

# CITY OF MUSKEGON

## HISTORIC DISTRICT COMMISSION

### MEETING

**July 7, 2026 @ 4:00 PM**

**MUSKEGON CITY HALL, ROOM 204**

**933 TERRACE STREET, MUSKEGON, MI 49440**

- CALL TO ORDER:**
- ROLL CALL:**
- APPROVAL OF MINUTES:**
  - A. Approval of the minutes of the June 2, 2026 regular meeting. Planning**
- OLD BUSINESS:**
  - A. 2026 Staff Approval Update #2 Planning**
  - B. HDC Past Approval Extensions Planning**
- NEW BUSINESS:**
  - A. Case 2026-13: 448 W. Muskegon Planning**
  - B. Case 2026-14: 350 Houston Planning**
- ANY OTHER BUSINESS:**
  - A. Nelson Neighborhood Door Hangers Planning**
- PUBLIC COMMENT:**
- ADJOURNMENT:**

#### **AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES**

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk's Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please

visit: [www.shorelinecity.com](http://www.shorelinecity.com)

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours' notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following:

Ann Marie Meisch, MMC. City Clerk. 933 Terrace St. Muskegon, MI 49440. (231)724-6705.  
[clerk@shorelinecity.com](mailto:clerk@shorelinecity.com)



## Agenda Item Review Form

### Muskegon Historic District Commission

|  |                              |
|--|------------------------------|
| <b>Approval of the minutes of the June 2, 2026 regular meeting.</b>                                      | <b>Description of Work:</b>  |
| <b>Applicant:</b>  | <b>District:</b>             |
| <b>Current Use:</b>  | <b>Date of Construction:</b> |
| <b>Discussion:</b><br><br>The draft minutes will be shared at the meeting.                               |                              |
| <b>Standards:</b>  |                              |
| <b>Deliberation:</b><br><br>I move that the HDC approve the minutes of the June 2, 2026 regular meeting. |                              |



## Agenda Item Review Form

### Muskegon Historic District Commission

|   |                              |
|---|------------------------------|
| <b>2026 Staff Approval Update #2</b>  | <b>Description of Work:</b>  |
| <b>Applicant:</b>   | <b>District:</b>             |
| <b>Current Use:</b>   | <b>Date of Construction:</b> |
| <p><b>Discussion:</b></p> <p>As a means of validating staff-approved projects, this agenda item from the June meeting is being revisited to allow for a motion to accept the staff-approved projects. An excerpt from the June 2, 2026 HDC staff report is below:</p> <p>Since the last update in March 2026 (but before the end of that year), staff has approved eight projects. Those in bold were discussed with the HDC chairperson prior to approval:</p> <ul style="list-style-type: none"> <li>• 458 W. Webster - Reroof flat roof</li> <li>• <b>390 W. Muskegon - Install basement egress window</b></li> <li>• 1460 Clinton - Reroof garage</li> <li>• 1187 Ransom - Ground-mounted AC unit in rear yard</li> <li>• 389 W. Webster - Roof-mounted mini-split unit</li> <li>• 1319 Jefferson - Replace wood privacy fence in rear/side yard</li> <li>• 143 Strong - Install new shingles dues to chimney reconstruction</li> <li>• 1632 Peck - Reroof house</li> </ul> |                              |
| <p><b>Standards:</b></p>  |                              |
| <p><b>Deliberation:</b></p> <p>I move that the HDC accept the 2026 second quarterly update for staff-approved projects as presented.</p>  |                              |



# Agenda Item Review Form

## Muskegon Historic District Commission

|                                     |                              |
|-------------------------------------|------------------------------|
| <b>HDC Past Approval Extensions</b> | <b>Description of Work:</b>  |
| <b>Applicant:</b>                   | <b>District:</b>             |
| <b>Current Use:</b>                 | <b>Date of Construction:</b> |

**Discussion:**

HDC approvals are typically good for one year following the date on which an approval was granted, but projects are not always completed within that timeframe. As a means of better tracking progress on various cases, staff is considering seeking a (possibly monthly) motion to approve extensions for in-progress projects that are approaching or have passed one year since their approval. Alternatively, such extensions could be presented at the request of applicants, apply only to projects with unanimous approval, have shown continuous progress, or could be presented based on some other qualification(s). The HDC has not taken this approach before, but it would be similar to the process used to validate quarterly staff approval updates. For any cases that the board wishes to revisit, staff would plan to reach out to applicants to advise them to attend a future meeting for discussion.

Staff recommends the following projects be granted an extension of one year:

- **Case 2024-18: 523 W. Clay\*** - Complete the hardscaping brickwork and install two 12'x8'-5" pergolas and an approximately 17'x22' gazebo as depicted in the October 1, 2024 HDC staff report as long as the pergola and gazebo materials are either wood or smooth-face PVC or composite material. \*Included at the request of the property owner
- **Case 2025-06: 350 W Webster** - Install two 30"x30"x30" polished concrete chess tables and four polished concrete stools on the 4th Street side of the existing paved plaza, with each table located equidistant between the centerline of the plaza and the diagonal walkways and with the edge of the tables located three feet from the edge of the existing pavement.
- **Case 2025-08: 1095 3rd** - Remodel the exterior of the existing building retaining the original brick, and construct a new three-story building addition along Houston Avenue as depicted in the drawings included in the September 2, 2025 HDC staff report with exterior cladding materials and window types presented at the July 17, 2025 HDC special meeting; for architectural continuity, the HDC recommends overriding the Form Based Code requirement for pilasters on the new building.
- **Case 2025-18: 430 W. Clay** - Replace all lower-level, steel-cased, tilt-in windows with fixed aluminum windows of the same size with applied horizontal mullions to match the windows' current configurations, and of a darker color to blend with the brick, with two of the replacement windows retaining the tilt-in option for ventilation.

**Standards:**

**Deliberation:**

I move that the HDC (approve/deny) a one-year extension of the approvals for the projects presented in the July 7, 2026 HDC staff report.



## Agenda Item Review Form

### Muskegon Historic District Commission

|  |  |
|--|--|
| <b>Case 2026-13: 448 W. Muskegon</b>   | <b>Description of Work:</b> Light Fixtures |
| <b>Applicant:</b> Hugo Laranja   | <b>District:</b> Houston                   |
| <b>Current Use:</b> Vacant   | <b>Date of Construction:</b> 1/1/1877      |
| <b>Discussion:</b><br><br>The applicant is seeking approval to install two exterior light fixtures - one on the front porch near the front door and one on the new porch near the back door.   |  |
| <b>Standards:</b><br>No specific standards apply.  |  |
| <b>Deliberation:</b><br><br>I move that the HDC (approve/deny) the request to install two exterior light fixtures - one on the front porch near the front door and one on the new porch near the back door as presented in the July 7, 2026 HDC staff report - as long as the work meets all zoning requirements and the necessary permits are obtained. |  |



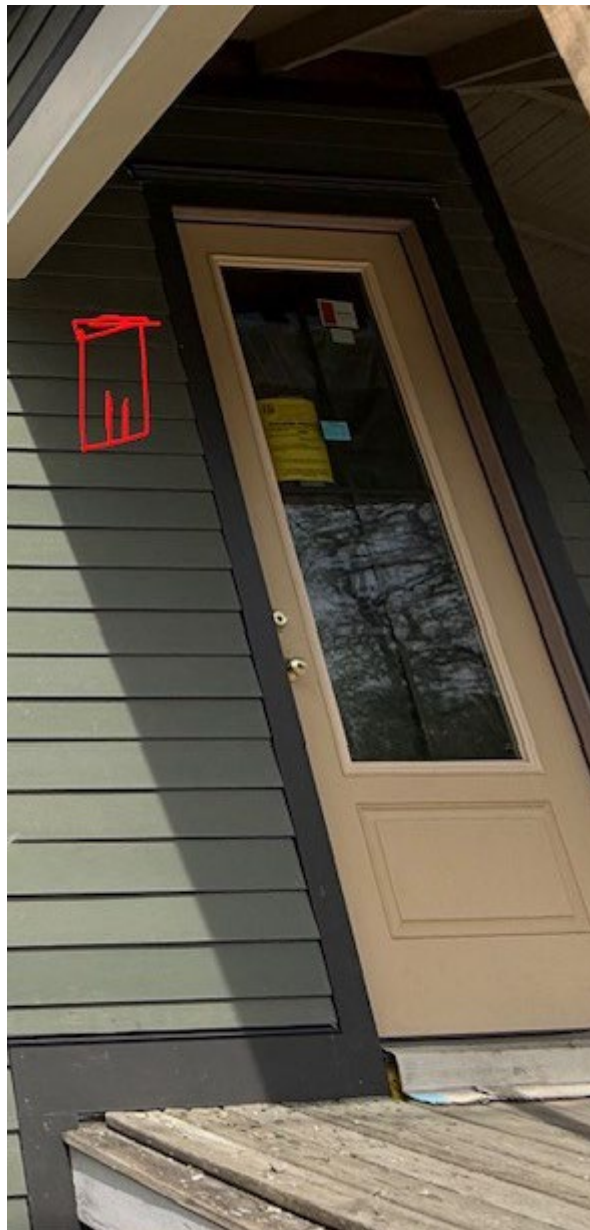
View of house from 6<sup>th</sup> Street, looking northeast; proposed location of light fixture near front door visible at center.



View of house from 6<sup>th</sup> Street, looking east; new porch on the left side of the house is minimally visible from 6<sup>th</sup> Street.



Proposed light fixture.



Proposed light fixture location near front door.



Proposed light fixture location near rear door.



## Agenda Item Review Form

### Muskegon Historic District Commission

|  |  |
|--|--|
| <b>Case 2026-14: 350 Houston</b>   | <b>Description of Work:</b> Reconstruction of Select Balconies |
| <b>Applicant:</b> Nelson Place LDHALP  | <b>District:</b> Houston                                       |
| <b>Current Use:</b> Residential  | <b>Date of Construction:</b> 1/1/1997                          |
| <p><b>Discussion:</b></p> <p>The applicant is seeking approval to stabilize and reconstruct the balconies of Stacks 1 and 2 (as identified in the attached plans) due to structural issues. Reconstruction of the affected balconies is proposed to result in changes to the appearance of the balcony columns, railings, and rooflines.</p> |  |
| <p><b>Standards:</b></p> <p>Please see attached <i>Porch and Deck Standards and Guidelines</i>.</p>  |  |
| <p><b>Deliberation:</b></p> <p>I move that the HDC (approve/deny) the request to stabilize and reconstruct the balconies of Stacks 1 and 2 as proposed in the July 7, 2026 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.</p>  |  |



View of building from W. Muskegon Avenue, looking east; Stack 2 balconies facing proposed to be reconstructed are visible at center.



View of two sets of Stack 1 balconies from the corner of W. Muskegon Avenue and 5<sup>th</sup> Street, looking southeast.



View of Stack 1 balconies from 5<sup>th</sup> Street, looking north; railings have been temporarily relocated to prohibit use of the unstable balconies.



View of building from Houston Avenue, looking northwest; Stack 1 and 2 balconies visible at center.



View of Stack 1 and 2 balconies from parking lot, looking west; temporary columns used for reinforcement are visible.

**GENERAL NOTES**

- VERIFY ALL EXISTING CONDITIONS IN FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK
- DO NOT SCALE DRAWINGS - USE INDICATED DIMENSIONS ONLY - VERIFY ALL PROVIDED DIMENSIONS & NOTIFY ARCHITECT OF ANY DISCREPANCIES
- ALL WORK ITEMS, INCLUDING BUT NOT LIMITED TO FLOORS, WALLS, CEILINGS, FINISHES & BUILT IN CABINERY, NOTED ON PLANS SHALL BE FURNISHED & INSTALLED TO MFR STANDARDS INCLUDING PREPARATIONS TO EXISTING SUBSTRATES
- NOTIFY ARCHITECT IF ANY DETERIORATED OR UNUSABLE SUBSTRATES OR EXISTING CONDITIONS THAT CANNOT BE USED FOR INSTALLATION / APPLICATION OF NEW WORK ITEMS ARE FOUND
- NOTIFY ARCHITECT IF ANY EXISTING PLUMBING, MECHANICAL OR ELECTRICAL ITEMS THAT WILL BE AFFECTED BY THE NEW WORK ARE NOT IN USABLE CONDITION OR REQUIRE ADDITIONAL MODIFICATION PRIOR TO NEW WORK COMMENCING

**BUILDING CODES**

**PROJECT BUILDING**  
 PROJECT: NELSON PLACE APARTMENTS  
 PROJECT ADDRESS: 350 HOUSTON AVE, MUSKEGON, MI. 49441  
 MUNICIPALITY: CITY OF MUSKEGON, MI

**BUILDING CODES**

- 2021 MICHIGAN BUILDING CODE (MBC)
- 2021 MICHIGAN PLUMBING CODE (MPC)
- 2021 MICHIGAN MECHANICAL CODE (MMC)
- 2023 NATIONAL ELECTRICAL CODE WITH MICHIGAN PART 8 RULES (NEC)
- 2021 INTERNATIONAL FIRE CODE (IFC)
- MICHIGAN LIFE SAFETY CODE 2012

# NELSON PLACE

## BALCONY STRUCTURAL REPAIRS

350 HOUSTON AVE. MUSKEGON, MI 49441

**SHEET INDEX**

GENERAL  
 G001 TITLE SHEET

ARCHITECTURAL  
 A101 MAIN LEVEL PLAN  
 A102 SECOND THROUGH FOURTH LEVEL PLAN  
 A105 ROOF PLAN  
 A201 EXTERIOR ELEVATIONS  
 A301 BUILDING SECTIONS

**BUILDING CODE SUMMARY**

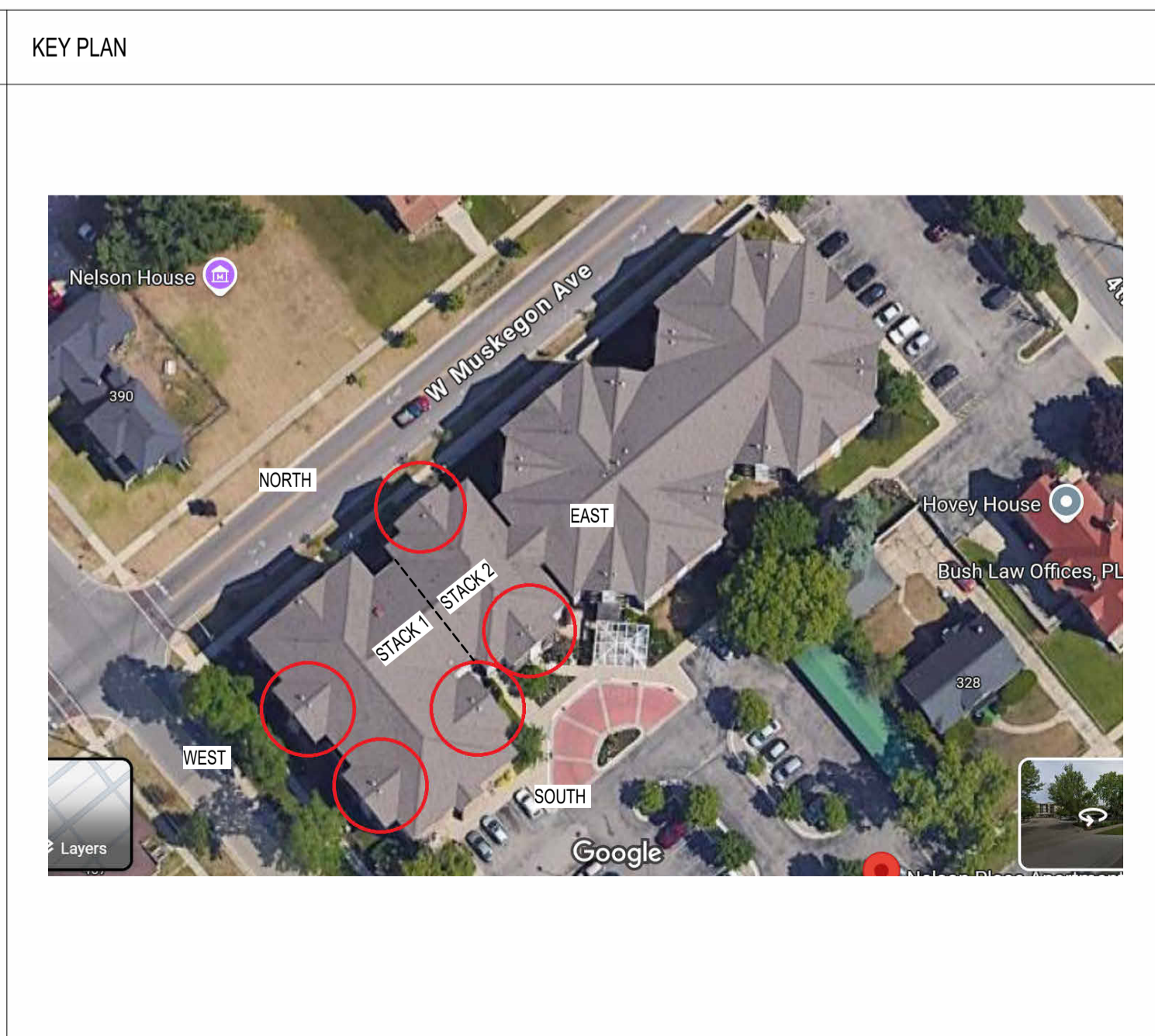
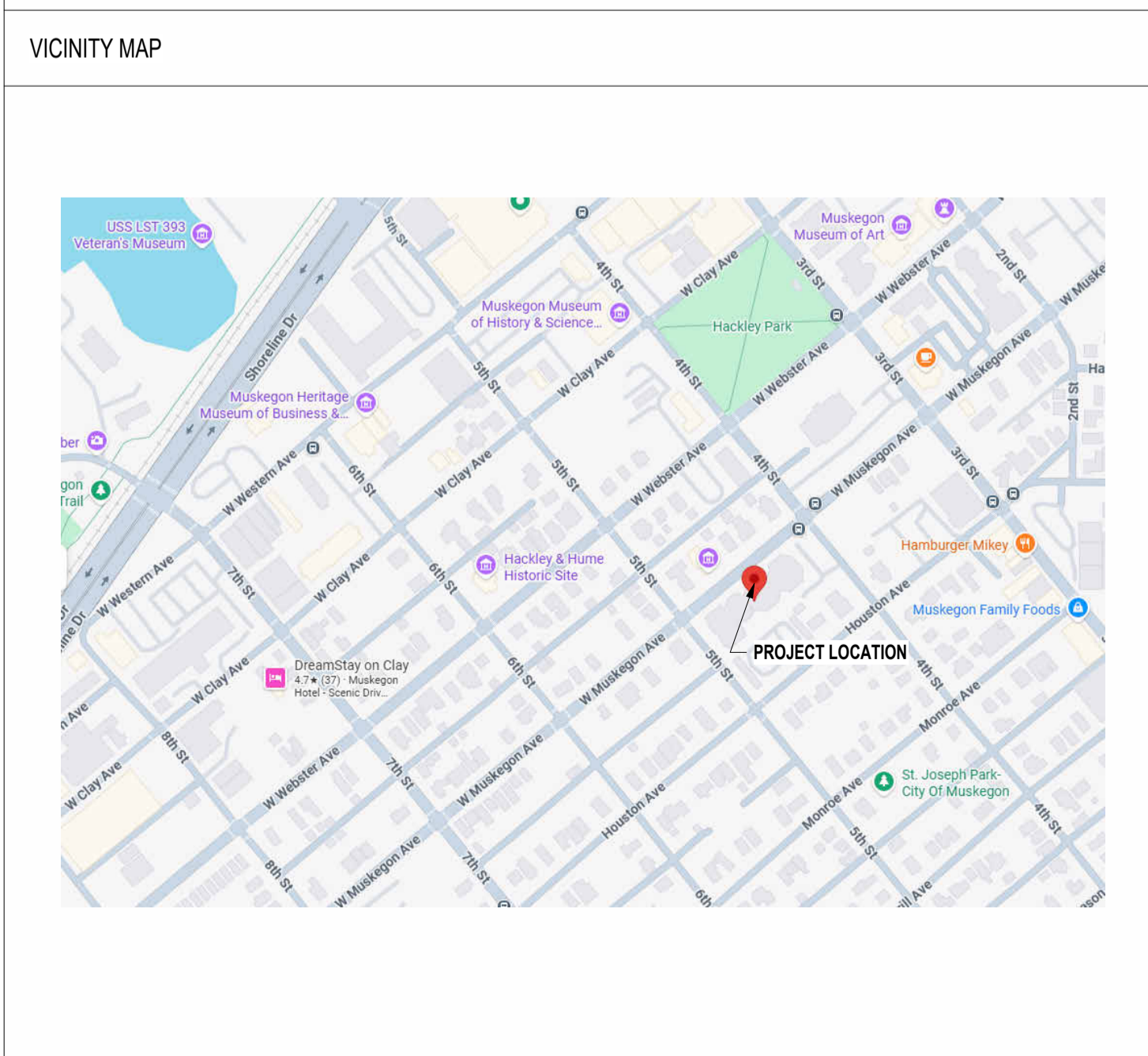
**ENERGY CODE SUMMARY**



**PROJECT TEAM**

**ABONMARCHÉ**  
 CIVIL / STRUCTURAL / ARCHITECTURAL  
 ABONMARCHÉ CONSULTANTS, INC  
 306 Kalamazoo Mall  
 Kalamazoo, MI 49007

PLUMBING / MECHANICAL / ELECTRICAL  
 ABONMARCHÉ  
 261 East Kalamazoo Ave, Suite 100  
 Kalamazoo, MI 49007



**PROJECT SCOPE**

BASED ON THE FORENSIC ENGINEERING REPORT OF 9/22, THE CITY OF MUSKEGON INSPECTION DEPARTMENT LETTER DATED 5/4/23, THE SCOPE OF WORK IS TO INCLUDE:

- IT IS OUR UNDERSTANDING THAT THE ASSOCIATED SCOPE OF WORK HAS BEEN PREVIOUSLY COMPLETED TO DATE BY OTHERS.
- STABILIZATION OF THE EXISTING FOUNDATION HAS BEEN COMPLETED INCLUDING HELICAL PIERS TO ARREST ANY FURTHER DIFFERENTIAL SETTLEMENT OF THE BALCONY/MECHANICAL ROOM FOUNDATION.
- TEMPORARY SHORING AND BARRICADING HAVE BEEN COMPLETED AND APPROVED.

**SCOPE OF WORK:**

- SELECTIVE DEMOLITION, CUTTING, PATCHING AND REMOVAL OF THE EXISTING WOOD FRAMED BALCONIES AND STRUCTURAL FIBERGLASS COLUMNS, VINYL SIDING, AND GABLE ROOF ASSEMBLY.
- INSTALLATION OF STRUCTURAL TIE BACK ANCHORING TO ARREST ANY FURTHER OUTWARD LISTING OF THE MECHANICAL ROOM STACKED TOWER.
- CONSTRUCTION OF WOOD FRAMED PARAPET WALL AT BUILDING EXTENSION WALL PLANE.
- FABRICATION, INSTALLATION, AND ANCHORING OF NEW STRUCTURAL SUPPORT AND REINFORCE THE OUTSIDE CORNERS OF THE MECHANICAL ROOM TOWERS.
- INSTALL ADDITIONAL ANCHORING SYSTEMS FOR BALCONIES.
- INSTALL WOOD FRAMED DECK STRUCTURAL FRAMING, WOOD DECKING AND SOFFITS.
- INSTALL WOOD TRIM AND NEW GUARDRAIL SYSTEMS.
- MECHANICAL ROOM DOOR FRAMES TO BE REALIGNED WHERE POSSIBLE FOR THE FREE SWING FOR THE EXISTING DOORS.
- PROVIDE LIMITED BUILDING WRAP MOISTURE AND VAPOR BARRIER, FLASHING AND TRIM AND NEW VINYL SIDING SYSTEMS.
- MECHANICAL UNIT AND WATER HEATER UTILITIES, MAINTENANCE, REPAIR AND POSSIBLE REPLACEMENT TO BE COORDINATED.
- PERMITS, INSPECTIONS AND APPROVALS.

FOR CONSTRUCTION

ISSUANCE / REVISION DATE  
 ORIGINAL SHEET IS 24"x36"  
 DO NOT SCALE DRAWINGS

PROJECT NO: 26-0517  
**A101**  
 Page 18 of 28

**ARCHITECTURAL GENERAL NOTES:**

- COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH TRADE REQUIRING THE SAME. ACCESS PANELS ARE SPECIFIED ARCHITECTURALLY BUT ARE REQUIRED TO BE PROVIDED BY EACH TRADE. ALL LOCATIONS MUST BE COORDINATED AND APPROVED BY THE ARCHITECTS FIELD REPRESENTATIVE.
- VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING, BUT NOT RESTRICTED TO, MECHANICAL AND ELECTRICAL WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS REQUIRED FOR THE COMPLETION OF THE WORK.

**STRUCTURAL GENERAL NOTES:**

- VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING WORK.
- PROTECT ALL EXISTING WORK WHICH IS TO REMAIN AND RESTORE IN AN APPROVED MANNER ANY SUCH WORK WHICH BECOMES DAMAGED.
- REFER TO AND COORDINATE ALL STRUCTURAL WORK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, UNDERFLOOR DUCTS, FLOOR DEPRESSIONS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE LOCATION, SIZE AND REINFORCEMENT OF ALL OPENINGS WITH RESPECTIVE TRADES BEFORE FABRICATION.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK OR FABRICATING ANY STRUCTURAL MATERIAL. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES FOUND.
- OWNER TO PROVIDE ALL SPECIAL INSPECTION AND TESTING BY INDEPENDENT TESTING COMPANIES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS.
- CONTRACTOR IS RESPONSIBLE FOR FALL PROTECTION AND PROVIDING TEMPORARY GUARDS WITHIN THE CONSTRUCTION ZONE.

8. THE STRUCTURE HAS BEEN DESIGNED FOR IN-SERVICE LOADS ONLY AND TO BE SELF-SUPPORTING AFTER THE BUILDING IS COMPLETE. THE METHODS, MEANS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, TIEDOWNS, ETC.

**STRUCTURAL STEEL:**

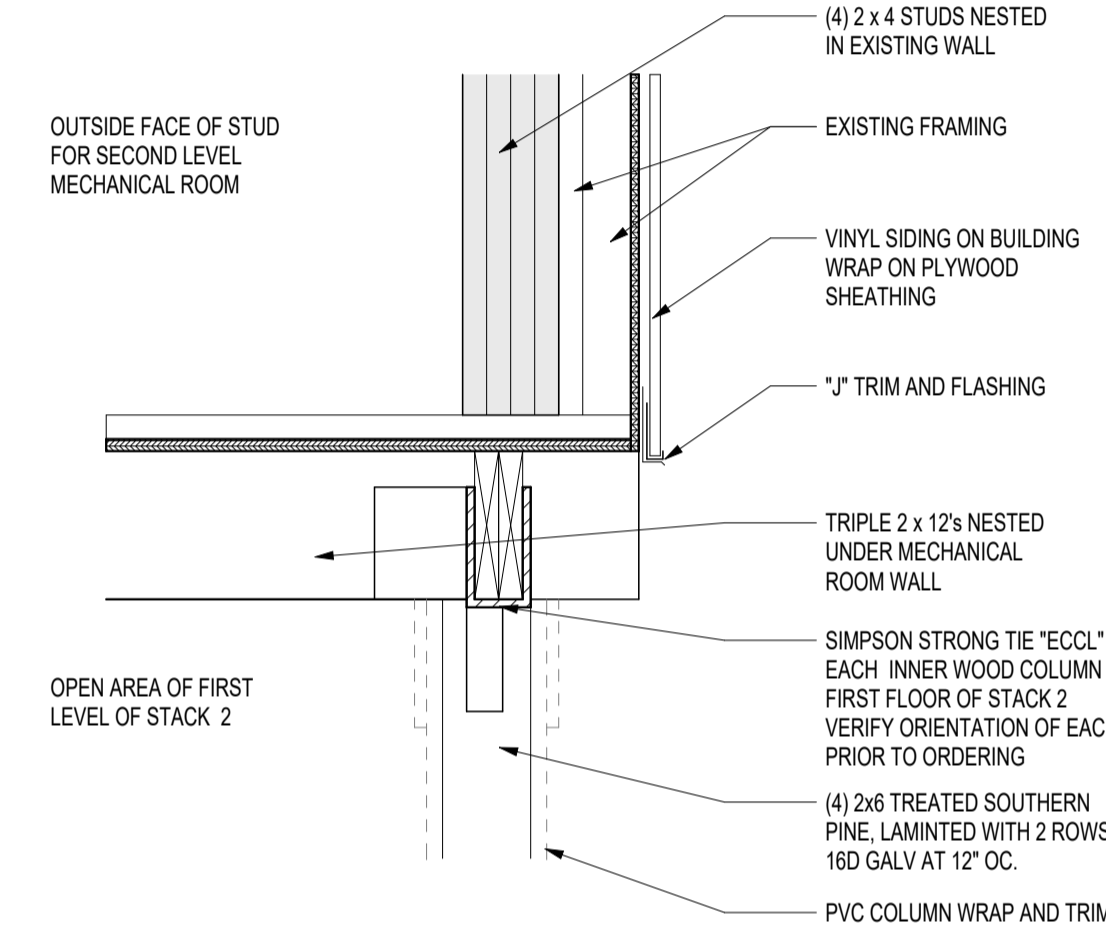
- STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, AISC, 16TH EDITION.
- MATERIAL STANDARDS:
  - ANGLES AND PLATES = ASTM A572 Gr. 50
  - RECTANGULAR HSS = ASTM A500 Gr. C, Fy = 50ksi
  - ERECTION BOLTS = ASTM F3125 Gr. A325, 3/4" U.N.O.
  - GROUT = HIGH STRENGTH, NON-SHRINK
  - WELDING ELECTRODE = E70xx
- FIELD MODIFICATION OF STRUCTURAL STEEL SHALL BE PERMITTED AND PERFORMED ONLY AFTER RECEIVING WRITTEN AUTHORIZATION OF THE STRUCTURAL ENGINEER.
- STRUCTURAL STEEL TO BE HOT DIPPED GALVANIZED.
- WELDING SHALL BE IN ACCORDANCE WITH THE "AMERICAN WELDING SOCIETY" D1.1.
- PROVIDE STRUCTURAL STEEL SHOP DRAWINGS. DRAWINGS ARE TO INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES AND OTHER PERTINENT DATA. INCLUDE EMBEDMENT DRAWINGS. INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD. INDICATE TYPE, SIZE, AND LENGTH OF BOLTS, DISTINGUISHING BETWEEN SHOP AND FIELD BOLTS.

**DESIGN LOADS:**

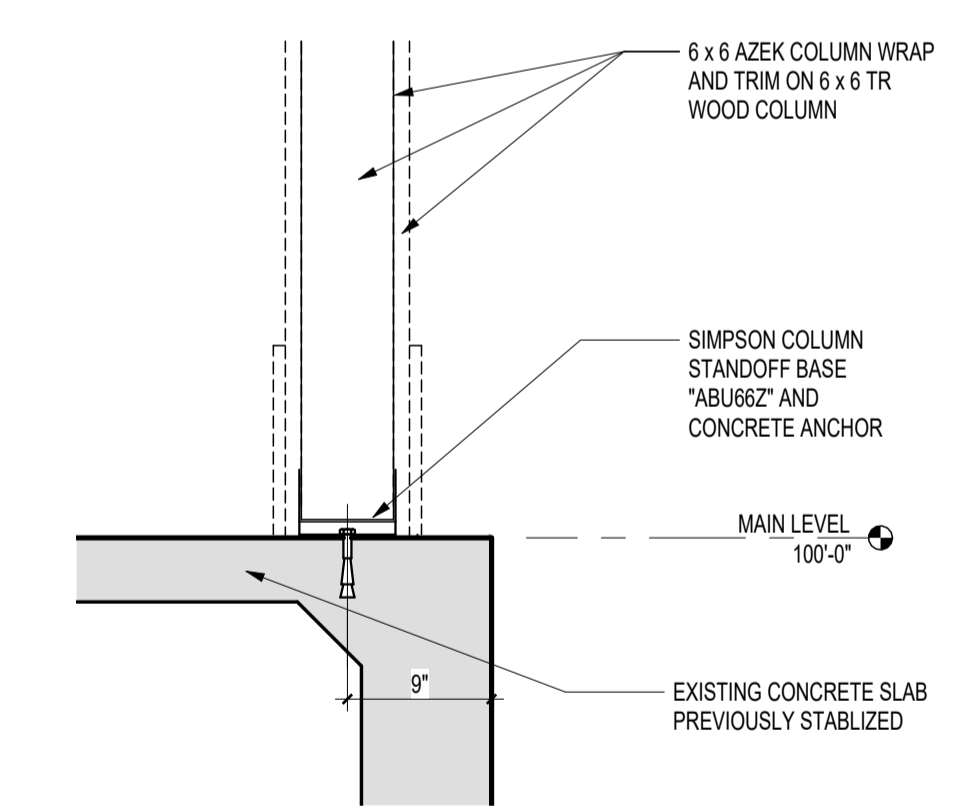
DESIGN LOADS PER SECTION 1603 OF THE 2021 MICHIGAN BUILDING CODE:  
 A. FLOOR LIVE LOAD = 90 PFS

**WOOD FRAMING:**

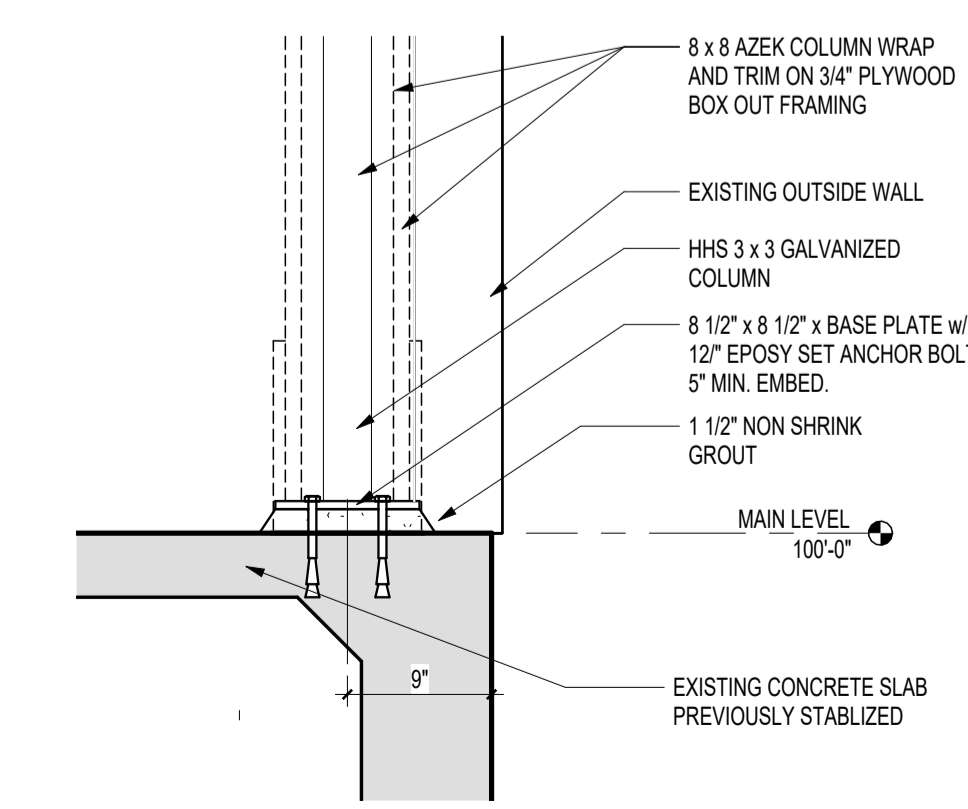
- WOOD FRAMING TO MEET NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY AF & PA. TIMBER CONSTRUCTION STANDARDS BY ATC AND DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES BY ANSITPI AS APPLICABLE.
- DIMENSION LUMBER FOR FRAMING SHALL BE TREATED SOUTHERN PINE Fb = 1100 SI MIN. UNLESS NOTED OTHERWISE. ALLOWABLE STRESSES PER 2015 SUPPLEMENT TO THE 2015 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
- ALL METAL HANGERS AND CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUIVALENT AND BE OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER.
- LIGHT METAL PLATE CONNECTED WOOD TRUSSES SHALL BE SHOP FABRICATED AND CAPABLE OF SUPPORTING ALL SUPERIMPOSED DEAD AND LIVE LOADS INDICATED. TRUSS MANUFACTURER IS TO ENGINEER AND PROVIDE ALL HEADERS OR GIRDER TRUSSES FOR FLUSH FRAMING TRUSS SUPPORT CONDITIONS. PRE-ENGINEERED TRUSS HANGERS BY SIMPSON STRONG-TIE OR METAL HANGERS DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN MICHIGAN ARE TO BE PROVIDED BY THE TRUSS MANUFACTURER FOR ALL FLUSH FRAMED TRUSS SUPPORT CONDITIONS. TRUSS CONNECTORS ARE TO INCLUDE ALL FASTENERS REQUIRED BY THE HANGER DESIGN.
- REFER TO ROOF FRAMING PLAN FOR TRUSS DESIGNATION GEOMETRY AND LOADS. TRUSS AND GIRDER TRUSS LAYOUT IS INTENDED TO BE SCHEMATIC. TRUSS MANUFACTURER SHALL BE RESPONSIBLE TO MEET ALL APPLICABLE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.
- SHOP DRAWINGS BEARING THE SEAL OF A PROFESSIONAL ENGINEER LICENSED IN MICHIGAN SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF FABRICATION OF WOOD TRUSSES.
- PROVIDE TEMPORARY AND PERMANENT TRUSS BRIDGING AS DIRECTED BY TRUSS MANUFACTURER.
- ROOF DECK (MINIMUM) SHALL BE APA RATED SHEATHING, 1/2" NOMINAL THICKNESS, PANEL SPAN RATING -32/16 (APA RATED PANELS MAY BE PLYWOOD, COMPOSITES OR ORIENTED STRAND BOARD).
- INSTALL ROOF SHEATHING PANELS WITH EDGE AND END SPACES AS RECOMMENDED BY MANUFACTURER. INSTALL PLYWOOD SHEATHING CLIPS PER CODE AND MANUFACTURER'S REQUIREMENTS.
- NAIL PLYWOOD TO ROOF FRAMING WITH 10D NAILS AT 6" O.C. AT ALL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING.
- FRAMING PLANS SHOW PRIMARY FRAMING MEMBERS, SIZES AND SUPPORTS. FRAMER SHALL PROVIDE ALL FRAMING REQUIRED (WHETHER SPECIFICALLY SHOWN OR NOT) FOR HEADERS, NAILERS, CORNERS, PARTITION SUPPORTS, ROOF CRICKETS, CEILING JOISTS, STAIRS, BRIDGING, ETC. TO MAKE A COMPLETE AND SOUND INSTALLATION IN ACCORDANCE WITH ALL APPLICABLE CODES.



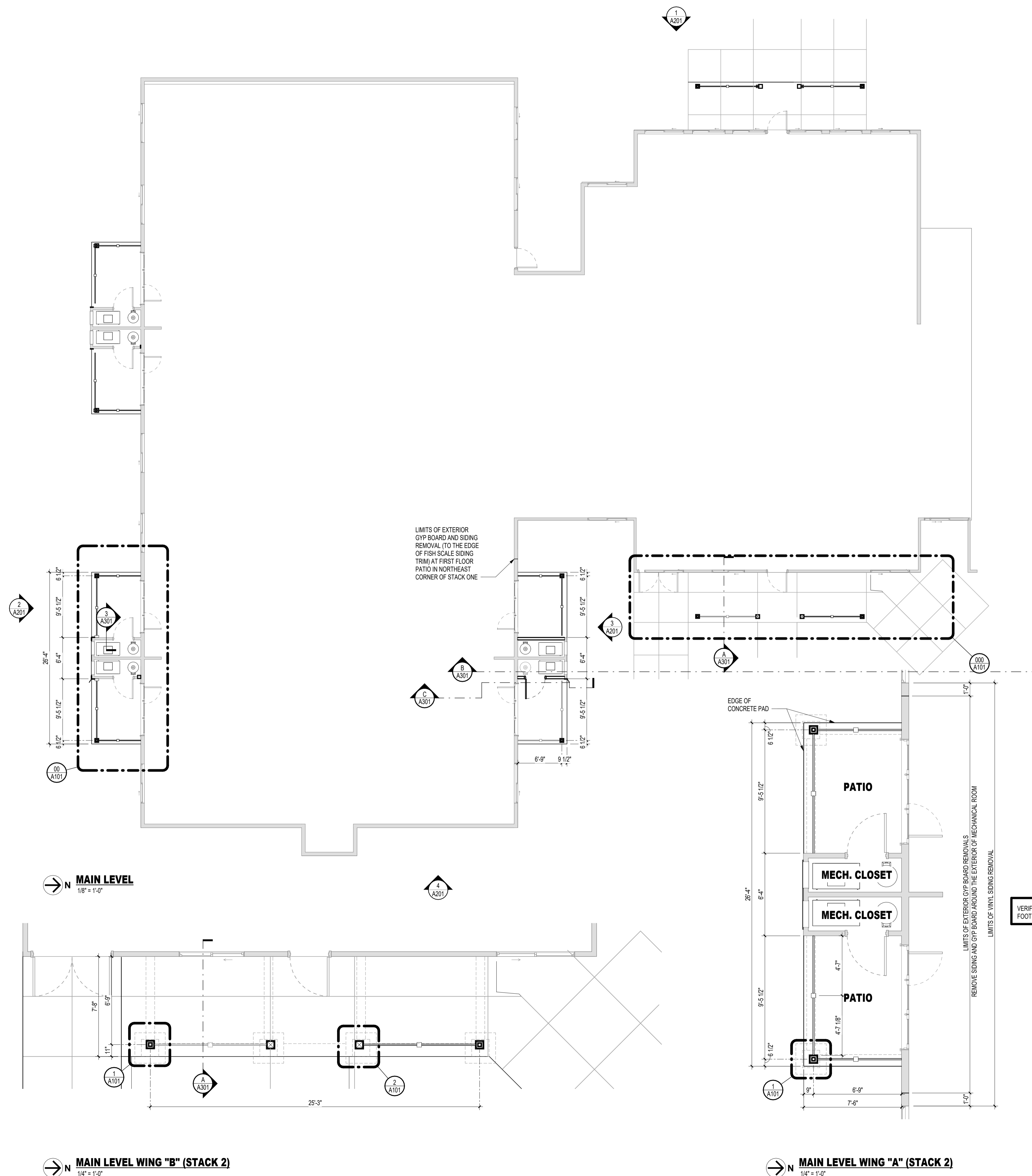
**3 TYPICAL MAIN LEVEL WOOD COLUMN HEAD (STACK 2)**  
 A101 1" = 1'-0"



**2 TYPICAL MAIN LEVEL WOOD COLUMN BASE (STACK 2)**  
 A101 1" = 1'-0"



**1 TYPICAL MAIN LEVEL COLUMN BASE**  
 A101 1" = 1'-0"



**MAIN LEVEL WING "B" (STACK 2)**  
 1/4" = 1'-0"

**MAIN LEVEL WING "A" (STACK 2)**  
 1/4" = 1'-0"

**MAIN LEVEL**  
 1/8" = 1'-0"

VERIFY EXISTING FOOTING LOCATIONS

LIMITS OF EXTERIOR GYP BOARD AND SIDING REMOVAL (TO THE EDGE OF FISH SCALE SIDING TRIM) AT FIRST FLOOR PATIO IN NORTHEAST CORNER OF STACK ONE

LIMITS OF EXTERIOR GYP BOARD REMOVALS REMOVE SIDING AND GYP BOARD AROUND THE EXTERIOR OF MECHANICAL ROOM LIMITS OF VINYL SIDING REMOVAL

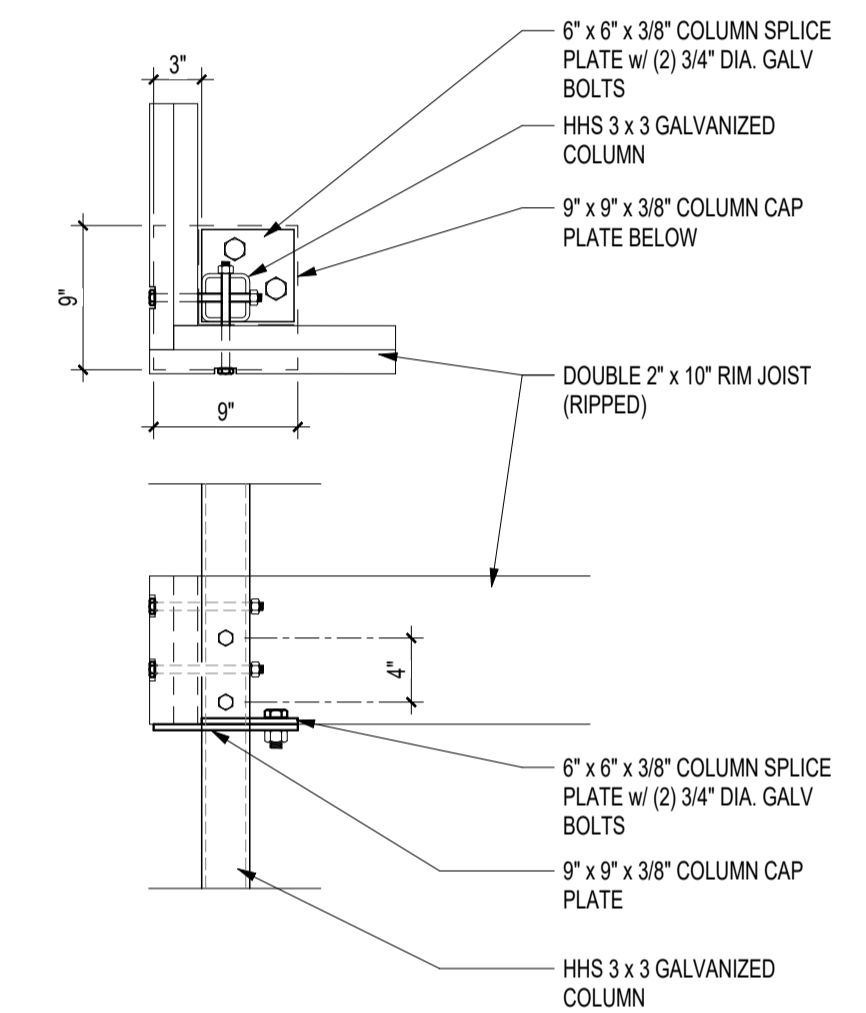
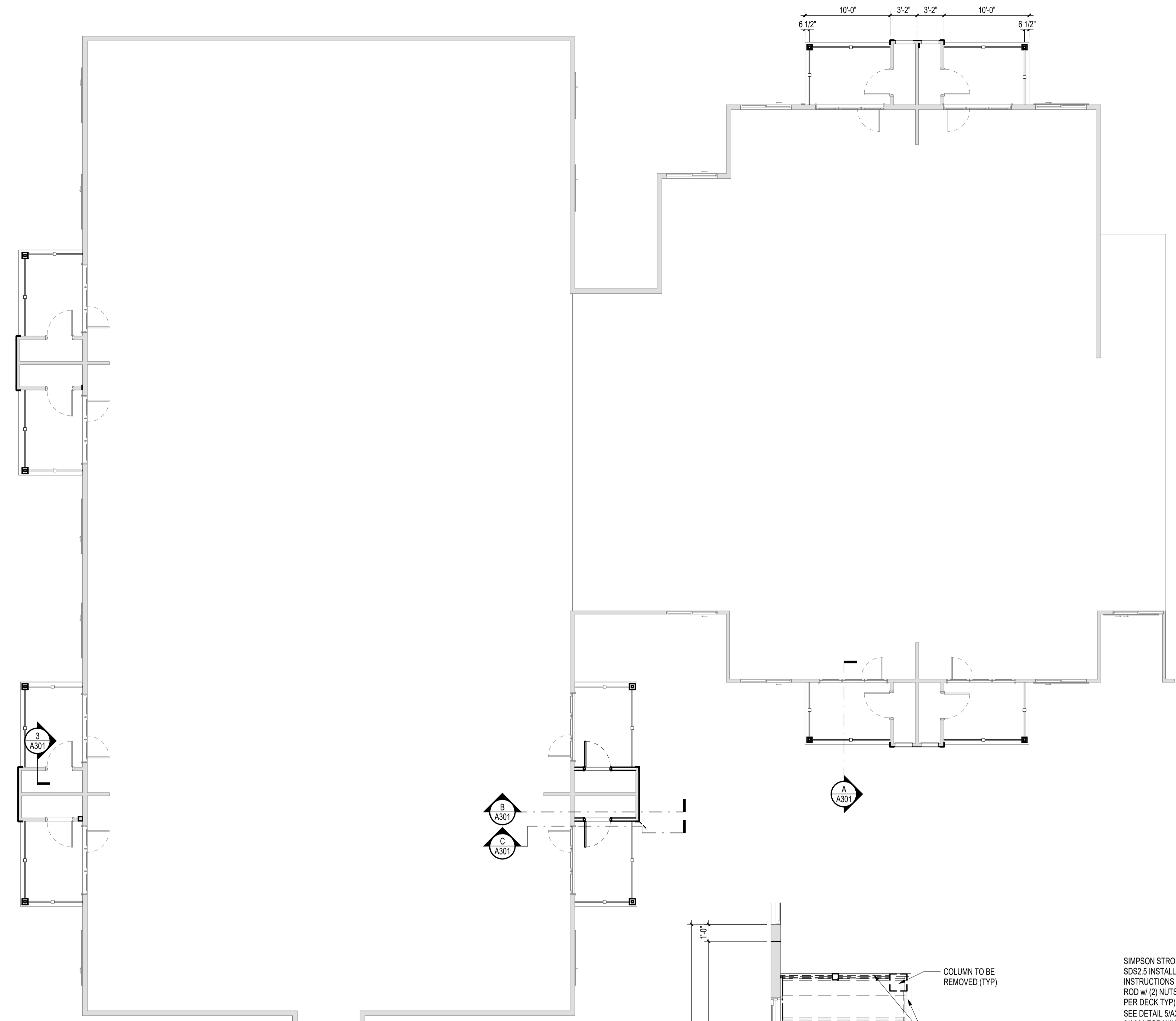
FOR CONSTRUCTION

ISSUE DATE: 2026 06 01  
 PM: CRW QA/QC: CB

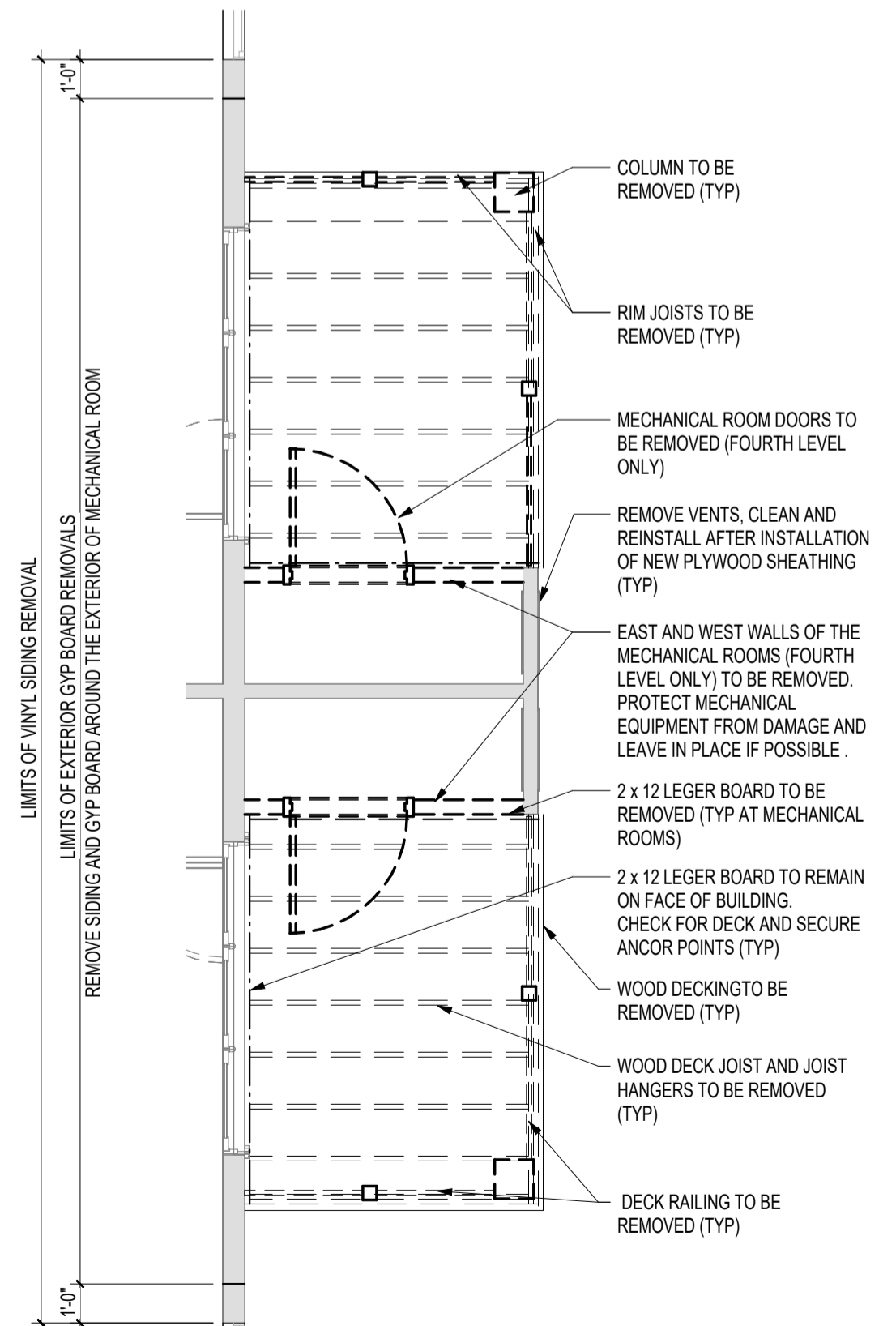
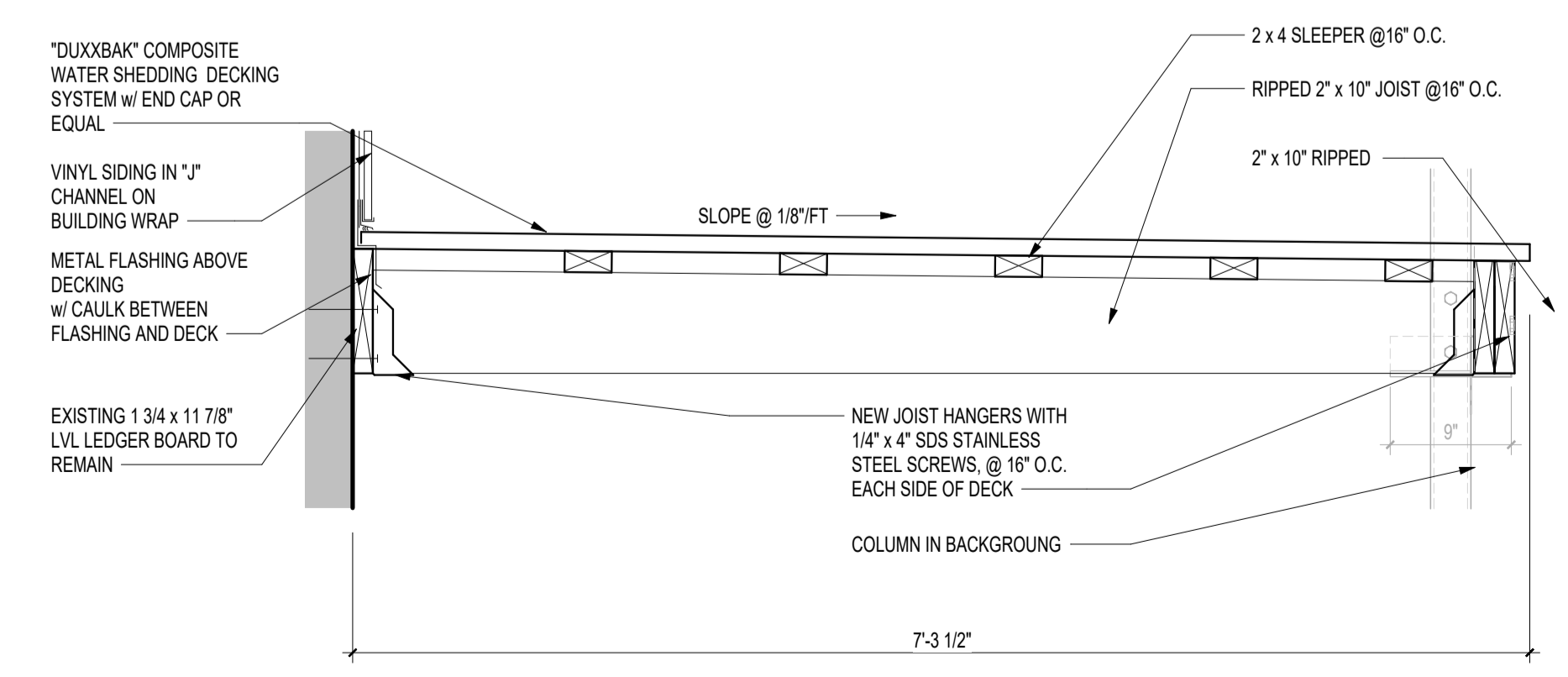
ISSUANCE / REVISION DATE  
 ORIGINAL SHEET IS 24"x36"  
 DO NOT SCALE DRAWINGS

PROJECT NO: 26-0517

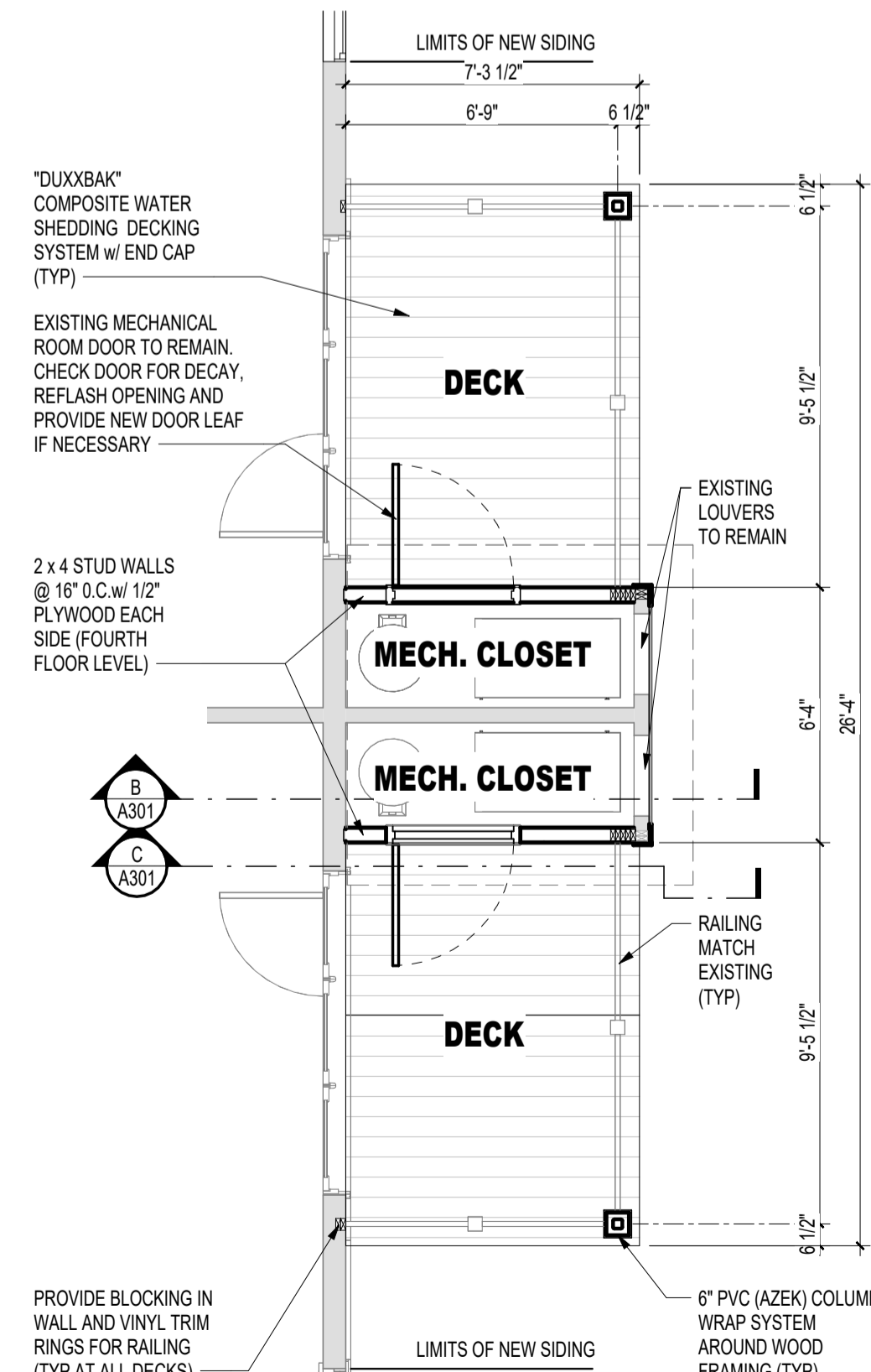
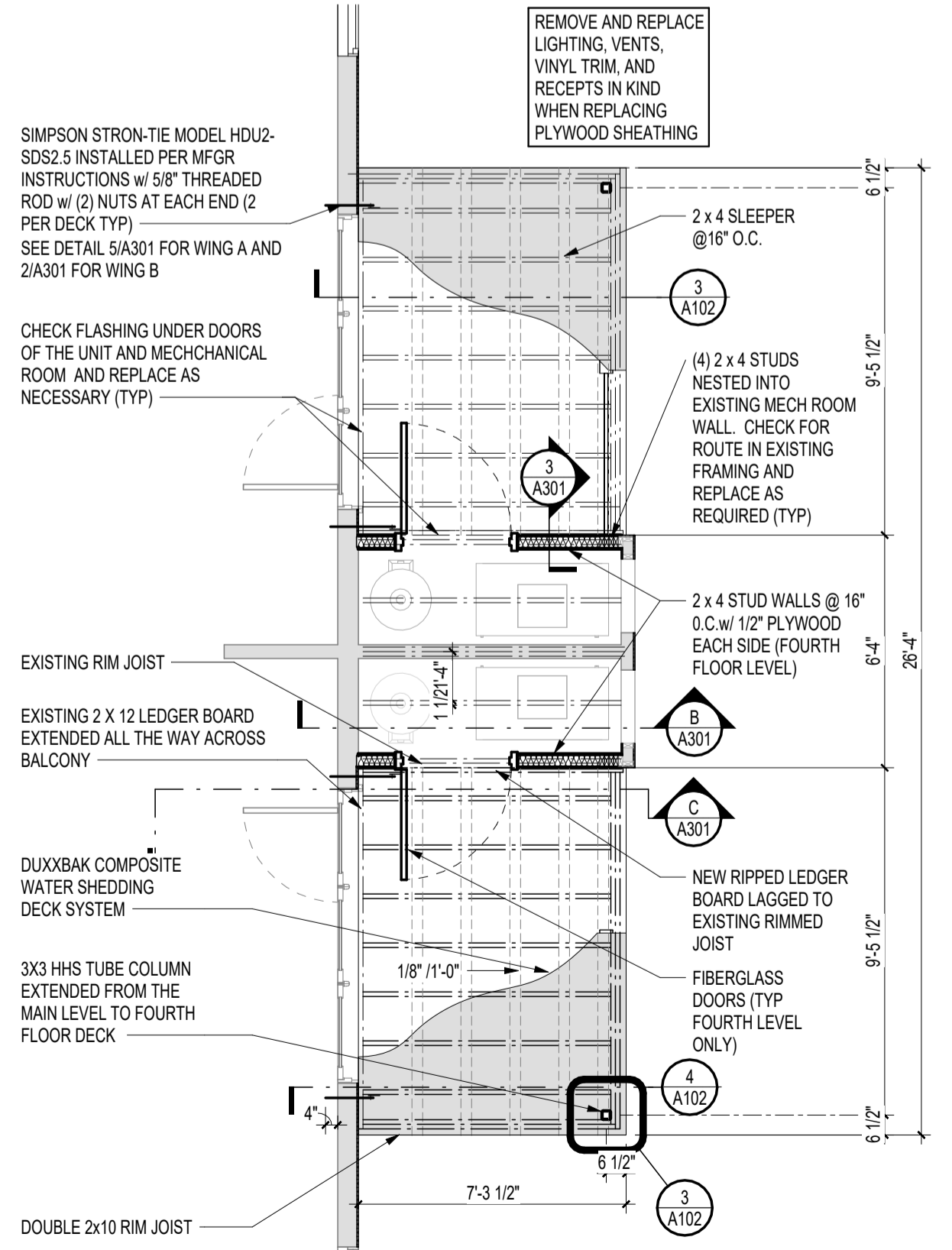
**A102**



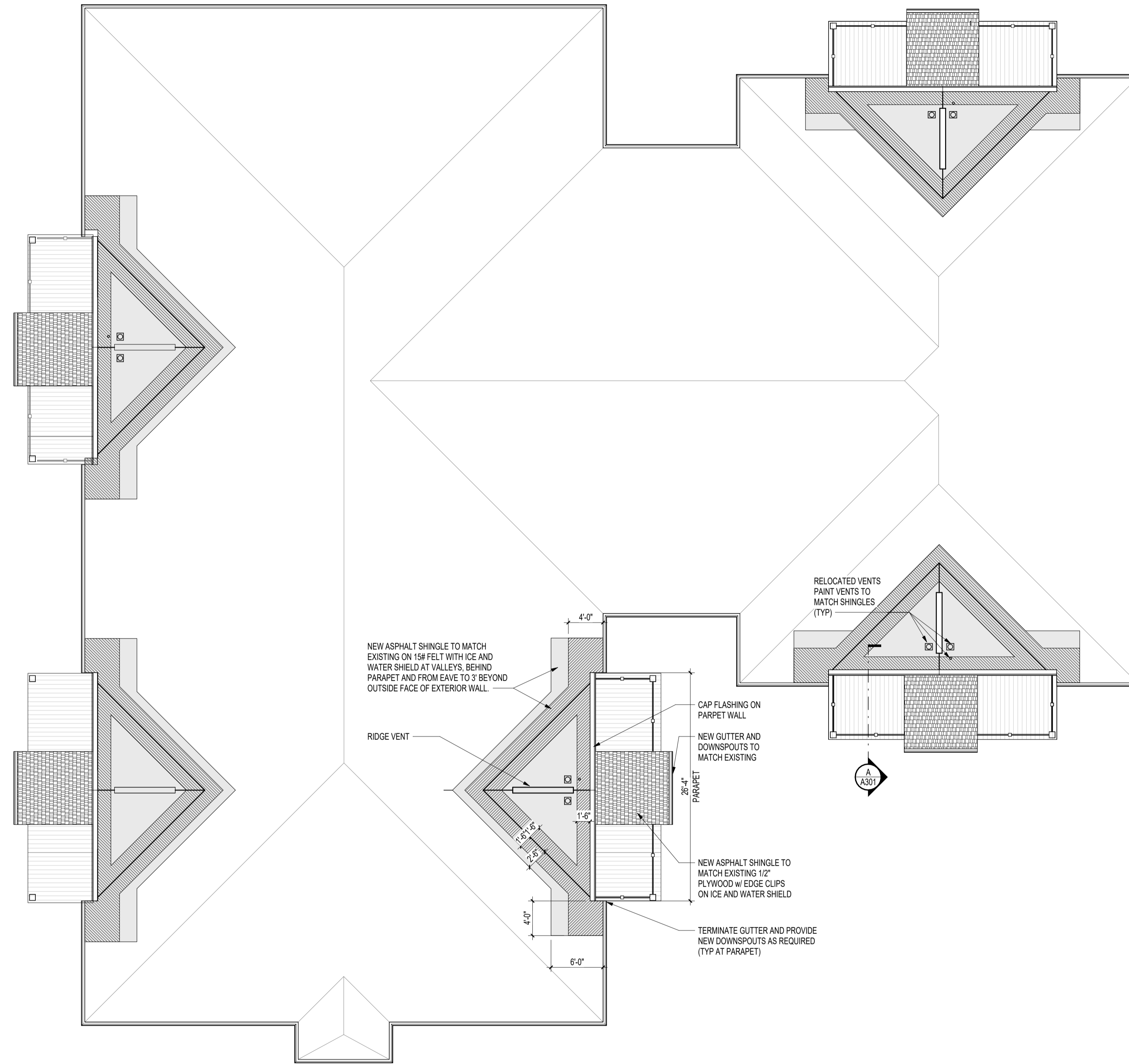
**3 SECOND THROUGH FOURTH LEVEL PLAN**  
 1/8" = 1'-0"



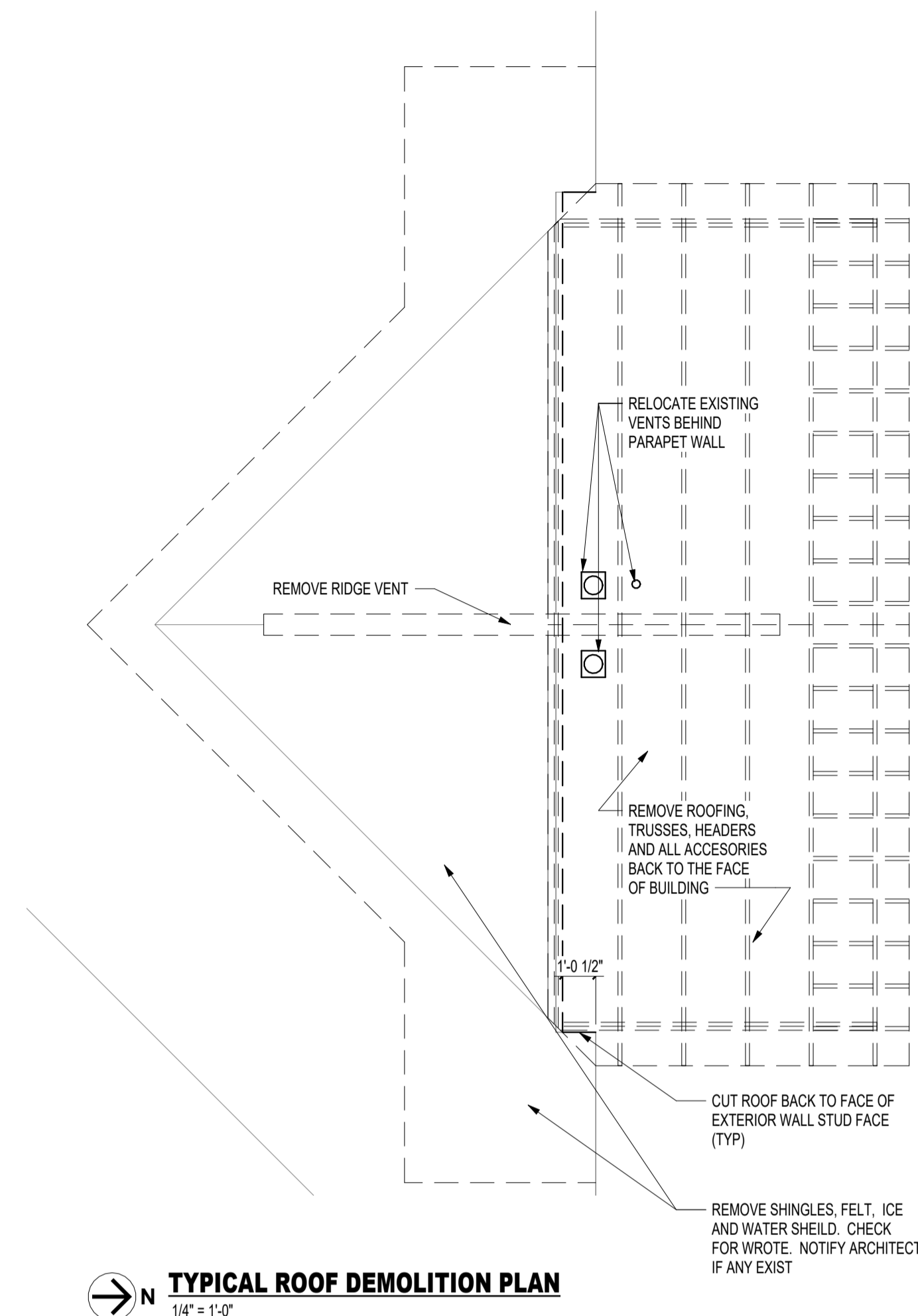
FLOOR JOISTS AND FLOOR DECK IN MECHANICAL ROOM TO REMAIN (CHECK TO VERIFY SOUND CONDITION)



**8 SECOND THROUGH FOURTH LEVEL PLAN**  
 1/8" = 1'-0"



**PARTIAL ROOF PLAN**  
1/8" = 1'-0"



**TYPICAL ROOF DEMOLITION PLAN**  
1/4" = 1'-0"

**ROOF PLAN NOTES:**

1. INFORMATION FOR EXISTING CONDITIONS TAKEN FROM PAST DRAWINGS AND VISUAL INSPECTIONS OF EACH BUILDING. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO INSTALLATION OF NEW WORK AND REPORT ALL DISCREPANCIES TO THE ARCHITECT.
2. LOCATIONS AND QUANTITIES OF ALL EXISTING ROOF PENETRATIONS ARE APPROXIMATE AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO WORK IN THOSE AREAS.
3. WHERE NEW OPENINGS OCCUR IN EXISTING ROOF AREAS, INSTALL SUPPLEMENTAL STEEL FRAMING UNDER DECK PRIOR TO CUTTING HOLE IN DECK. REPAIR ROOFING AND INSULATION TO 2'-0" MINIMUM AROUND OPENING.
4. CONTRACTOR TO COORDINATE NEW WORK ON EXISTING ROOFS TO REMAIN WITH CONTRACTOR OF RECORD SO AS TO NOT VOID WARRANTY ON EXISTING MEMBRANE SYSTEM.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER FLASHING OF ALL EXISTING DRAINS, CURBS, VENT STACKS, ETC., AFFECTED WITHIN THE PROJECT SCOPE.
6. REMOVE ROOF SYSTEM TO EXISTING PLYWOOD DECK.
7. VERIFY DECK INTEGRITY AND REPAIR OR REPLACE AS REQUIRED.
8. ALL ROOF COPING TO BE REPLACED WITH NEW.
9. DISCONNECT AND RECONNECT EQUIPMENT AS REQUIRED TO COMPLETE ROOF REPAIRS AND REPLACEMENTS. EMPLOY MECHANICAL OR ELECTRICAL SUBCONTRACTORS AS NEEDED. COORDINATE THIS WORK WITH THE OWNER.
10. CAUTION: EXISTING ELECTRICAL CONDUITS, PLUMBING PIPING OR MECHANICAL LINES MAY BE ATTACHED TO, OR NEAR, THE UNDERSIDE OF THE ROOF DECKS. CONTRACTOR SHALL BE RESPONSIBLE FOR INVESTIGATING CONDITIONS TO AVOID DAMAGING EXISTING SYSTEMS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES ON OR NEAR PROJECT ROOFS DURING THE WORK. PROVIDE PROPER SAFETY MEASURES NEAR ELECTRICAL SERVICE LINES.
12. PROTECT ROOF SYSTEMS THAT REQUIRE NO WORK FROM DAMAGE AND PUNCTURES FROM FOOT TRAFFIC AND OPERATIONS UNDER THIS CONTRACT. CONSULT WITH PREVIOUS ROOFER FOR PROTECTION THAT MEETS THESE NEEDS AND ENSURES ANY WARRANTIES REMAIN IN EFFECT.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SEALING AND FLASHING OF ALL ROOF PENETRATIONS.
14. ROOF INSULATION TO BE THE MINIMUM SPECIFIED R-VALUE. ROOF INSULATION NOT TO BE AVERAGED OVER ROOF AREA.
15. ROOF DRAINAGE: MAINTAIN 1/4" PER 1'-0" MINIMUM SLOPE TO DRAINS. COORDINATE SLOPES TO DIRECT RUN OFF AROUND ALL OBSTACLES INCLUDING ROOF PERIMETER OUTLINE, MECHANICAL EQUIPMENT, SKYLIGHTS, CURBS, ETC. FINAL DESIGN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. MAINTAIN SLOPE UNDER ALL ABOVE ROOF ITEMS INCLUDING, BUT NOT LIMITED TO, WALK PADS, RAISED PAVERS, LIVE ROOF AREA, SOLAR PANELS.

FOR CONSTRUCTION

ISSUE DATE: 2026 06 01  
PM: CRW QA/QC: CB

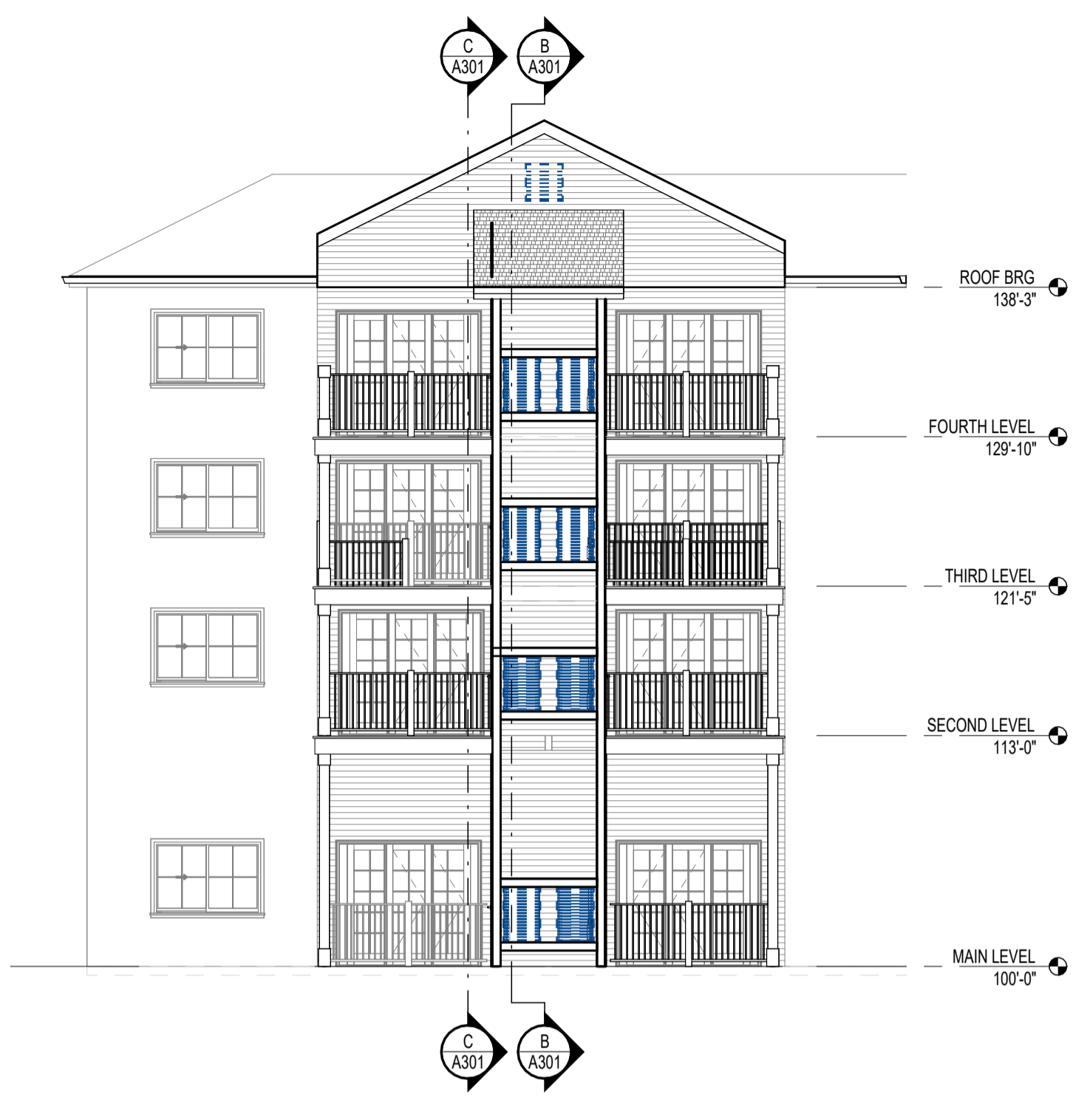
# ISSUANCE / REVISION DATE  
ORIGINAL SHEET IS 24"x36"  
DO NOT SCALE DRAWINGS

PROJECT NO: 26-0517

**A105**



4 EAST ELEVATION  
A201 1/8" = 1'-0"



3 NORTH ELEVATION (STACK 2)  
A201 1/8" = 1'-0"



2 SOUTH ELEVATION WING "A" (STACK 1)  
A201 1/8" = 1'-0"



1 WEST ELEVATION (STACK 2)  
A201 1/8" = 1'-0"

NELSON PLACE  
**BALCONY STRUCTURAL REPAIRS**  
 350 HOUSTON AVE. MUSKEGON, MI 49441  
**EXTERIOR ELEVATIONS**

FOR CONSTRUCTION

ISSUE DATE: 2026 06 01  
 PM: CRW QA/QC: CB

# ISSUANCE / REVISION DATE  
 ORIGINAL SHEET IS 24"x36"  
 DO NOT SCALE DRAWINGS

PROJECT NO: 26-0517

**A201**

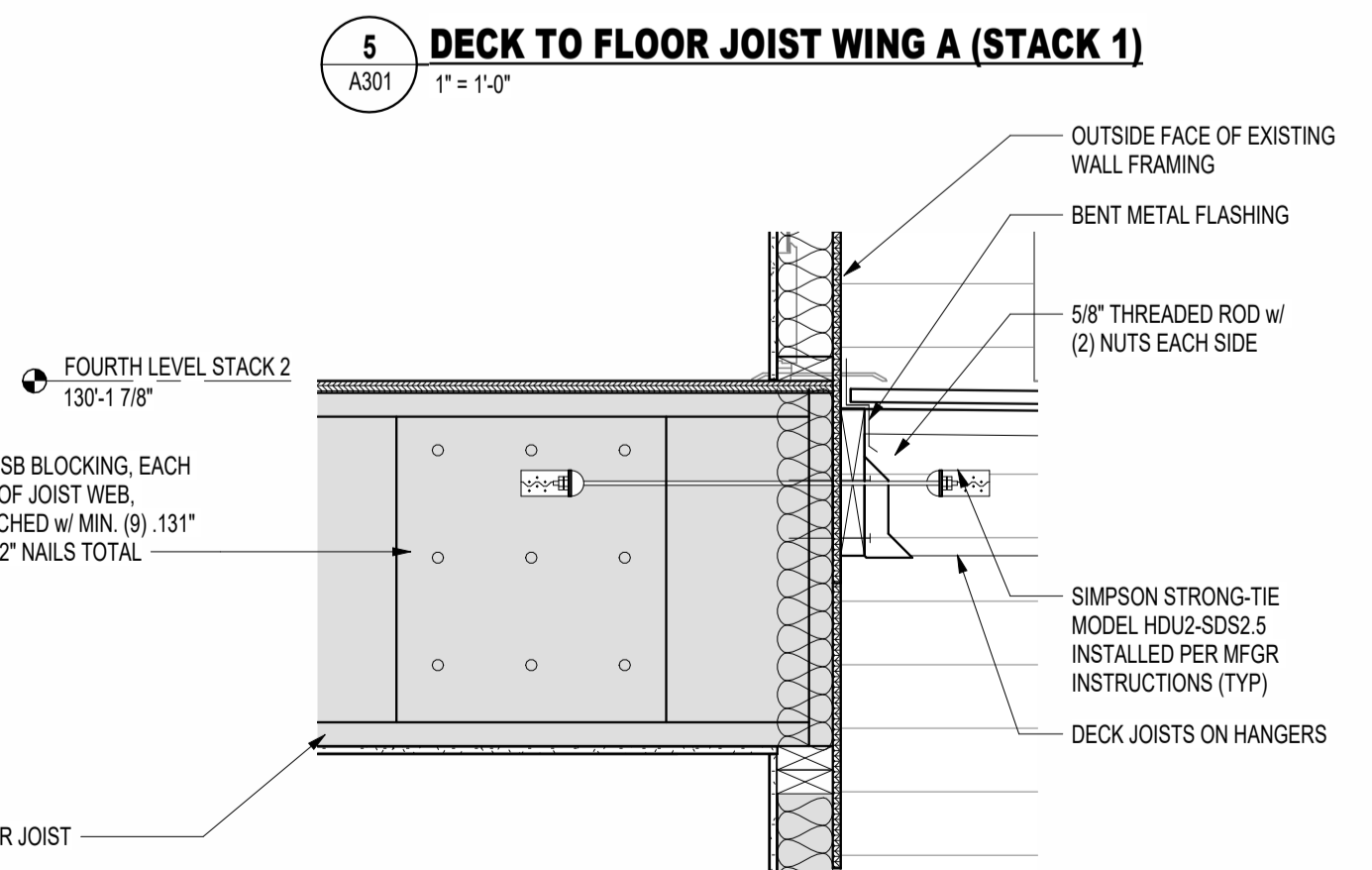
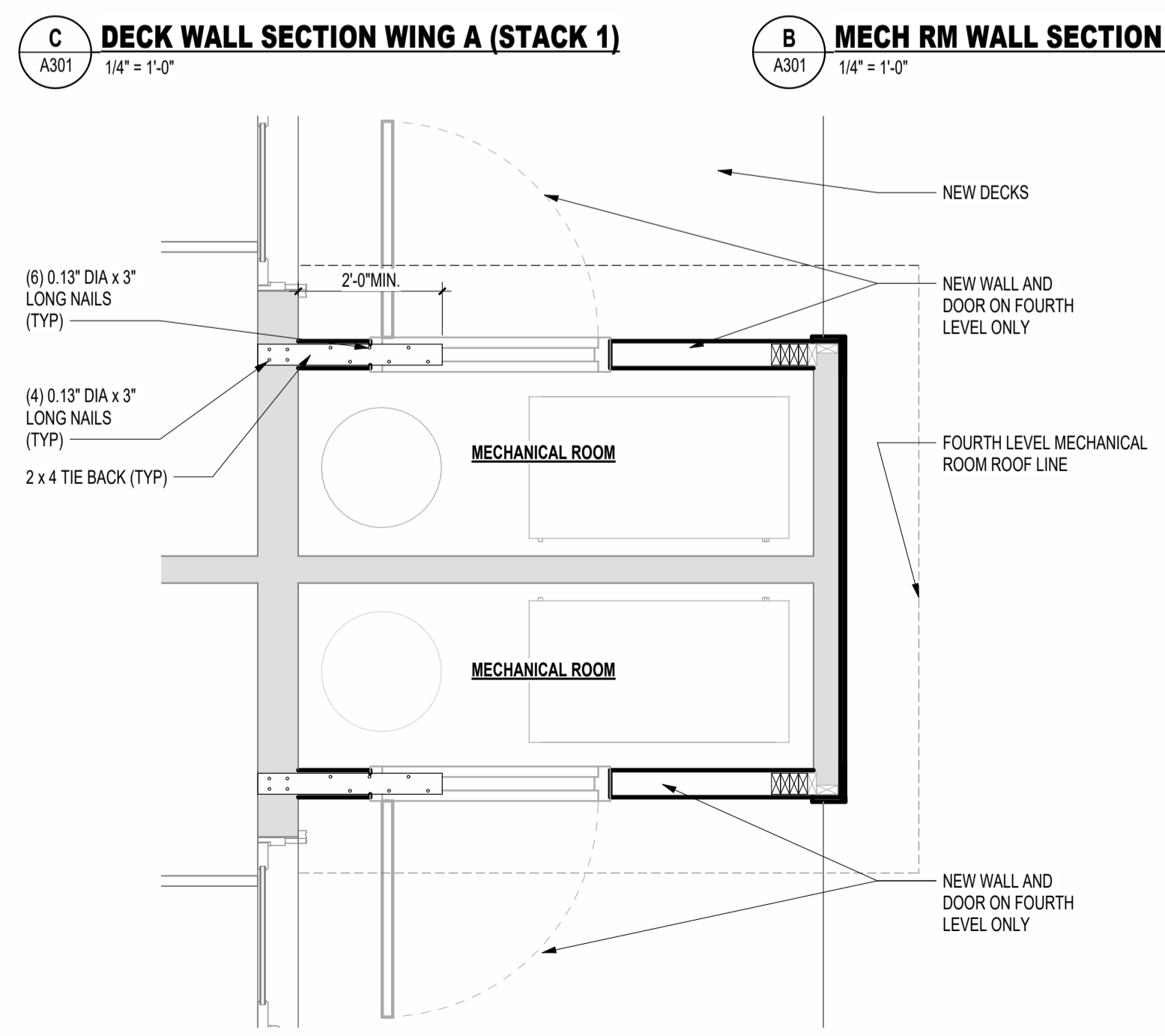
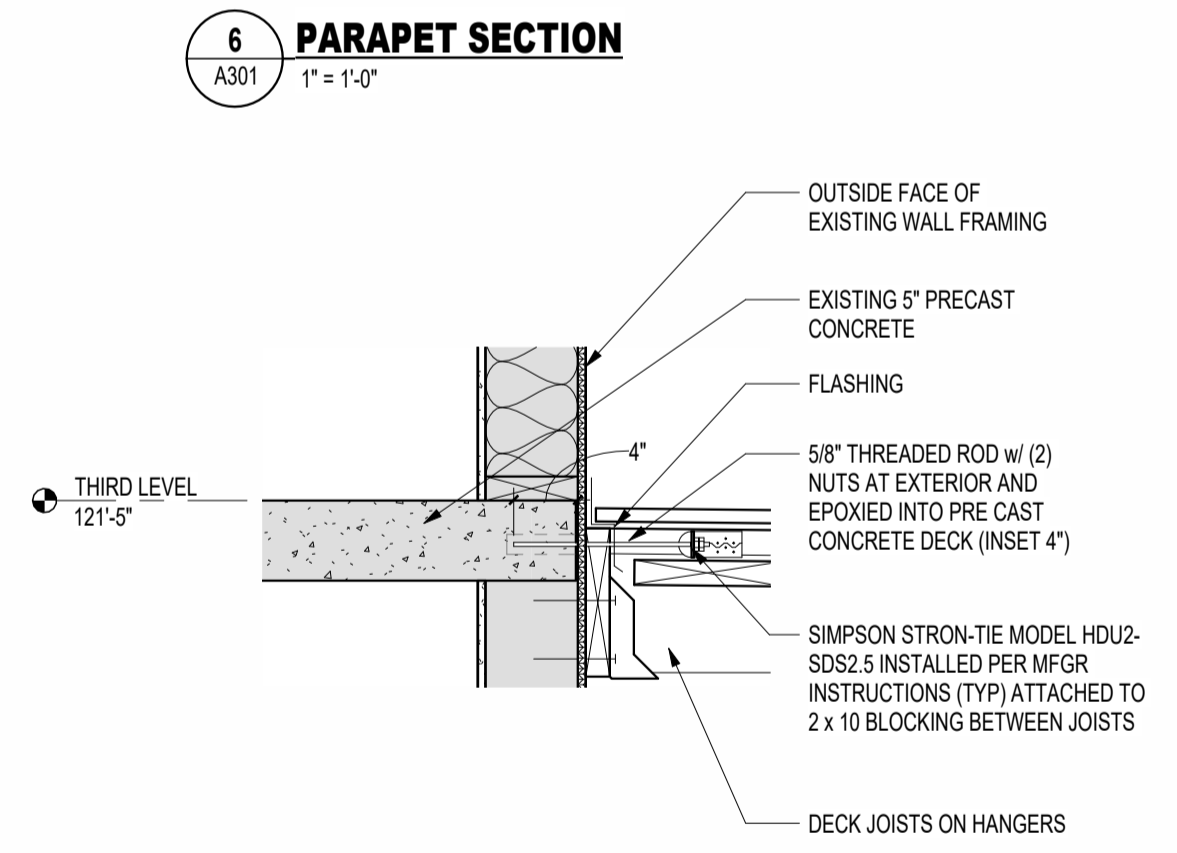
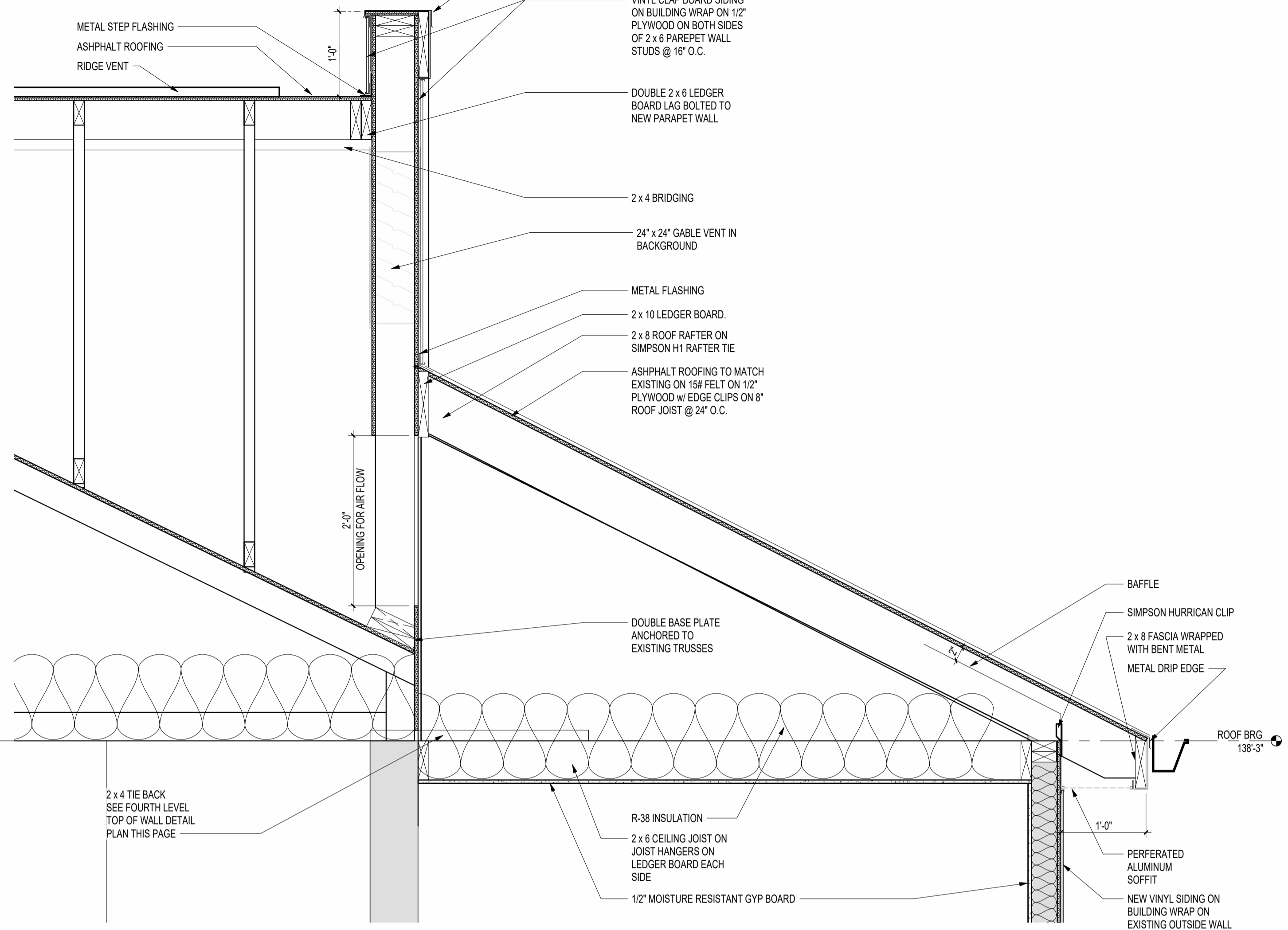
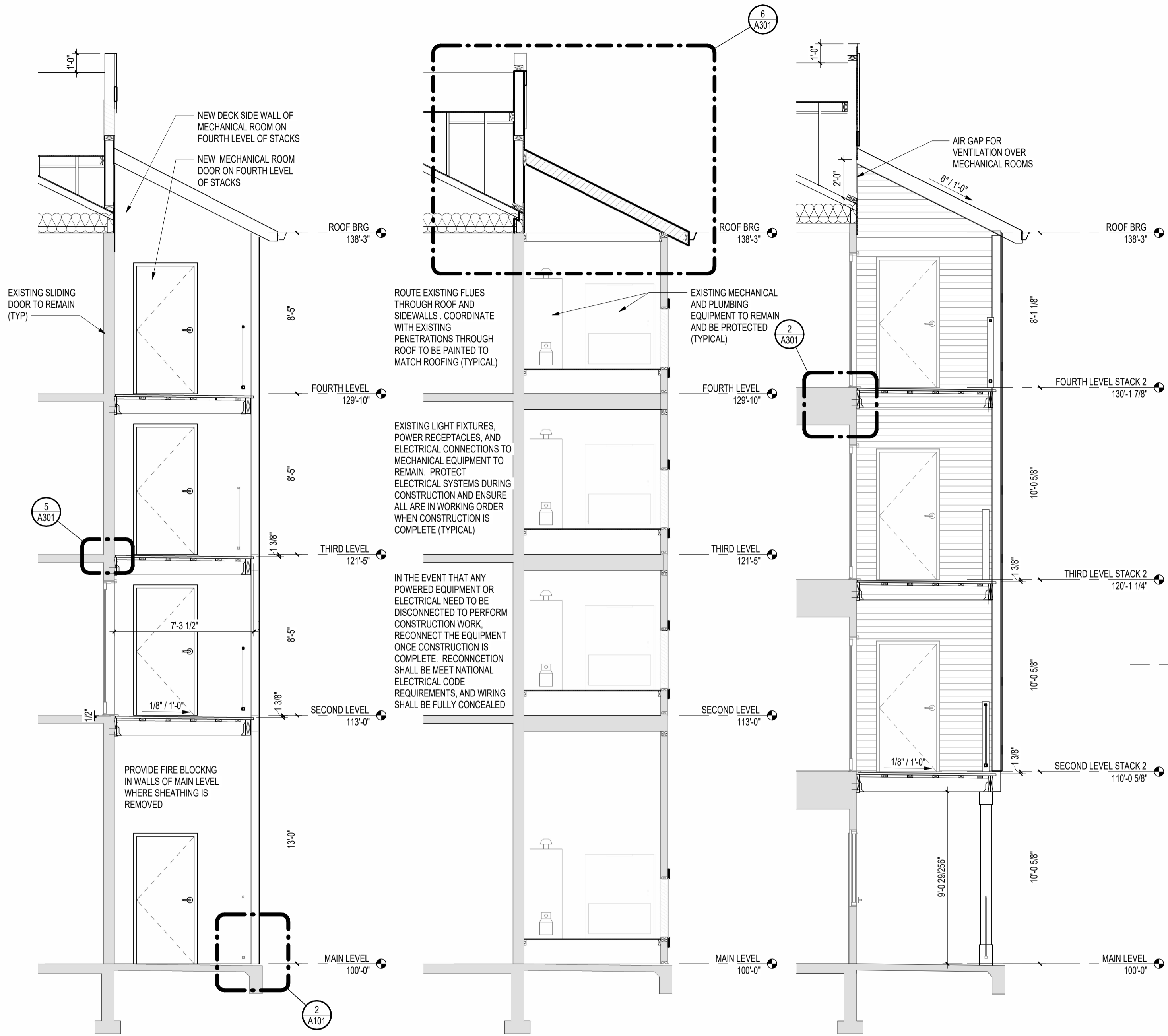
FOR CONSTRUCTION

ISSUE DATE: 2026 06 01  
 PM: CRW QA/QC: CB

# ISSUANCE / REVISION DATE  
 ORIGINAL SHEET IS 24"x36"  
 DO NOT SCALE DRAWINGS

PROJECT NO: 26-0517

**A301**



CITY OF MUSKEGON  
HISTORIC DISTRICT COMMISSION  
PORCH AND DECK STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

**Covered Porches**

Newly constructed covered porches shall be decked with tongue and groove decking and painted to complement or contrast the house (unless the construction involves the rebuilding of a missing original porch where documentable evidence shows a different method of decking). Ventilation under the porch deck is necessary to prevent excessive moisture from causing deterioration to the porch members. Therefore, the porch skirt shall be detailed in a similar manner to that shown on the attached decking detail illustration. In some cases, composite decking materials may be permitted for use on covered porches.

**Freestanding or Attached Decks (Uncovered Porches)**

Placement and design of all decks shall be approved by the Commission. Decks should be located in unobtrusive locations and shall feature one of the edge details featured on the attached decking detail illustration. Decking boards shall consist of 5/4" thick pressure treated decking or square-edged fir decking and appropriately finished. In some cases, composite decking materials may be permitted for use on uncovered porches.

**Handrails and Guardrails**

Existing original handrails and guardrails shall not be removed without the approval of the Commission. Deteriorated rails shall be repaired as a first course of action. When replacement is necessary, the original details shall be replicated. In cases where height or spacing is required to be modified to meet code requirements, the Commission will carefully review the options to determine the most appropriate method to accomplish this requirement. In cases where handrails or guardrails are new (including those for new decks), the design shall generally conform to the railing and balustrade detail illustrated on the attached sketches.

New guardrails in the historic districts shall conform to the minimum guardrail height in the most recent edition of the building code.

| PORCH OR DECK FLOOR HEIGHT<br>FROM FINISHED GROUND GRADE | MINIMUM GUARDRAIL HEIGHT |
|--|--------------------------|
| 0" - 30"   | 0"                       |
| ≥ 30"  | 36"                      |

New guardrails on commercial buildings shall conform to the minimum guardrail height for commercial buildings as defined in the most recent edition of the building code.

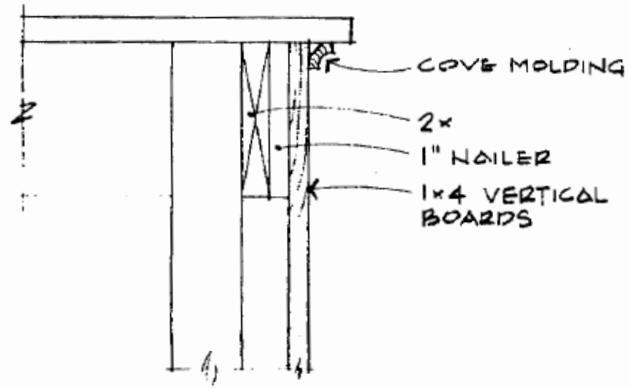
In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies.

### **Porch Enclosure**

Existing screen or open porches shall not be enclosed with framing or windows without approval by the Commission. Generally, when an open or screened porch is enclosed, the enclosure materials or windows should preserve the appearance of a porch in order to maintain the original design and to avoid the visual effect of a boxed-in appendage. This can often be accomplished with full length windows and exterior screens which would extend from within a few inches off the floor or base of the existing porch opening thus maintaining the effect of a screened in porch or solarium. On most full length porches, building up a half-wall at the base and enclosing it with short windows would not be in keeping with the original design of the house and would detract from the overall appearance. Each request for a porch enclosure will be carefully analyzed by the Commission, taking into consideration the practical and intended usage of the area and the overall visual effect upon the house.

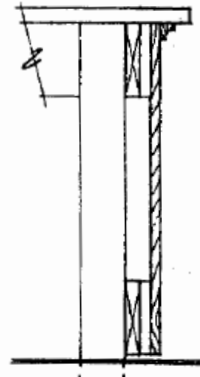
### **Paint**

All exposed deck or porch wood shall be painted to complement or contrast the existing structure. Pressure treated wood shall be painted no later than one year after installation.

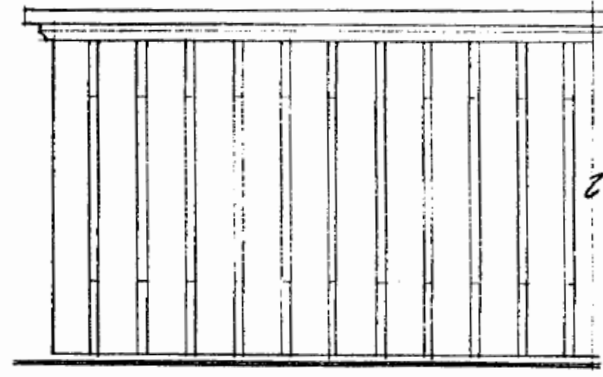


COVE MOLDING  
 2x  
 1" NAILER  
 1x4 VERTICAL  
 BOARDS

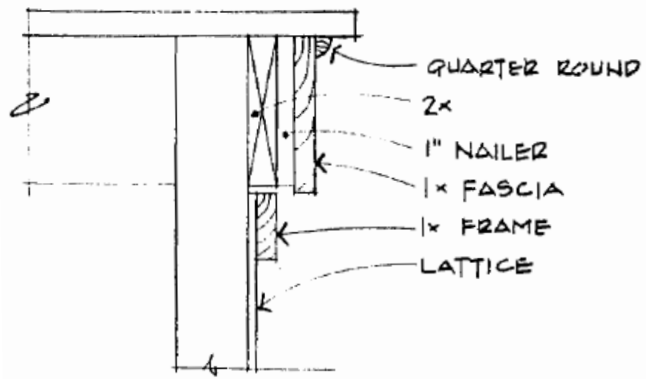
VERTICAL BOARDS



SECTION

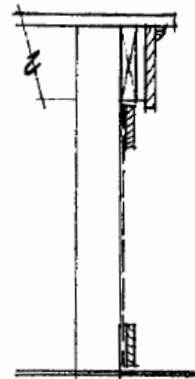


ELEVATION

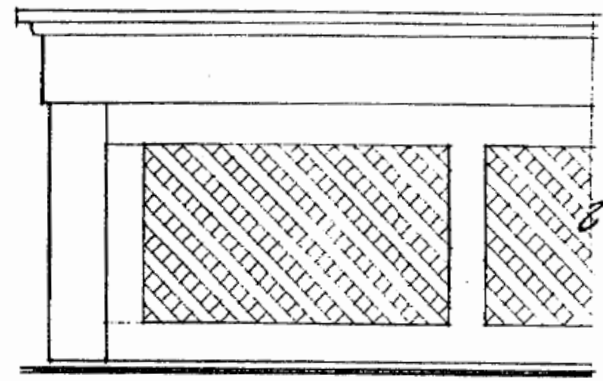


QUARTER ROUND  
 2x  
 1" NAILER  
 1x FASCIA  
 1x FRAME  
 LATTICE

LATTICE



SECTION

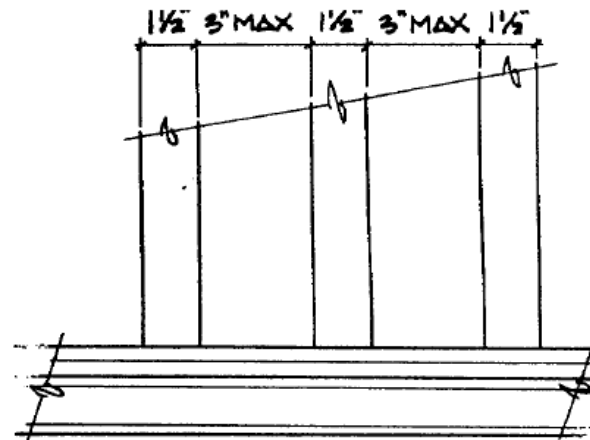
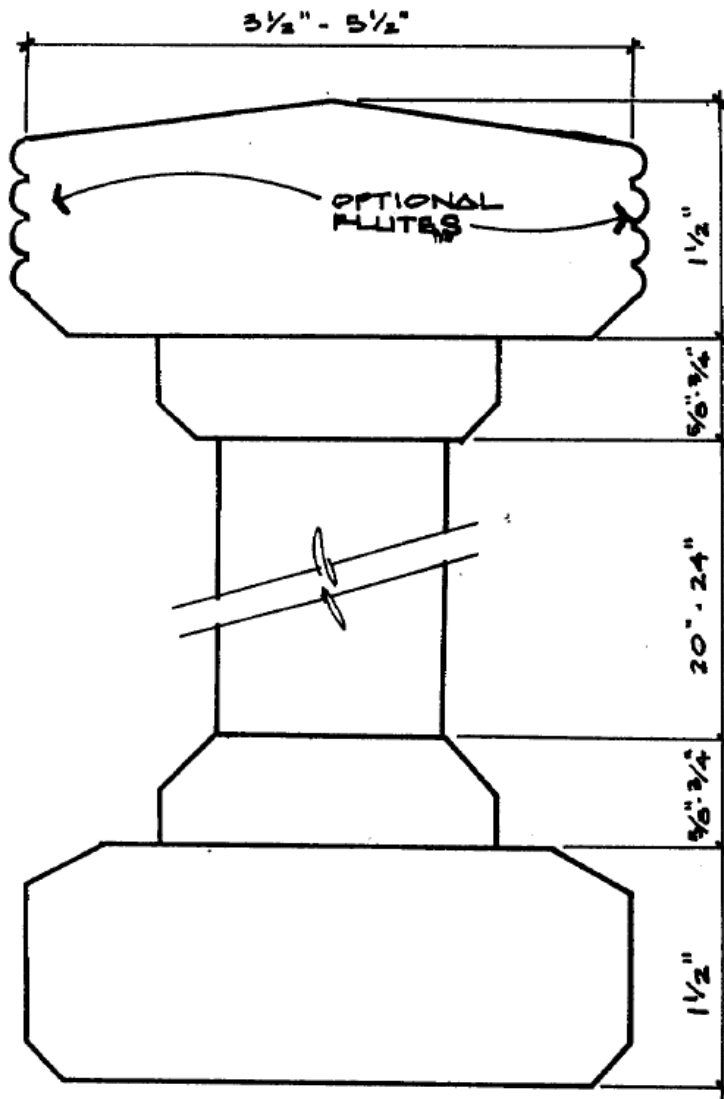


ELEVATION

DECKING DETAILS

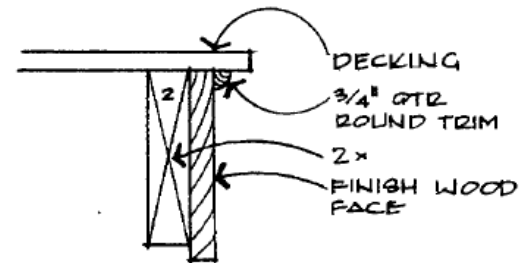
GRAPHICS COURTESY CITY OF KALAMAZOO

DETAIL OF SAMPLE  
BALLUSTRADE CONSTRUCTION

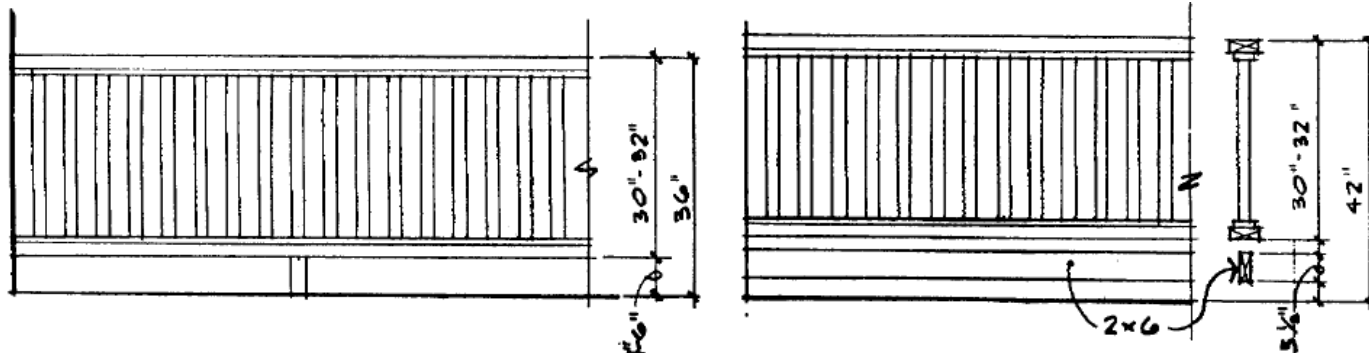


SPACING OF BALLUSTERS

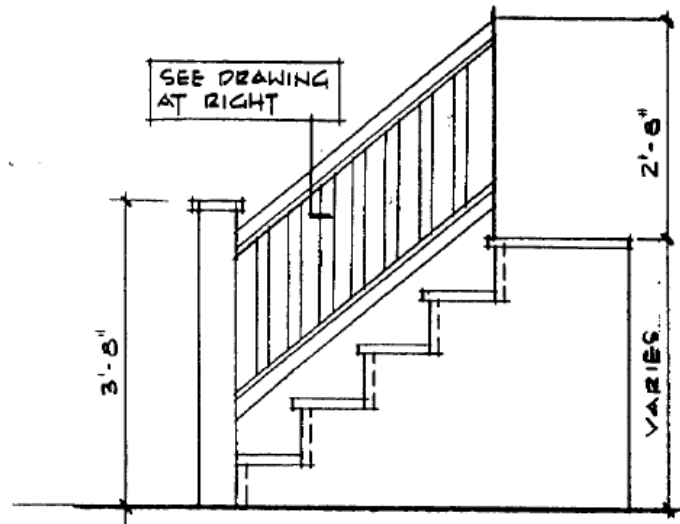
WIDTH x 3 = CENTER-TO-CENTER SPACING



EDGE DETAIL



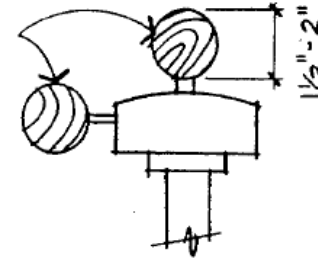
MINIMUM RAIL HEIGHT REQUIREMENTS ARE 24"-30" DEPENDING ON DECK HEIGHT FROM GROUND LEVEL  
 IF A GREATER HEIGHT IS RECOMMENDED FOR SAFETY REASONS (WHERE THE RAIL IS NEW OR REBUILT),  
 THE ABOVE CONSTRUCTION METHODS MAY BE ACCEPTABLE (PLEASE SEE ATTACHED TEXT FOR DETAILS)



"GRASPABLE" HANDRAIL  
 (1 1/2" - 2" CROSS  
 SECTIONAL DIMENSION)

ROUNDED CORNERS

HANDRAIL CAP



SAMPLE  
RAILING DETAILS (NEW RAILS)

GRAPHICS COURTESY CITY OF KALAMAZOO



## Agenda Item Review Form

### Muskegon Historic District Commission

|   |                              |
|---|------------------------------|
| <b>Nelson Neighborhood Door Hangers</b>   | <b>Description of Work:</b>  |
| <b>Applicant:</b>   | <b>District:</b>             |
| <b>Current Use:</b>   | <b>Date of Construction:</b> |
| <b>Discussion:</b><br><br>Board members C. Davis and G. Borgman have continued to work with the Nelson Neighborhood Association on the door hangers discussed at the May meeting and will provide an update on the project. |                              |
| <b>Standards:</b>   |                              |
| <b>Deliberation:</b>  |                              |