK HEIGHT FROM GROUND LEVEL
 IF A GREATER HEIGHT IS RECOMMENDED FOR SAFETY REASONS (WHERE THE RAIL IS NEW OR REBUILT),
 THE ABOVE CONSTRUCTION METHODS MAY BE ACCEPTABLE (PLEASE SEE ATTACHED TEXT FOR DETAILS)



"GRASPABLE" HANDRAIL
 (1½'-2" CROSS
 SECTIONAL DIMENSION)

ROUNDED CORNERS

HANDRAIL CAP



SAMPLE RAILING DETAILS (NEW RAILS)

GRAPHICS COURTESY CITY OF KALAMAZOO

CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
HISTORIC DISTRICT DESIGN GUIDELINES
FOR NEW CONSTRUCTION

(Adopted December 4, 1990)

Although a significant amount of the Commission's work is centered on historic structures, the construction of new structures on vacant lots within historic districts is permitted and encouraged. However, those professionals designing new structures should strive for excellence in design whether small individual infill construction within the existing historic district blocks, or larger independently sited projects. New structures should be in keeping with the existing historical character of the neighborhood or district with a design that is compatible with the size, scale, material, and color of the surrounding buildings and landscaping. Good design which responds positively to its surroundings can be done in several different ways; therefore, it is impossible to develop specific interpretations which will apply in all cases. Every site has its own design opportunities.

The following design recommendations shall be used by the Historic District Commission in evaluating requests for new construction within the districts. These basic criteria should be a part of any proposed design brought before the Commission for approval.

Recommended

Height - Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.

Scale - Relating the size and proportions of new structures to the scale of adjacent buildings. Although a building may be much larger than its neighbors in terms of square footage, it should maintain the same scale and rhythm as the existing buildings.

Massing - Breaking up uninteresting box-like forms into smaller, varied masses such as are common on most buildings from the historic period. Variety of form and massing are elements essential to the character of the streetscape in historic districts. For example, if an infill site is large, the mass of the facade can be broken into a number of small bays.

Directional Expression - Relating the vertical, horizontal, or non-directional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary expression of the streetscape.

Setback - Maintaining the historic facade lines of streetscape by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, buildings should be set back into the lot rather than closer to the street than neighboring, existing buildings. If existing setbacks vary, new buildings should conform to historic siting patterns.

Not Recommended

Height - Introducing new construction that varies greatly in height (too high or too low) from older buildings in the vicinity. Extreme differences in building heights will have a detrimental visual effects on the appearance of surrounding property.

Scale - Creating buildings that in height, width, or massing violate the existing scale of the area. The new building should not disrupt the scale and rhythm of the streetscape, although it might be appropriate in a different location.

Massing - Introducing single, monolithic forms that are not relieved by variations in massing. Box-like facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.

Directional Expression - Creating strongly horizontal or vertical facade expressions unless compatible with the character of structures in the immediate area. A new building that does not relate well to its neighbors or to the rhythm of the streetscape because of an unbroken horizontal facade should be avoided.

Setback - Violating the existing setback pattern by placing a new building in front of or behind the historic facade line. Placing buildings at odd angles to the street, unless in an area where diverse siting already exists, even if property setback is maintained, should be avoided.

Sense of Entry - Articulating the main entrances to the building with covered porches, porticos, and other pronounced architectural forms. Entries were historically a prominent visual feature of the street elevation of the building and often raised a few steps above the grade of the property.

Roof Shapes - Relating the roof forms of the new buildings to those found in the area. Although not entirely necessary, duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Rhythm of Openings - Respecting the recurrent alteration of wall areas with door and window elements in the facade. Also considering the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry or balanced symmetry should be carefully studied.

Design Expression - Composing the materials, textures and colors of the new building facade to compliment adjacent facades and relating details and decorations of the new building to those of existing surrounding buildings.

Imitations - Accurate restoration of or visually compatible additions to existing buildings and former construction, contemporary architecture that well represents our own time yet, enhances the nature and character of the historic district.

Sense of Entry - Introducing facades with no strong sense of entry. Side entries or entries not defined by a porch or similar transitional element result in an incompatible "flat" first-floor façade.

Roof Shapes - Introducing roof shapes, pitches, or materials not traditionally used in the area.

Rhythm of Openings - Introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. For example, glass walls and window and door shapes and locations which are disrespectful to the adjoining buildings.

Design Expression - Violating the existing character of the district by introducing non-compatible materials, textures, colors, details, and decoration on new buildings.

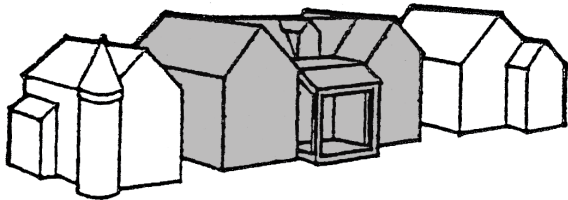
Imitations - Replicating or imitating the styles, motif, or details of older periods. Such attempts detract from the character of the district by compromising what is truly historic.

Recommended

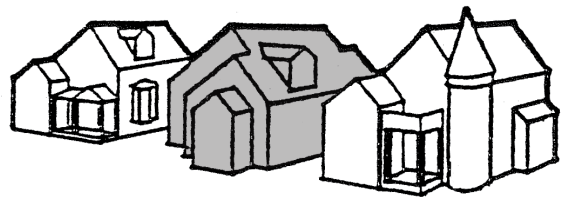
Height



Scale



Massing

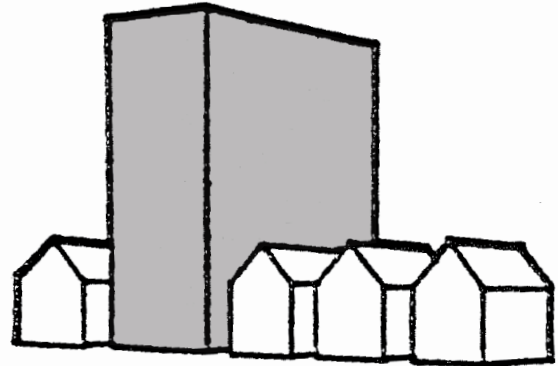


Directional Expression

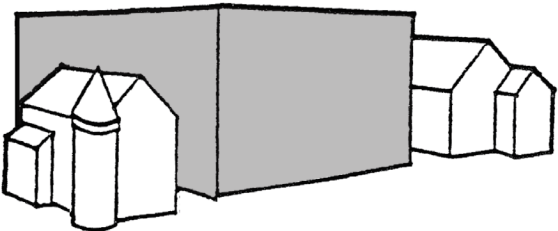


Not Recommended

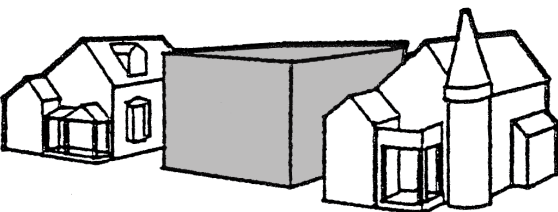
Height



Scale



Massing

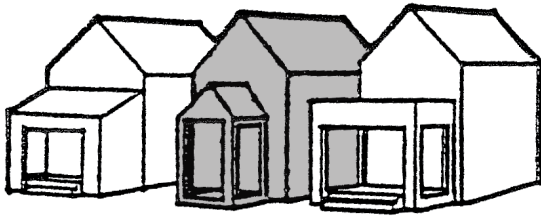


Directional Expression

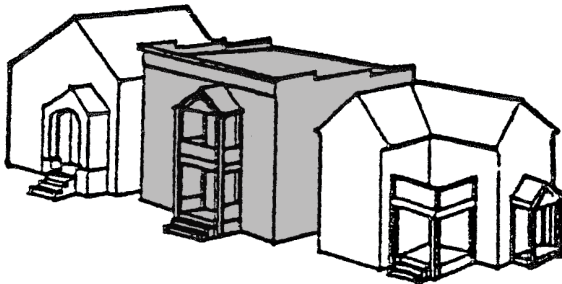


Recommended

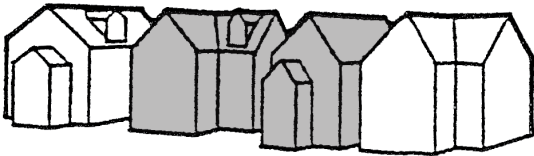
Setback



Sense of Entry



Roof Shapes



Rhythm of Openings

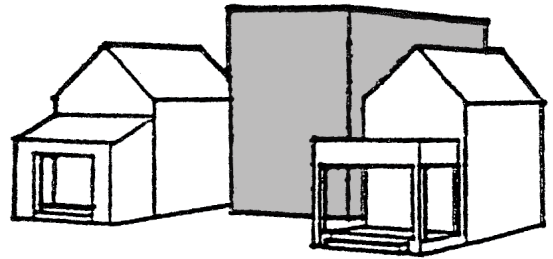


Imitations

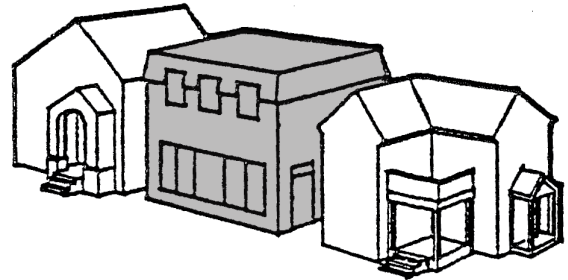


Not Recommended

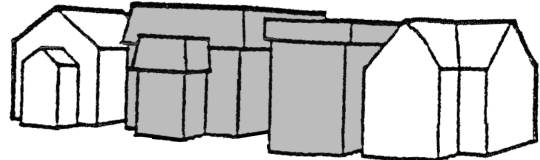
Setback



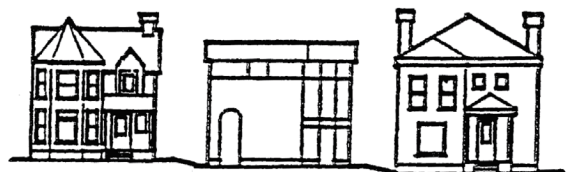
Sense of Entry



Roof Shapes



Rhythm of Openings



Imitations

