

# CITY OF MUSKEGON

## HISTORIC DISTRICT COMMISSION

### MEETING

**June 2, 2026 @ 4:00 PM**

**MUSKEGON CITY HALL, ROOM 204**

**933 TERRACE STREET, MUSKEGON, MI 49440**

- CALL TO ORDER:**
- ROLL CALL:**
- APPROVAL OF MINUTES:**
  - A. **Approval of the minutes of the May 5, 2026 regular meeting.** Planning
- OLD BUSINESS:**
  - A. **Case 2026-07: 475 W. Webster** Planning
- NEW BUSINESS:**
  - A. **Case 2026-10: 140 Washington** Planning
  - B. **Case 2026-11: 238 Houston** Planning
- ANY OTHER BUSINESS:**
  - A. **2026 Staff Approval Update #2** Planning
- PUBLIC COMMENT:**
- ADJOURNMENT:**

#### **AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES**

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk's Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit: [www.shorelinecity.com](http://www.shorelinecity.com)

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such

as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours' notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following:

Ann Marie Meisch, MMC. City Clerk. 933 Terrace St. Muskegon, MI 49440. (231)724-6705.  
[clerk@shorelinecity.com](mailto:clerk@shorelinecity.com)



# Agenda Item Review Form

## Muskegon Historic District Commission

<b>Approval of the minutes of the May 5, 2026 regular meeting.</b>	<b>Description of Work:</b>
<b>Applicant:</b>	<b>District:</b>
<b>Current Use:</b>	<b>Date of Construction:</b>
<b>Discussion:</b>  The draft minutes will be shared at the meeting.	
<b>Standards:</b>	
<b>Deliberation:</b>  I move that the HDC approve the minutes of the May 5, 2026 regular meeting.	



## Agenda Item Review Form

### Muskegon Historic District Commission

<b>Case 2026-07: 475 W. Webster</b>	<b>Description of Work:</b> Windows
<b>Applicant:</b> Brett Mahaffey (contractor) and Matthew Dickinson (homeowner)	<b>District:</b> Houston
<b>Current Use:</b> Residential	<b>Date of Construction:</b>
<b>Discussion:</b>  <p>This case was denied at the May 5th HDC meeting. The applicant is seeking approval to replace 17 existing wood windows in the house with wood composite (Fibrex material) windows with grill patterns and sash ratios to match the original windows. Additional information and photos identifying each window are in the attached document as well as a quote for repair of the existing wood windows.</p>	
<b>Standards:</b> Please see attached <i>Window, Door, and Exterior Woodwork Standards and Guidelines</i> .	
<b>Deliberation:</b>  <p>I move that the HDC (approve/deny) the request to replace 17 existing wood windows in the house with wood composite windows with grill patterns and sash ratios to match the original windows as long as the work meets all zoning requirements and the necessary permits are obtained.</p>	



View from W. Webster Avenue, looking east.



View from W. Webster Avenue, looking south.



View from W. Webster Avenue, with rear addition visible at right.



**Matthew Dickinson**  
475 W Webster  
Muskegon Historic

# Contractor

Renewal by Andersen

37720 Amrhein

Livonia, MI 48150

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- Homeowner wants to discuss replacing the windows on the house. We are proposing 12 windows on back and sides of the house and proposing the 5 windows on the front of the house.
- Renewal by Andersen windows are Fibrex (wood composite) material
- Windows will be installed with a small L trim on the exterior that will not cover the existing brickmold.
- Will match the grille configuration and sash ratio in each window
- Original structure: (window units) 101, 102, 103, 106, 107, 108, 201, 202, 203, 204, 205, 208, 209, 210
- Addition: (window units) 104, 206, 207 &
- Windows are hard to operate, missing hardware, have broken frames, and are not energy efficient.
- New windows will not have storm windows



Right side (from road)



202

203

204

205

206

102

103

104

# Back of House



NO

204 205

NO

# Back of House



204

205

NO

NO

Left side (from road)



109

NO

207

208

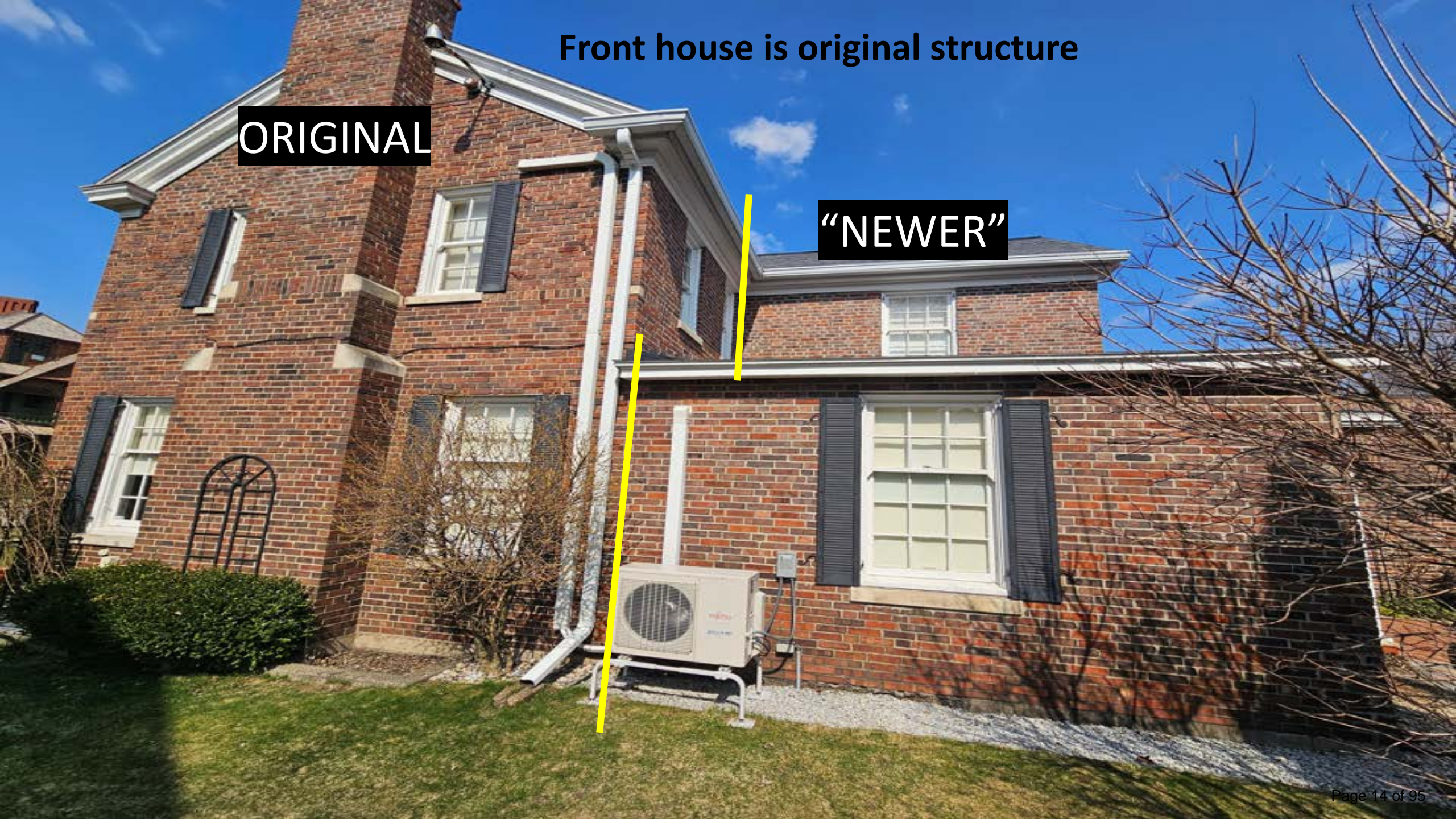
209

106

Front house is original structure

**ORIGINAL**

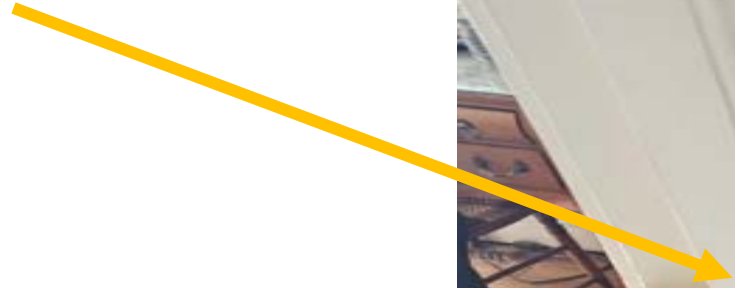
**“NEWER”**



Trim in front portion of house doesn't match the interior trim in the "newer" addition of the house



- Upstairs bedroom door going into bedroom is probably the original door opening
- Wall is 8" thick for this opening



**The boiler heating units  
also don't match between  
the back part of the house  
and front part of the house**



**Foundation changes and  
brick color is slightly off**





**They blended the bricks  
between the two additions  
here with groups of  
"three" lined up**



102



103



104



104

103

102

101



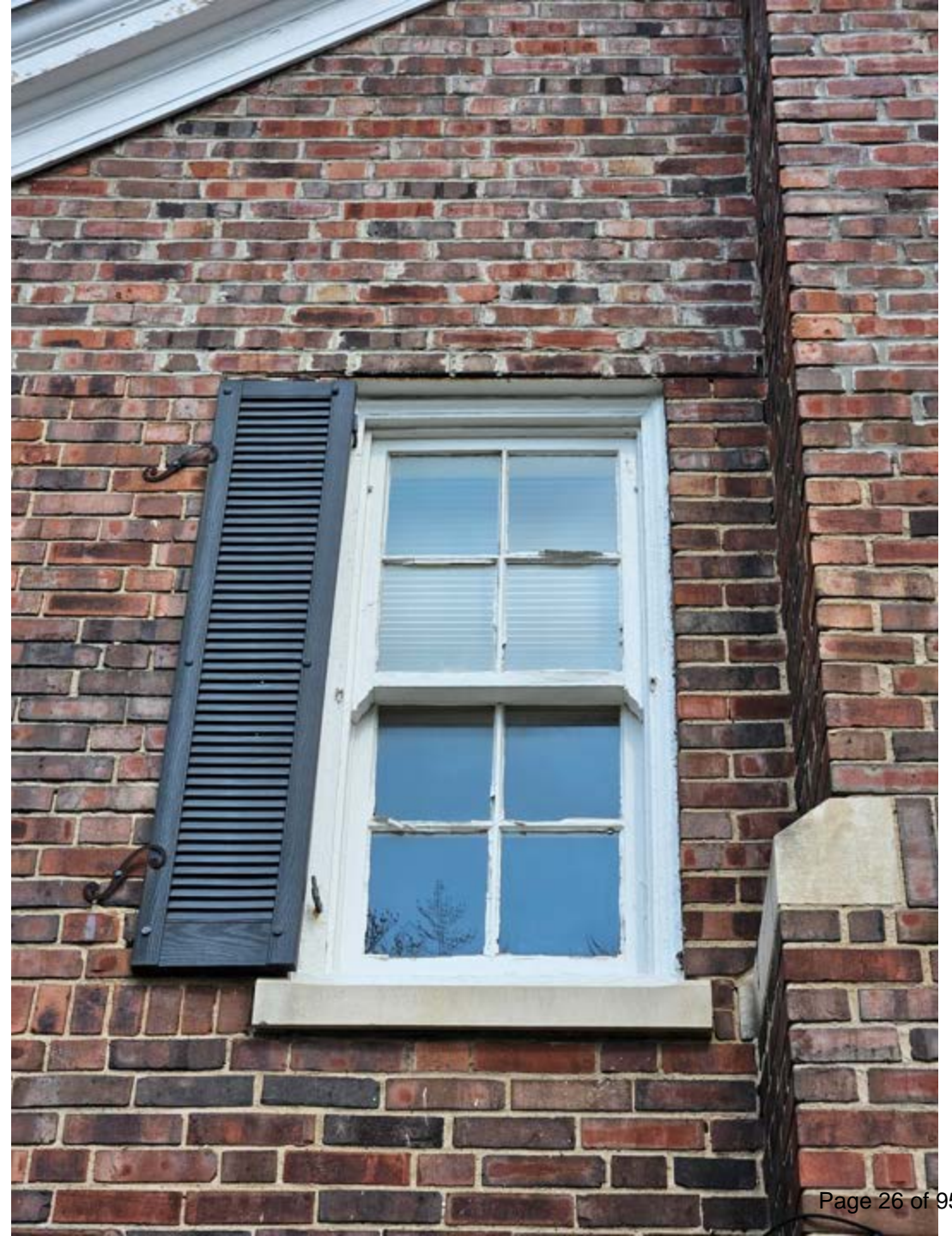
106 & 107



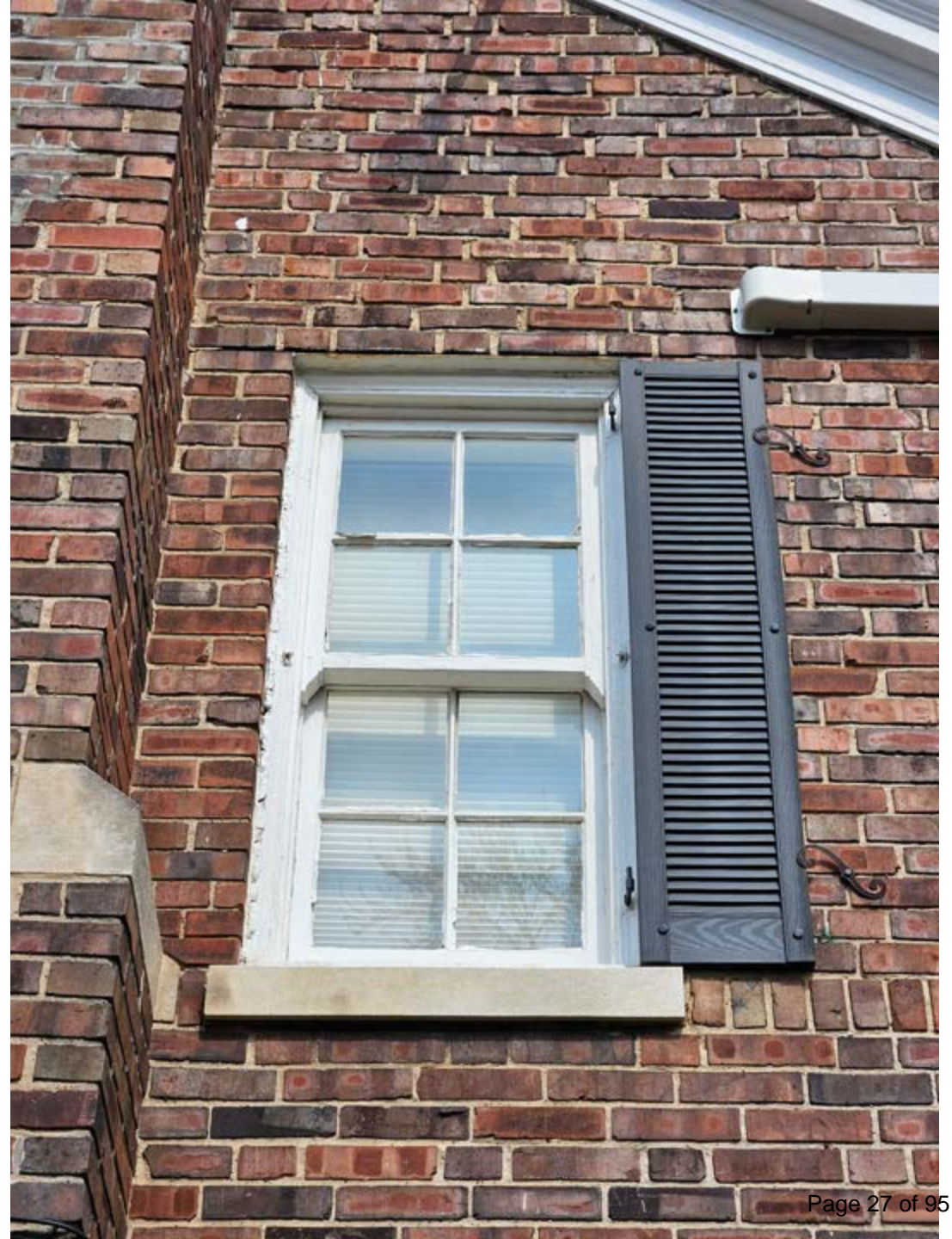
106



202



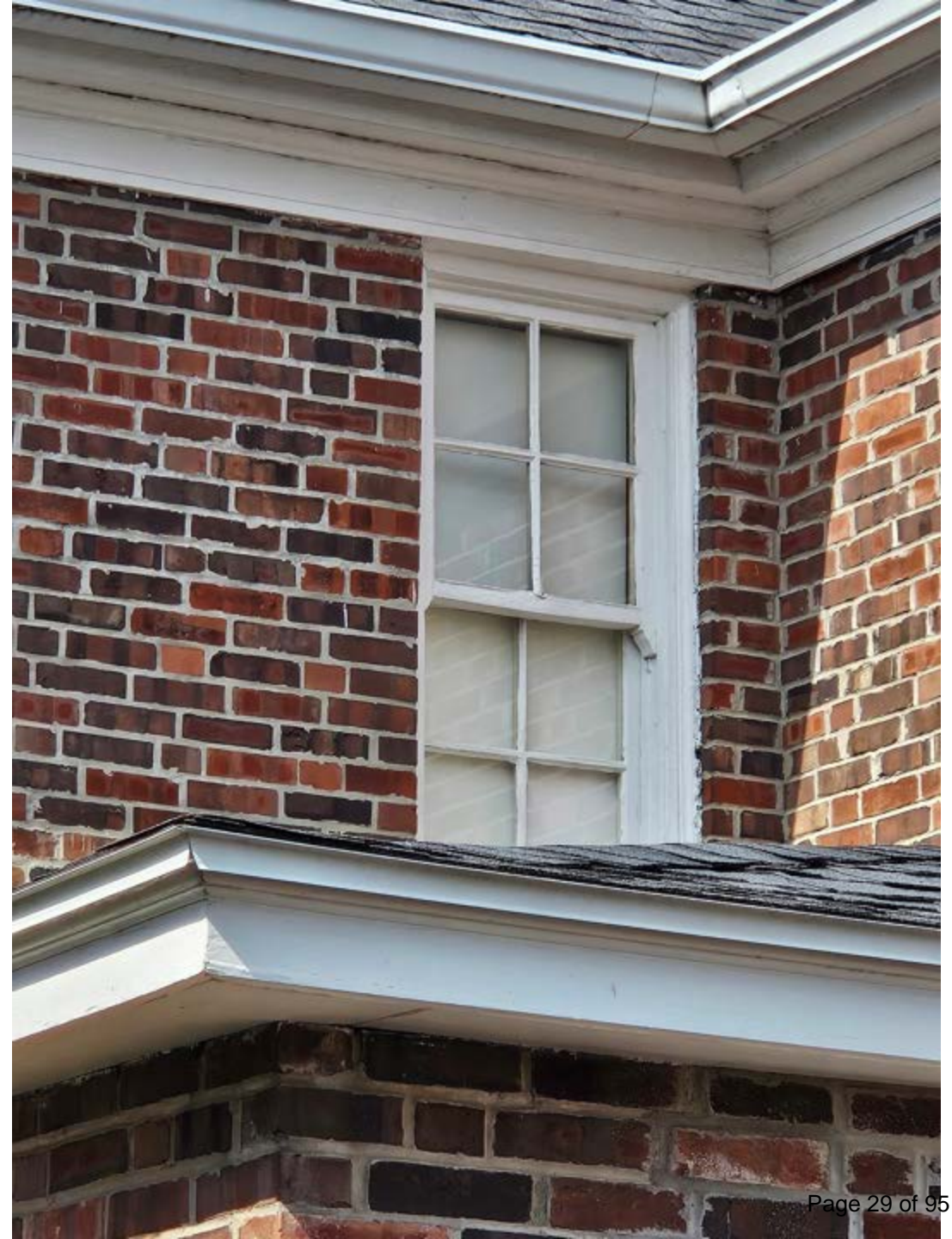
203



204



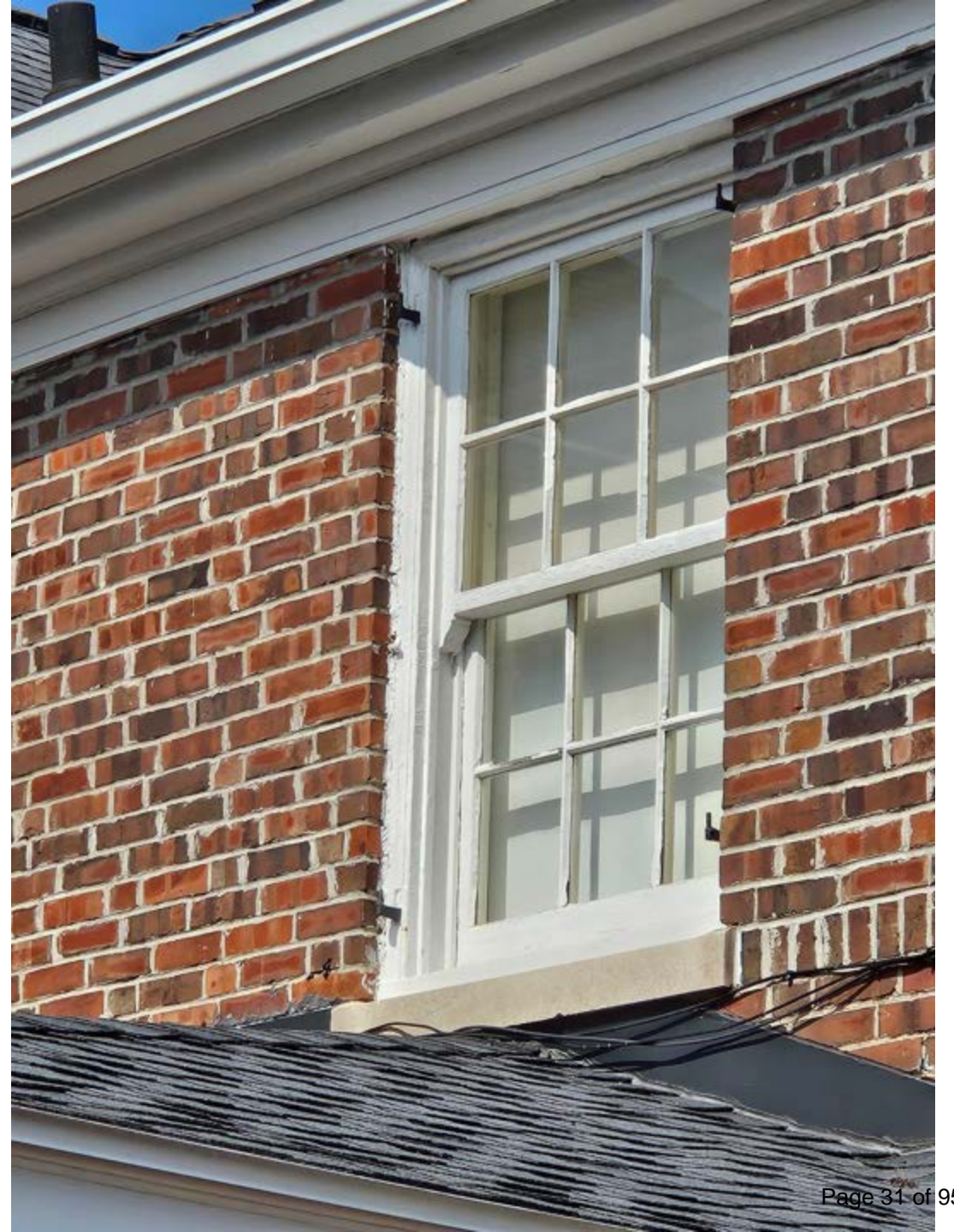
205



205



206



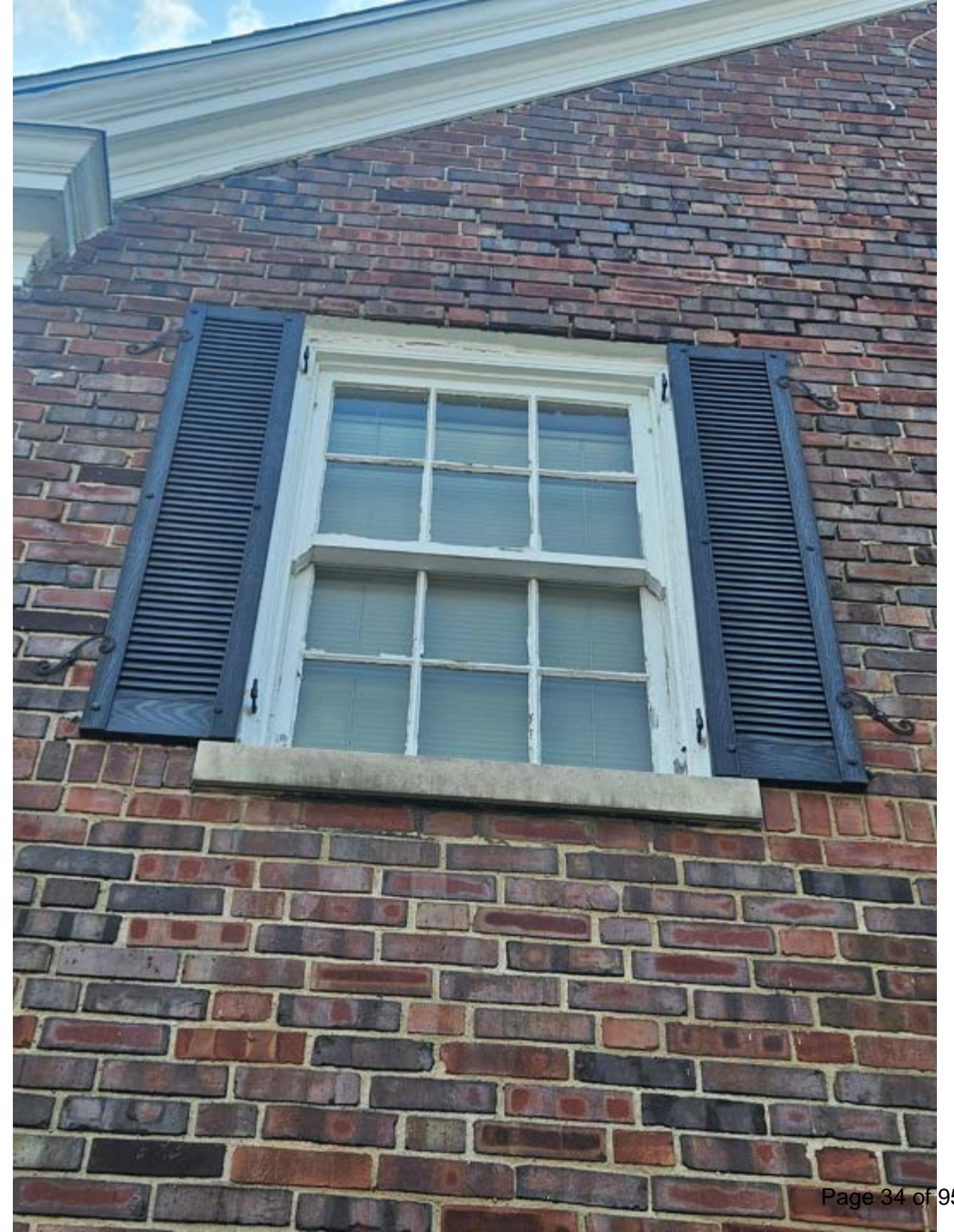
207



207



208



209



209



# Front of House



210

108

201

107

101

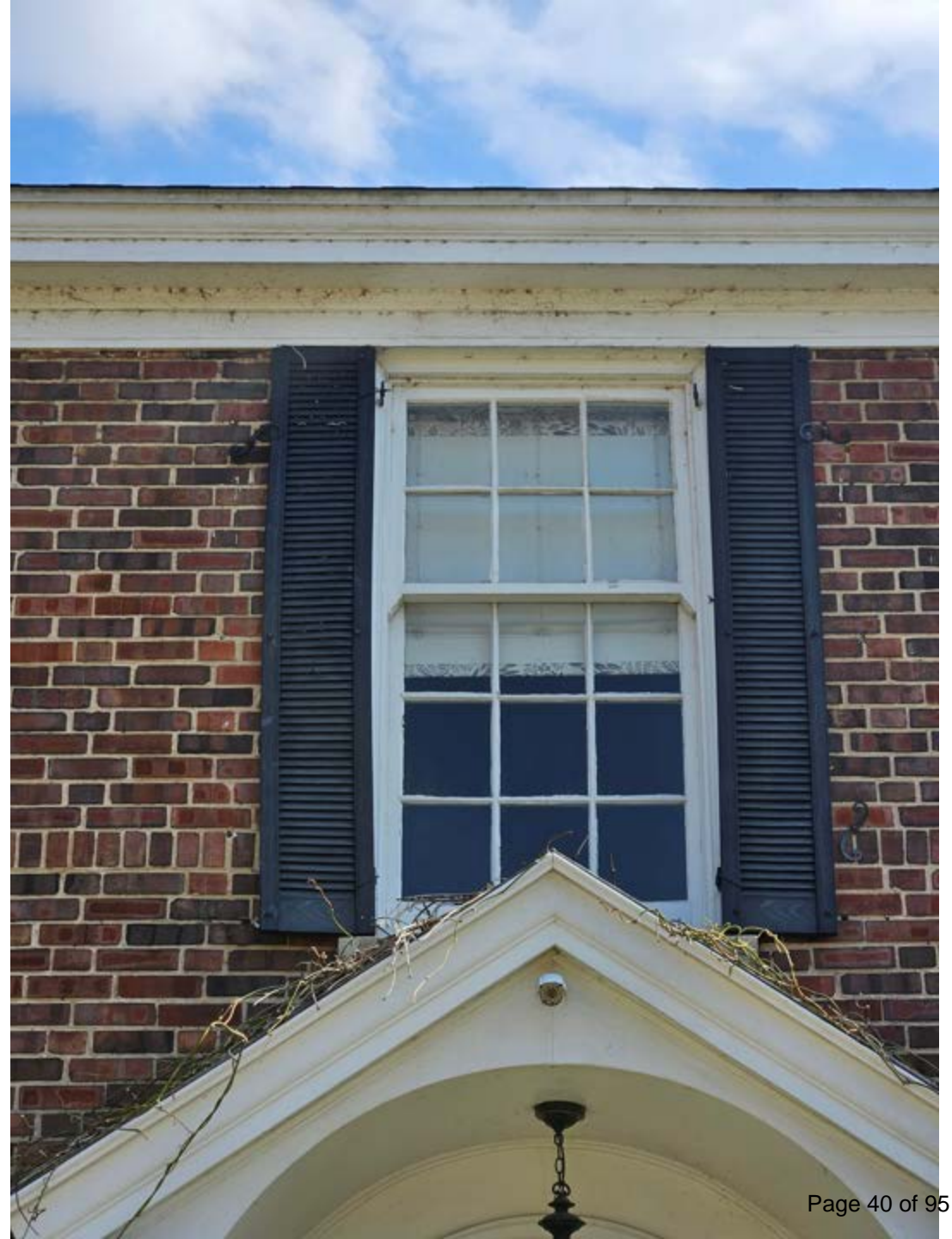
101



107



108



108



201



210



# DG DOUBLE-HUNG WINDOW



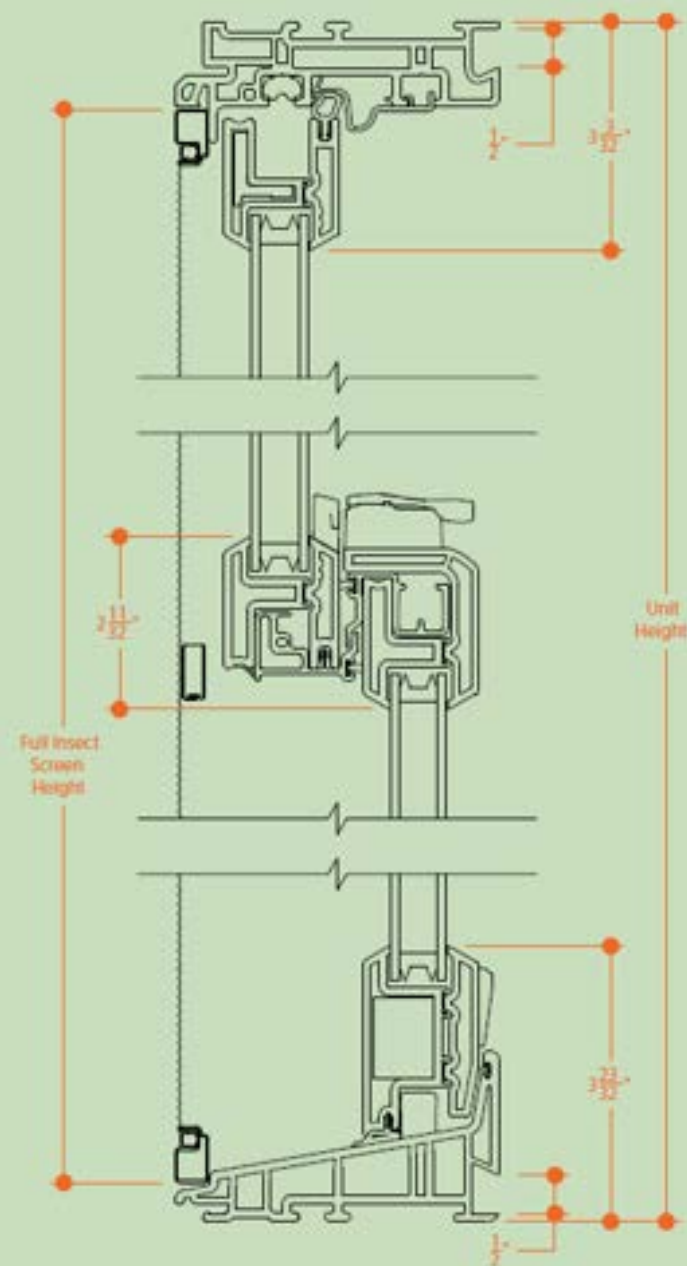


### ADVANTAGES:

- Upper and lower sash can be operated for ventilation.
- Upper and lower sash tilt inward for easy cleaning.
- Patented lower sash tilt-latch cassette and interlock assembly provide safe and secure sash tilting for maximum security and structural performance.
- Patented upper sash tilt-latch cassette offers single point activation for safe and easy tilting.
- Surfaces on the sash and frame are designed with smooth radii which are visually pleasing and easier to clean.
- Mortise-and-tenon appearance on the interior AND exterior sash corners provides a traditional, hand-crafted look.
- Sash and frame corners are joined utilizing precision molded corner keys, EPDM (ethylene propylene diene monomer) gaskets and injected hot melt adhesive for superior strength, durability and weather tightness.
- Weatherstrip system is designed utilizing cutting edge materials providing superior weather tightness and durability while allowing easy sash operation.
- Sashes are counter-balanced by a coil-spring powered block-and-tackle balancer mounted into the sides of each sash. Each balancer is uniquely configured and engineered for that exact sash size and weight which minimizes operating force.

### APPLICATIONS:

- Homes and condominiums where traditional styling is important; appropriate for many restoration projects.
- Sashes do not project outward, making them suitable for areas facing walkways, decks and other exterior traffic areas.
- Convenient in areas where the sashes need to be cleaned from the interior. No need for ladders in hard to reach locations.
- Visually compatible with other Renewal by Andersen® universal frame products.



Flat Sill Option



The Better Way to a Better Window®

# FRENCHWOOD®

## A-Series Frenchwood Gliding Patio Doors

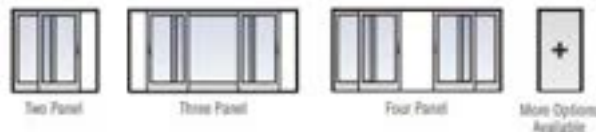
A-Series gliding patio doors are built strong to last long.<sup>1</sup> We use engineered lumber and our own Fibrex® material. These are high performing, highly energy-efficient patio doors that give you true peace of mind.

### Weather Tight

Enhanced security multi-point locking system helps keep the elements out.

### Reinforced

Constructed of an engineered LVL core.



### Color Options<sup>2</sup>

#### INTERIOR



#### INTERIOR STAIN FINISH



A-Series Gliding Patio Doors / White Interior / Short Fractional Grilles



A-Series Gliding Patio Doors / Cocoa Bean Exterior / Custom Grilles



A-Series Gliding Patio Doors / White Interior / Short Fractional Grilles



## FIBREX<sup>®</sup> MATERIAL: A BETTER ALTERNATIVE, A BETTER WINDOW

### Reinventing the window

Innovation has been a hallmark of Andersen Corporation since its founding in 1903. From implementing “mass production” techniques in 1904 (nine years before Henry Ford), to producing the first completely assembled window unit in the industry (1926), to becoming the world’s largest specialized window frame factory in 1929, our guiding principle has always been to “make a product that is different and better.” Each step of the way we have incorporated the latest technologies, fine precision, and high standards in our quest to be better.

### Introducing Fibrex<sup>®</sup> material

One of our most innovative ideas is Fibrex material. This revolutionary composite combines the strength and stability of wood with the low-maintenance features of vinyl. In fact, you might say it’s an evolutionary product—Andersen scientists developed the first hollow vinyl window in the U.S. in 1959, and engineered composite window materials in the 1960s and 1970s. In 1992, Andersen perfected composite window technology, and patented Fibrex material. Today, Fibrex material is the perfect choice for your new replacement windows.

	<b>Fibrex® Material</b>	<b>Other Materials</b>
<b>Strength</b>	Because Fibrex® material is strong, we can make our sash and frames narrower. Narrower frames mean more glass, more view.	Vinyl frames are known to have a higher expansion/contraction rate and can bow, breaking the glass seal.
<b>Insulation</b>	Fibrex material has superior thermal insulating properties. Combined with Andersen® High-Performance™ Low-E4® glass, this helps your home stay warmer in winter and cooler in summer. You can save money on your energy bills. Your home feels more comfortable.	Aluminum window frames conduct heat and cold. Heat leaks out of your house in the winter and into your house in the summer.
<b>Low Maintenance</b>	Fibrex material never needs scraping or painting. It won't rot, decay or mold.*	Fiberglass frames are painted and may need regular maintenance.
<b>Beauty</b>	Renewal by Andersen replacement windows preserve the architectural beauty of your home. Frame and sash design reflect the shape and lines of your original windows.  The unique extruded Fibrex material can be made into any kind of window—including curved specialty windows.	Most replacement windows have square profiles that may look artificial in your home. Vinyl frame material is often thicker, reducing glass area.  Fiberglass can only be made into straight lineals.
<b>Environmental Responsibility</b>	40% of the raw material by weight used to make Fibrex material is clean, reclaimed wood fiber. Reclaimed materials in the manufacturing process can also be reground and reused. Renewal by Andersen® windows meet Green Seal's science-based environmental certification standards as well as being ENERGY STAR® qualified for meeting strict energy efficiency criteria set by the U.S. Department of Energy.	Andersen windows are the only windows with Green Seal certification.  Fiberglass is a thermoset material and cannot be reformed into new profiles.
<b>Warranty</b>	A window is not just glass and some framing material. It's a precise combination of glass, frame and quality installation. We back it all with a 20/2/10 Limited Warranty* that is one of the best in the business.	More than half of all remodeling firms have been in business less than four years.** Installation is rarely covered in the written warranty.



**Matthew Dickinson**  
475 W Webster  
Muskegon Historic

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**REPAIR QUOTE &  
BEFORE/AFTER PICTURES**



## ESTIMATE

WoodSmith Finish Carpentry  
2287 Torrent St  
Muskegon, MI 49441-1562

derick@woodsmithfinishcarpentry.com  
+1 (231) 206-6441  
<https://www.woodsmithfinishcarpentry.com>



**Bill to**  
Matt  
475 W. Webster  
Muskegon  
Mi  
49441

**Ship to**  
Matt  
475 W. Webster  
Muskegon, Mi 49441

### Estimate details

Estimate no.: 1004  
Estimate date: 05/20/2026

#	Date	Product or service	Description	Qty	Rate	Amount
1.	06/01/2026	5 west side window refurbishing		1	\$7,000.00	\$7,000.00
2.	06/01/2026	2 storm windows	Milling and fabricating new storm windows	1	\$1,000.00	\$1,000.00
3.	06/01/2026	17 window refurbishing	Refurbishing all windows, interior, and exterior prepping for paint	1	\$25,000.00	\$25,000.00
<b>Total</b>						<b>\$33,000.00</b>







✓ 208

∅

✓ 201

∅

✓ 116

✓ 101

✓ 103

✓ 102

FRONT



















CITY OF MUSKEGON  
HISTORIC DISTRICT COMMISSION  
WINDOW, DOOR, AND EXTERIOR WOODWORK  
STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

**General**

These guidelines pertain only to proposed changes to the structure and do not affect existing construction.

These guidelines are primarily directed toward the front and side elevations of the structure. Greater variances and more leniency may be extended toward proposed changes to the rear elevation of the building by the Commission. All desired or proposed changes should be referred to the Historic District Commission for consideration. Extenuating circumstances, the effect upon the architecture of the particular structure together with the general effect upon the surrounding structures, variables in architectural design, or the effect upon usage and viability of the structure could dictate a variance from these guidelines.

No exterior doors, windows, or exterior woodwork shall be altered, removed, relocated, or added without Historic District Commission approval.

Existing exterior window or door casings, sills, and caps shall not be altered from the original design or appearance. Damaged or deteriorated wood shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Damaged or deteriorated wood elements may be replaced or covered with formed aluminum or vinyl, subject to Commission approval and provided that the original profile of the woodwork is not altered or changed.

**Primary Windows**

Existing damaged or deteriorating window frames and sash shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Metal or vinyl replacement windows may be acceptable provided they match the original windows in design and type and that they consist of or are painted an appropriate color. Bare metal finishes generally will not be acceptable.

The size of glass lites and muntin arrangements shall not be altered without Commission approval. Special glazing, such as stained or leaded art glass, shall not be removed without Commission approval. Unusual decorative windows such as Palladian windows, oriels, bays, Gothic arch or segment tops, etc. shall not be removed or altered.

### **Storm Windows**

Wood storm and screen windows are the most appropriate for use in the historic district. Other types of storm, screen, or combination windows will be approved provided that the new storm window mullions align with the mullions of the primary windows. Blind stop storm and screen windows (where such windows are placed inside the existing window frames rather than affixed to the exterior of the frames) are preferable and may be required in some instances. Bare metal storm and screen windows must be painted to match or complement the trim. Interior storm windows may be acceptable as long as they do not detract from the appearance of the primary windows. Care should be taken, however, when using interior storm windows because condensation tends to form on the inside surface of the primary window and could cause damage to the wood and paint if not properly ventilated.

### **Primary Doors**

Every effort should be made to preserve or repair the original doors where damage has occurred. When repair is not possible, a new wood door may be used. Such new door shall match the original in detail and finish.

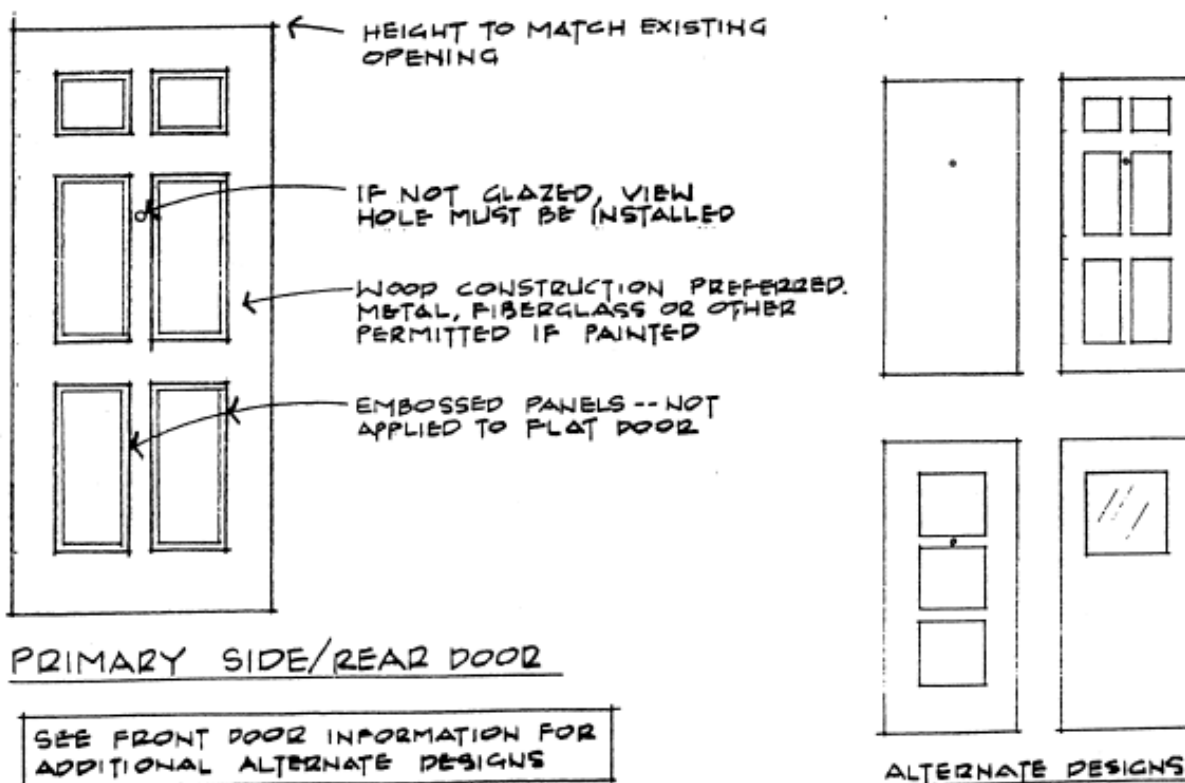
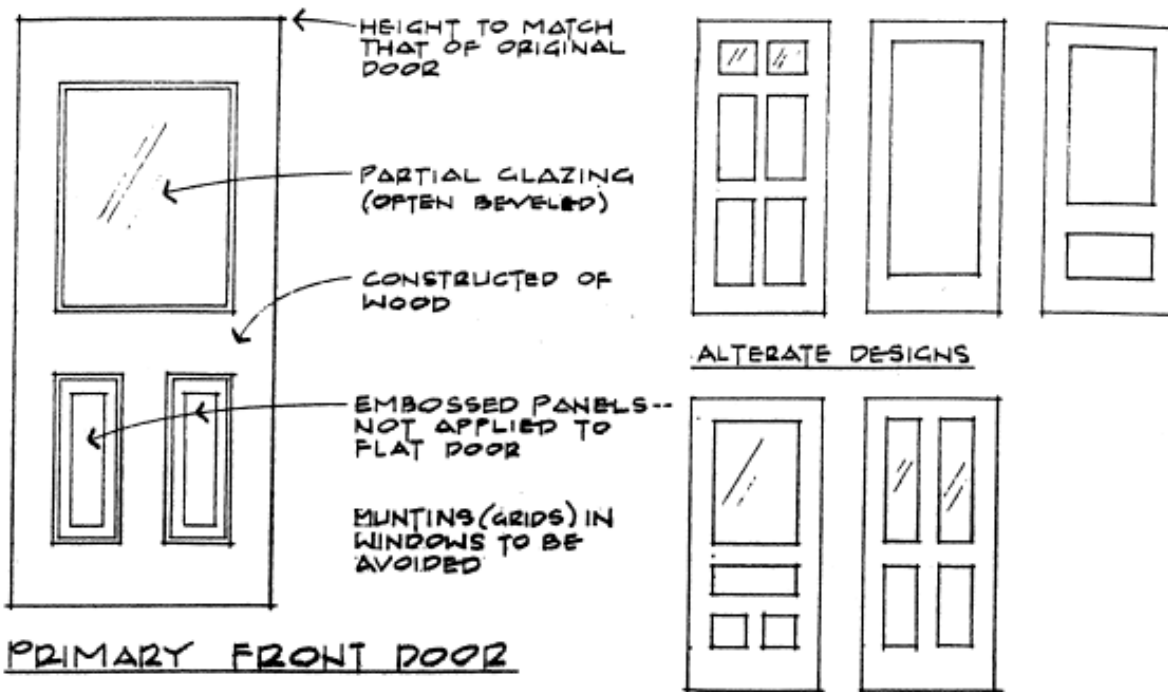
The Commission may approve new wood doors that may slightly differ from the original in cases where replicating the original may not be feasible, as long as such doors generally conform to the ones illustrated on the attached sheet. Under certain circumstances, the Commission may approve doors made of material other than wood provided they conform to the same design requirements.

### **Storm Doors**

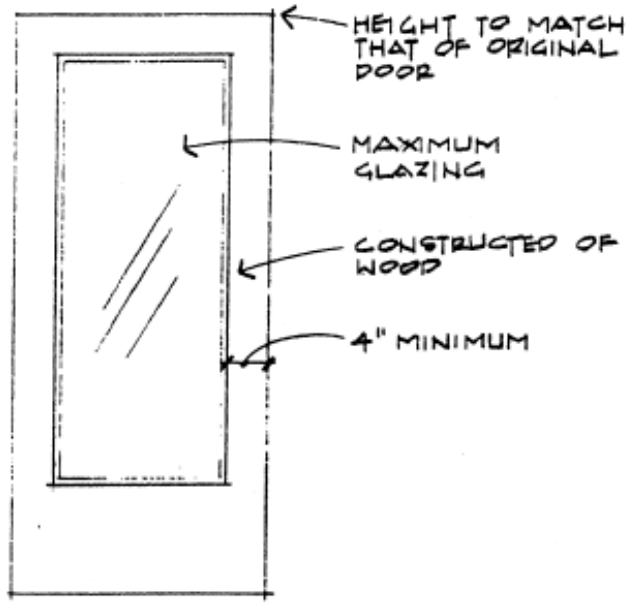
Wooden storm and screen doors are preferred and will generally be the required option especially on the front of the structure. Aluminum or metal storm and screen doors may be used so long as they are not mill finished or anodized aluminum. Baked enamel or other applicable paints or finishes will be acceptable. In general, storm and screen doors shall conform to those illustrated on the attached sheet. The door stiles and rails should be a minimum of 4" wide and one lite doors, where practical, are preferred in order not to detract from the existing primary door. Jalousie doors are not acceptable for use as storm doors in the historic districts. Ornamental iron work safety doors are also generally inappropriate in the historic districts.

### **Exterior Woodwork**

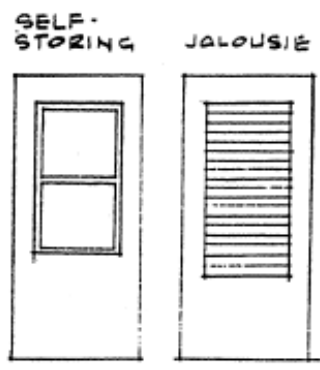
Existing decorative woodwork such as railings, moldings, eave, and gable cornice trim, tracery, columns, observatories, scrolls, bargeboards, lattice, and other carved or sawn wood ornament shall not be removed or altered without Commission approval. Existing deteriorated ornamental woodwork shall not be removed but shall be repaired or replaced with matching materials where possible.



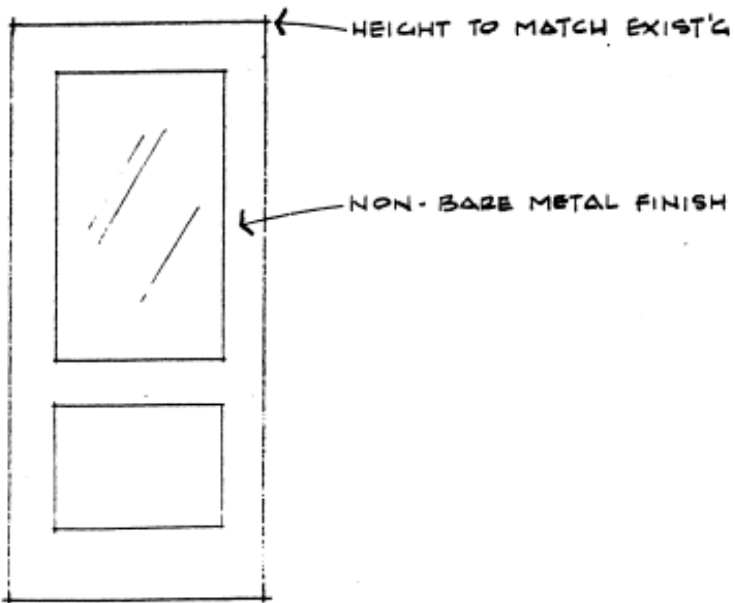
GRAPHICS COURTESY CITY OF KALAMAZOO



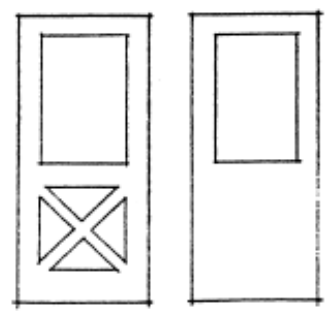
FRONT STORM DOOR



NOT PERMITTED



SIDE/REAR STORM DOOR



GRAPHICS COURTESY CITY OF KALAMAZOO



## Agenda Item Review Form

### Muskegon Historic District Commission

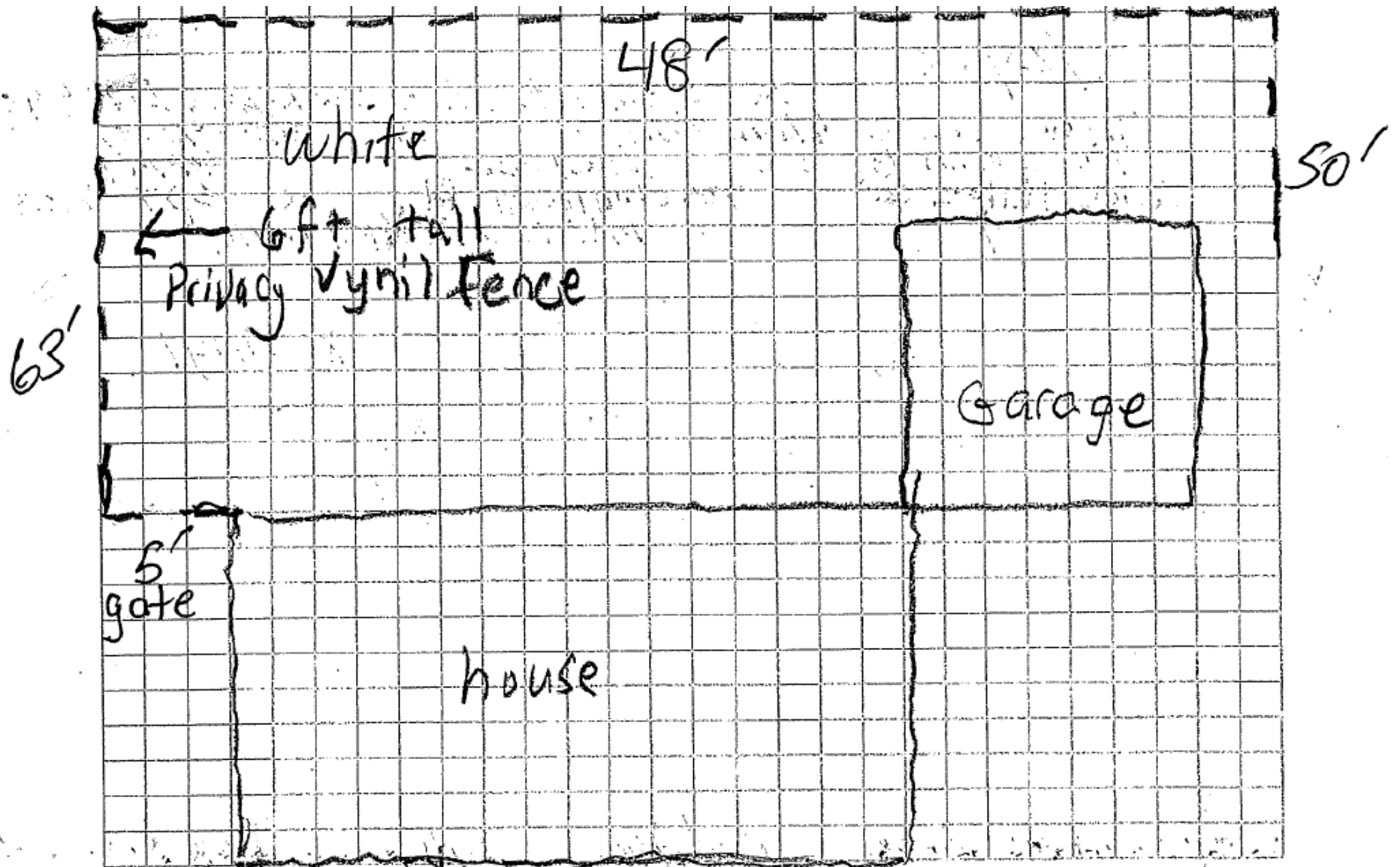
<b>Case 2026-10: 140 Washington</b>	<b>Description of Work:</b> Fence
<b>Applicant:</b> Miguel Ortiz	<b>District:</b> Campus
<b>Current Use:</b> Residential	<b>Date of Construction:</b>
<p><b>Discussion:</b></p> <p>The applicant is seeking approval to install a six-foot tall white vinyl privacy fence in the rear yard. Vinyl fences cannot be staff-approved, but the height and location align with the Historic District Commission Local Standards.</p>	
<p><b>Standards:</b></p> <p>Please see attached <i>Fence Standards and Guidelines</i>.</p>	
<p><b>Deliberation:</b></p> <p>I move that the HDC (approve/deny) the request to install a six-foot tall white vinyl privacy fence in the rear yard as depicted in the June 2, 2026 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.</p>	



View of house from Washington Avenue, looking northwest; fence at right is not proposed to be replaced.



View of house from Washington Avenue, looking northeast; proposed fence will be visible at left (former fence has been removed).



Site plan sketch showing location of proposed vinyl privacy fence.



Proposed vinyl privacy fence.



View of previous wood privacy fence (since removed) from back yard, looking southwest.



View of previous wood privacy fence (since removed) from back yard, looking north.

CITY OF MUSKEGON

HISTORIC DISTRICT COMMISSION

FENCE STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

**General**

Fences and gates are an extension of the architecture of a home. They should be compatible in style and material. They should be appropriate to the size and scale of the structure. They, therefore, require review and approval by the Historic District Commission.

Sometimes it is necessary to use fencing for other than decorative purposes, such as marking boundaries, privacy, screening unsightly areas, or security. Fencing for utilitarian purposes sometimes requires fencing materials which are not of the period or character of the house. Non-conforming fencing materials may be considered for use in the back of the structure.

**Fence Guidelines**

When building wood fencing, consideration should be given to the kind of wood best suited for the project, adequate post foundations, weatherproofing, color, and amount of maintenance required. Simple variations of wood picket-style fencing are appropriate to many period homes. Wood fences must be painted to complement or contrast the colors of the house. Pressure treated wood shall be painted no later than one year after installation.

Iron fencing is an appropriate option for Victorian-era homes. Iron fencing was often modest in proportion, seldom exceeding four feet in height. A popular standard was 36 inches.

Fencing materials such as split rails, stone, and brick may be considered if they reflect the feeling of the home in material and character.

Chain-link and similar utilitarian fencing, such as industrial fencing, wire mesh, and barbed wire, is not permitted in the front of a structure.

Hedges and natural fencing are possible alternatives to fences.

**Fence Standards**

LAYOUT REQUIREMENTS: (Please see the attached Supplementary Graphics sheets)

Conforming **open** fences not over four (4) feet and conforming **solid** fences not over three (3) feet in height are permitted between the property line and halfway between the front and rear setback lines.

Corner lots will be considered to have two front yards, except that non-conforming fences higher than four (4) feet will be permitted immediately behind the existing side setback line (rather than

halfway between the front and rear).

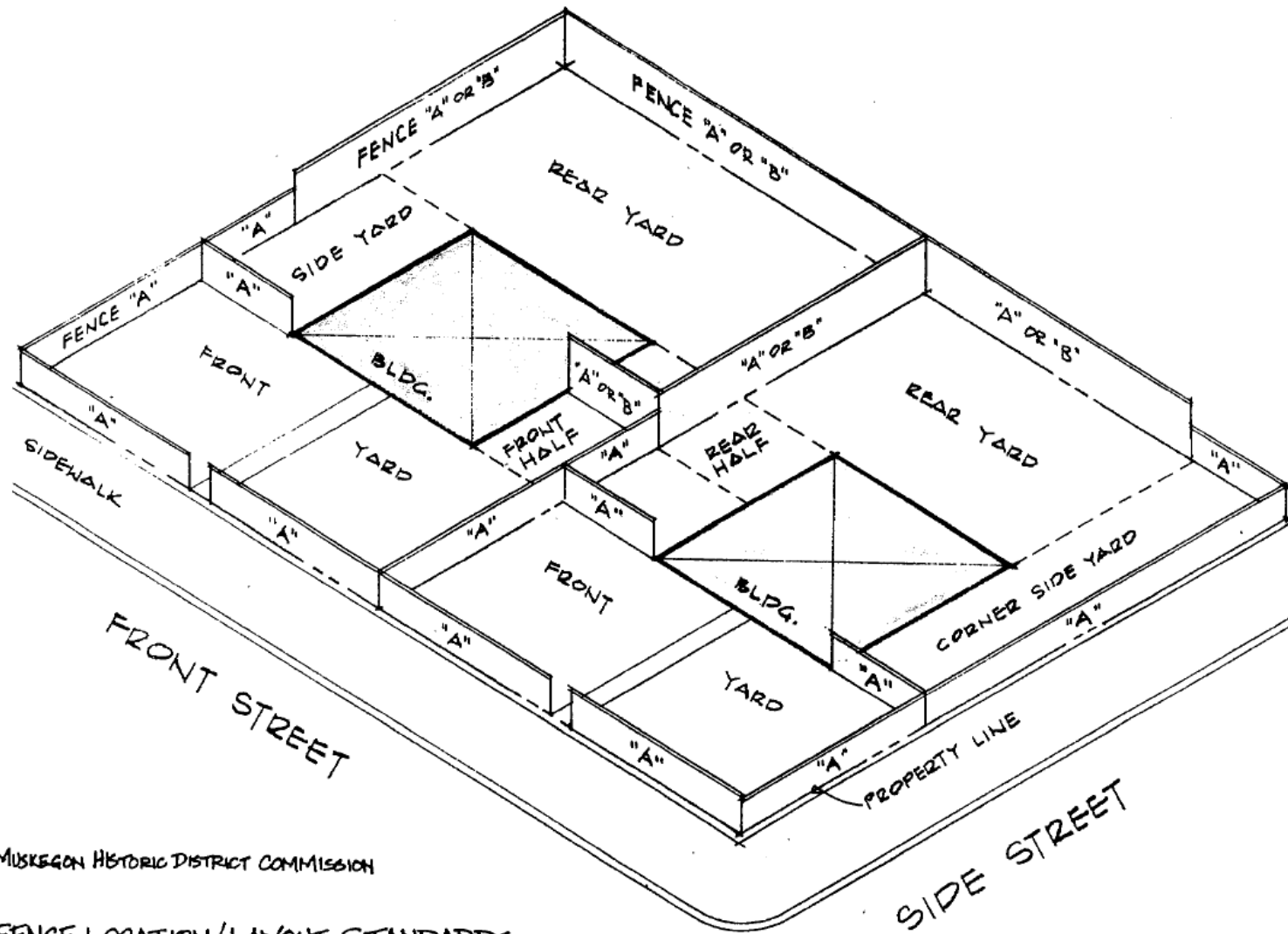
**SUPPLEMENTARY GRAPHICS SHEETS:**

These sheets are attached and include the following:

Fence Location/Layout Standards

“Type A” - Conforming Walls and Fences

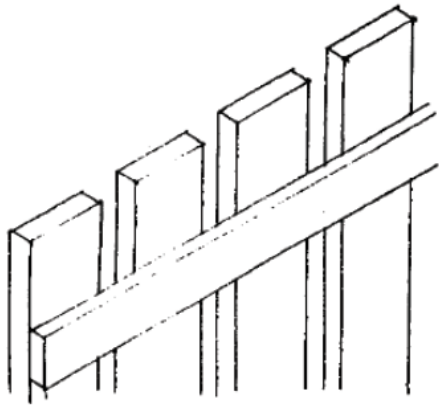
“Type B” - Conforming Rear Lot Fences; Non-Conforming Fences



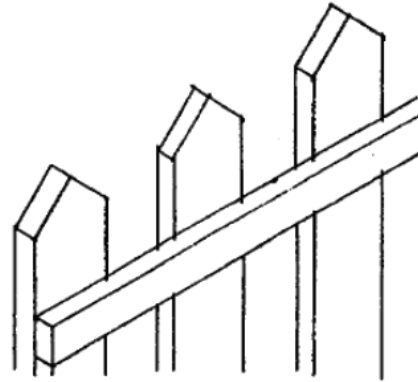
MUSKEGON HISTORIC DISTRICT COMMISSION

FENCE LOCATION/LAYOUT STANDARDS

ILLUSTRATION COURTESY CITY OF KALAMAZOO



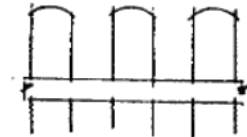
BOARD FENCE



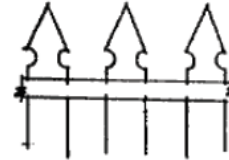
PICKET



ROUND



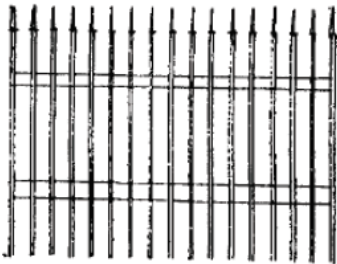
DOG-EARED



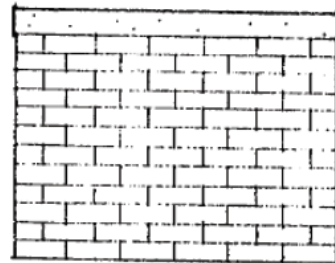
GOthic

ALTERNATE TOPS

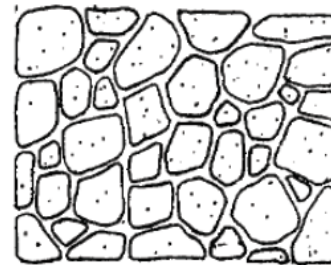
- MAXIMUM HEIGHT: 48"
- SPACE BETWEEN PICKETS MUST BE LESS THAN OR EQUAL TO PICKET WIDTH
- WOOD TREATED FOR CONTACT WITH THE GROUND IS RECOMMENDED
- POST HOLES SHOULD FILLED WITH COMPACTED GRAVEL, RATHER THAN CONCRETE
- OTHER VARIATIONS POSSIBLE
- MUST BE CONSTRUCTED WITH THE "GOOD SIDE" FACING OUT.



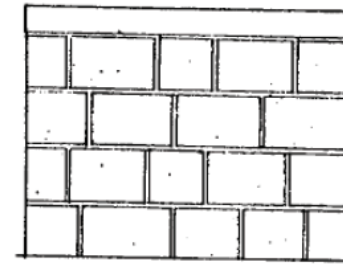
IRON OR BLACK ALUMINUM



BRICK

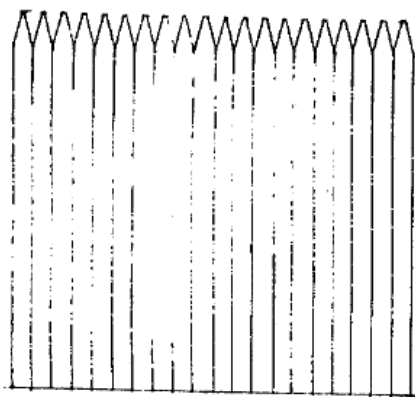


UNCUT FIELD STONE

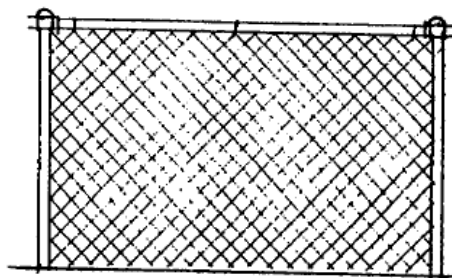


CUT STONE

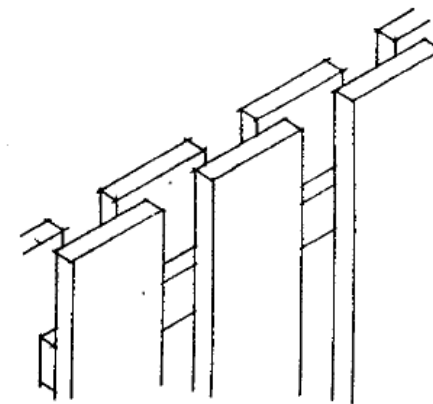
TYPE "A"  
CONFORMING WALLS & FENCES



STOCKADE



CHAIN-LINK/CYCLONE

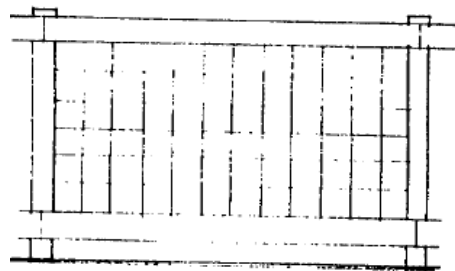


OBSCURING

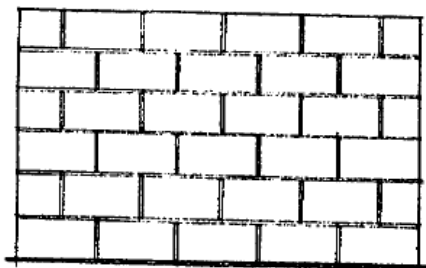
TYPE "B"

CONFORMING REAR LOT FENCES

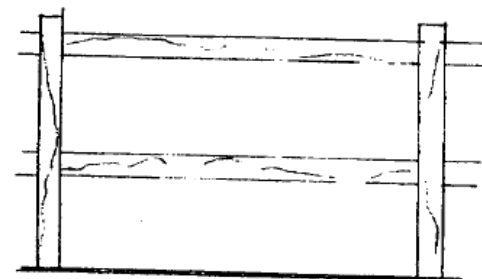
- ALTERNATE TOPS FOR STOCKADE FENCE PERMITTED
- UP TO 6'-0" HIGH



WIRE MESH



CONCRETE BLOCK



SPLIT RAIL

NON-CONFORMING FENCES

CONSTRUCTION MUST BE APPROVED BY  
THE HISTORIC DISTRICT COMMISSION

GRAPHICS COURTESY CITY OF KALAMAZOO



## Agenda Item Review Form

### Muskegon Historic District Commission

<b>Case 2026-11: 238 Houston</b>	<b>Description of Work:</b>  Rear Deck and Changes to Previously-Approved Rear Elevations
<b>Applicant:</b> West Side Art Collective	<b>District:</b> Houston
<b>Current Use:</b> Mixed-Use	<b>Date of Construction:</b>
<p><b>Discussion:</b></p> <p>The applicant is seeking approval to construct a second-story deck at the rear of the building atop the garage and revise the previously-approved design for the rear addition's north and west elevations. In July 2025, the HDC approved the following changes to the rear addition: "replacement of the sliding windows on the north elevation with pairs of casement or double hung windows, installation of two additional double hung or casement windows matching the others on the rear elevation, installation of a pair of double hung or casement windows on the rear section of the west elevation, and replacement of the sliding glass door with a double french door." The sliding glass door that was previously in place has since been replaced with a double french door. Additional drawings of the proposed second-story deck and proposed revised design for the rear addition are in the attached documents.</p>	
<p><b>Standards:</b></p> <p>Please see attached <i>Porch and Deck Standards and Guidelines</i> and <i>Window, Door, and Exterior Woodwork Standards and Guidelines</i>.</p>	
<p><b>Deliberation:</b></p> <p>I move that the HDC (approve/deny) the request to construct a second-story deck at the rear of the building atop the garage and revise the previously-approved design for the rear addition's north and west elevations as depicted in the June 2, 2026 HDC staff report as long as the work meets all zoning</p>	

requirements and the necessary permits are obtained.

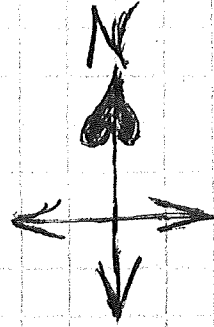
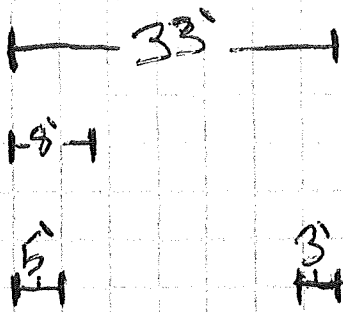


View of rear deck from rear alley, looking east; French doors (that replaced former slider door) visible.

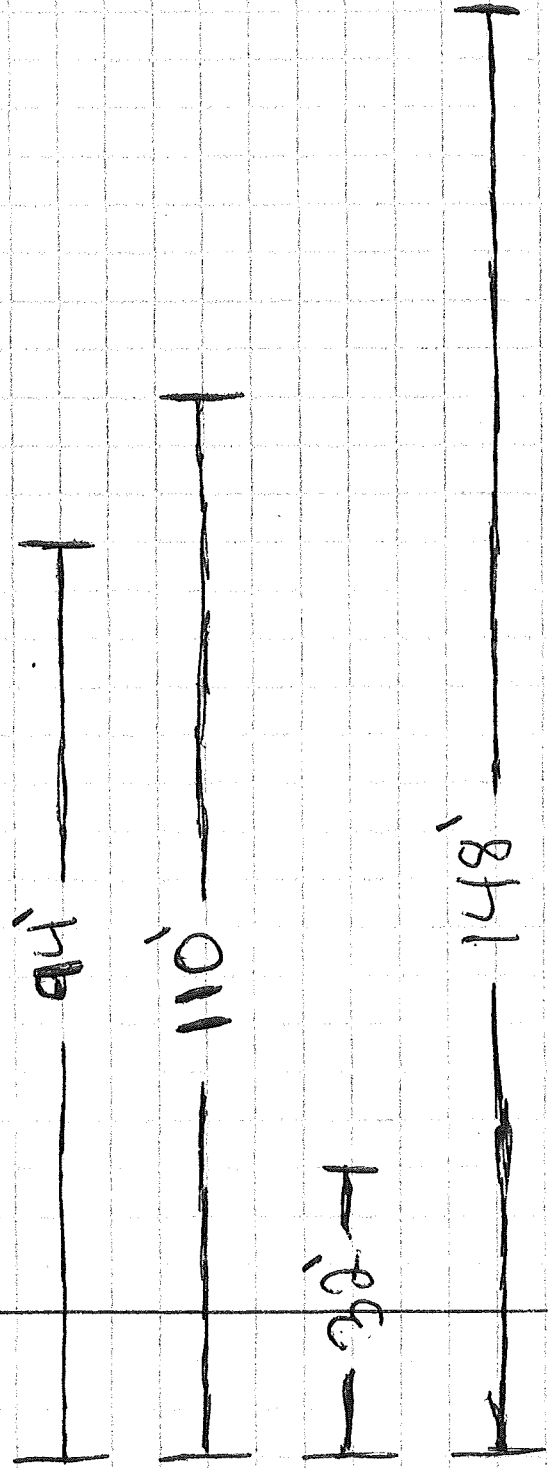
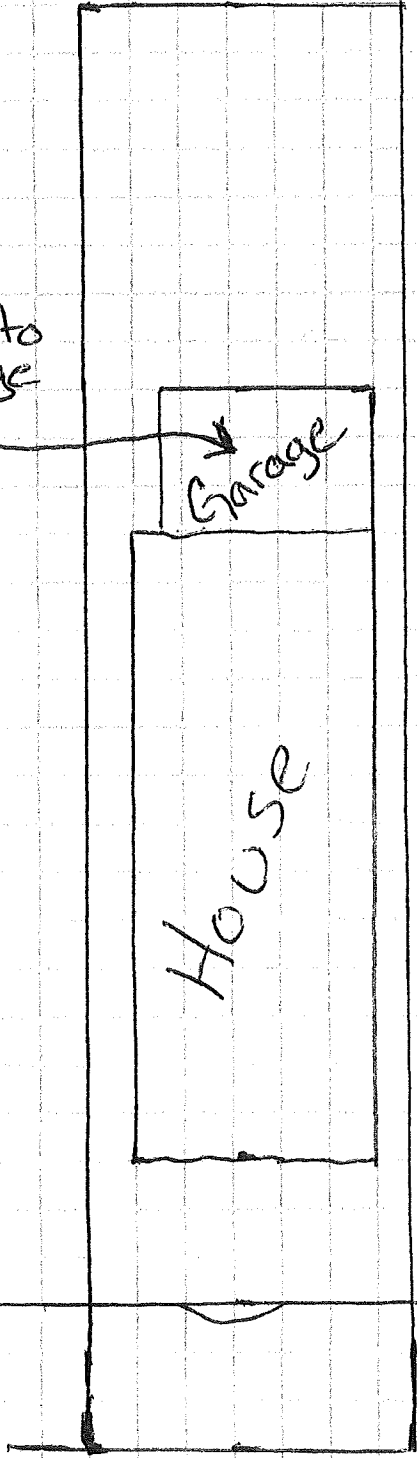


View of rear deck from rear alley, looking south; French doors (that replaced former slider door) visible.

Site Plan  
238 Houston

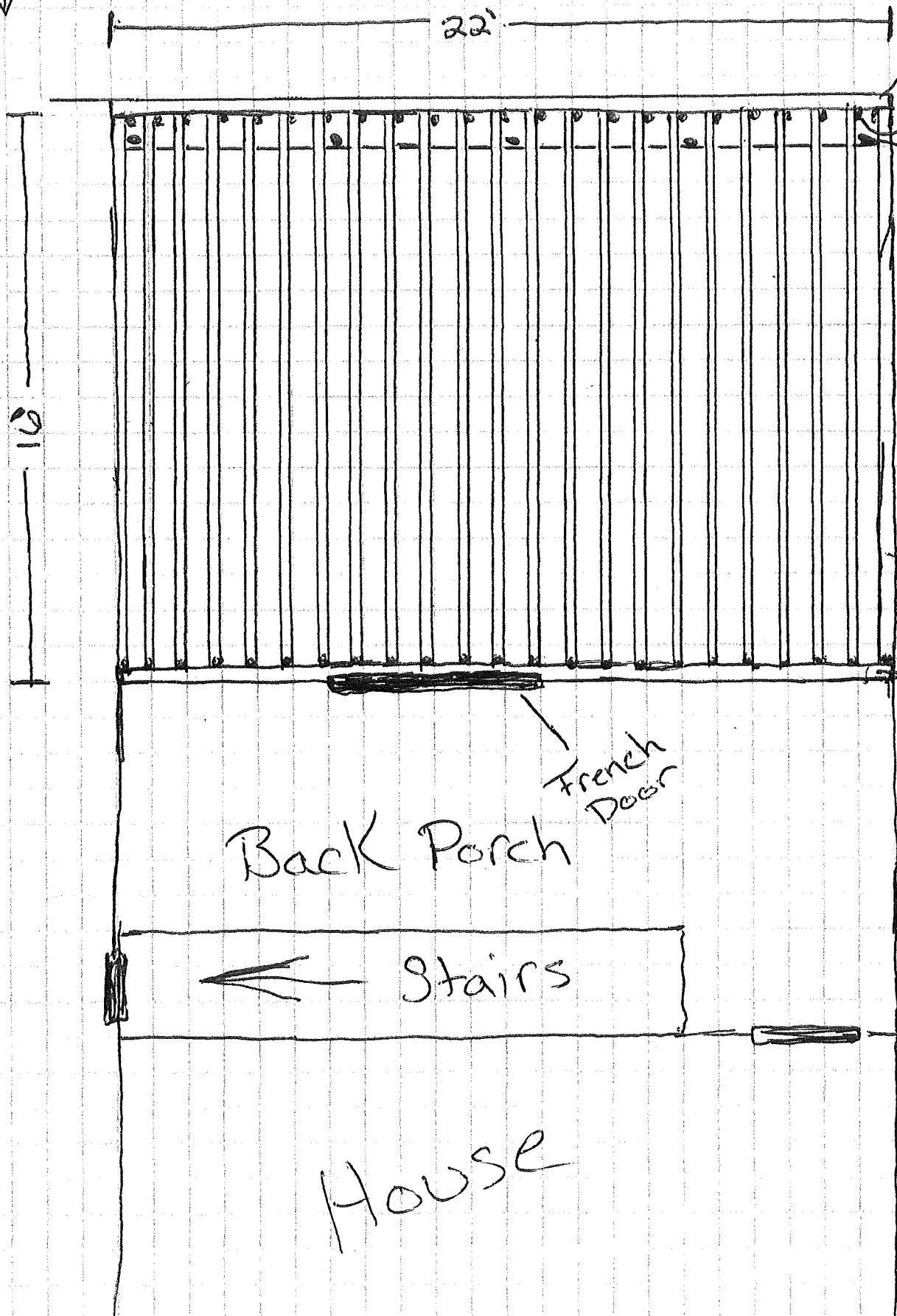
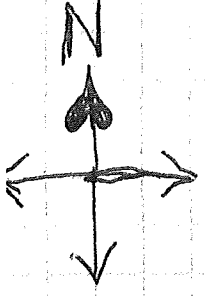


proposed deck location. deck not to exceed original garage Foot print.



Houston

# 238 Houston Floor Plan



22'

16'

2x12 Rim Joist  
Hurricane Ties  
Anchor Bolts

2x12 Joist  
12" O.C  
Joist Hanger  
2x12 Ledge

French Door

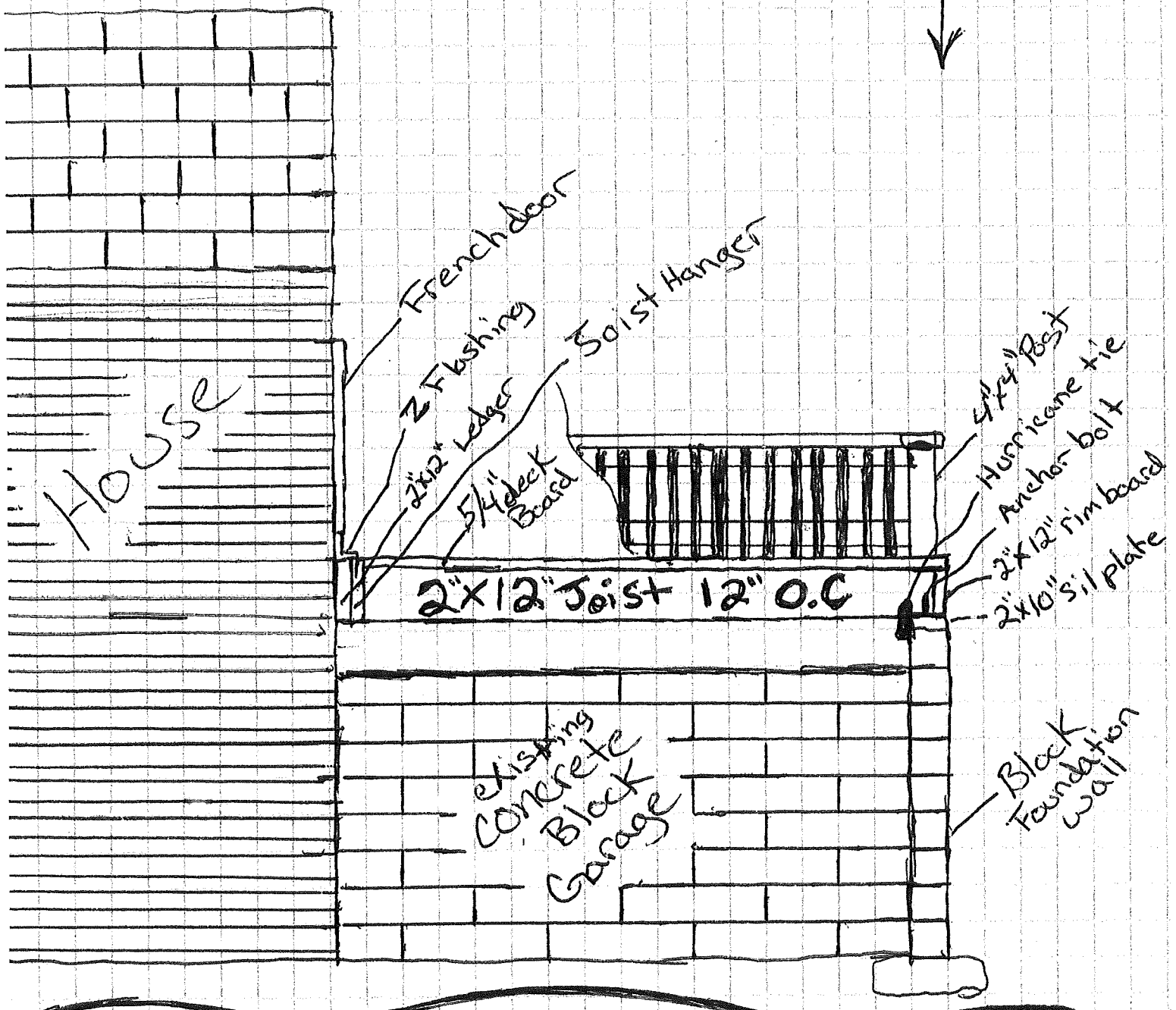
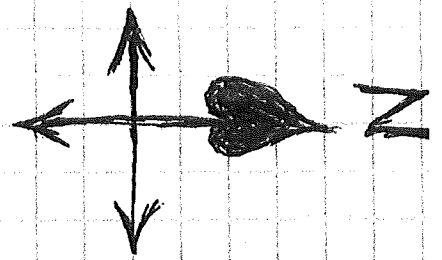
Back Porch



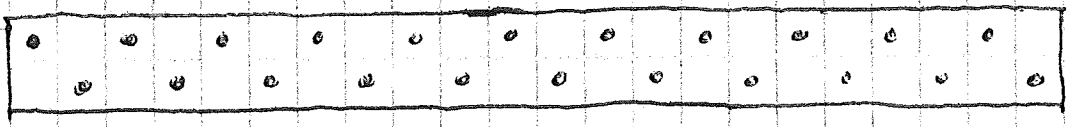
Stairs

House

# 238 Houston Cross-Section



## Ledger Screw pattern



Staggered screw pattern 5/16" x 4" GRK RSS Fasteners  
10" O.C

CITY OF MUSKEGON

HISTORIC DISTRICT COMMISSION

PORCH AND DECK STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

**Covered Porches**

Newly constructed covered porches shall be decked with tongue and groove decking and painted to complement or contrast the house (unless the construction involves the rebuilding of a missing original porch where documentable evidence shows a different method of decking). Ventilation under the porch deck is necessary to prevent excessive moisture from causing deterioration to the porch members. Therefore, the porch skirt shall be detailed in a similar manner to that shown on the attached decking detail illustration. In some cases, composite decking materials may be permitted for use on covered porches.

**Freestanding or Attached Decks (Uncovered Porches)**

Placement and design of all decks shall be approved by the Commission. Decks should be located in unobtrusive locations and shall feature one of the edge details featured on the attached decking detail illustration. Decking boards shall consist of 5/4" thick pressure treated decking or square-edged fir decking and appropriately finished. In some cases, composite decking materials may be permitted for use on uncovered porches.

**Handrails and Guardrails**

Existing original handrails and guardrails shall not be removed without the approval of the Commission. Deteriorated rails shall be repaired as a first course of action. When replacement is necessary, the original details shall be replicated. In cases where height or spacing is required to be modified to meet code requirements, the Commission will carefully review the options to determine the most appropriate method to accomplish this requirement. In cases where handrails or guardrails are new (including those for new decks), the design shall generally conform to the railing and balustrade detail illustrated on the attached sketches.

New guardrails in the historic districts shall conform to the minimum guardrail height in the most recent edition of the building code.

PORCH OR DECK FLOOR HEIGHT FROM FINISHED GROUND GRADE	MINIMUM GUARDRAIL HEIGHT
0" - 30"	0"
≥ 30"	36"

New guardrails on commercial buildings shall conform to the minimum guardrail height for commercial buildings as defined in the most recent edition of the building code.

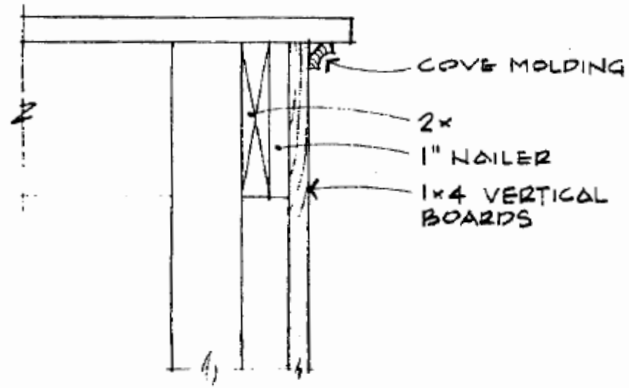
In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies.

### **Porch Enclosure**

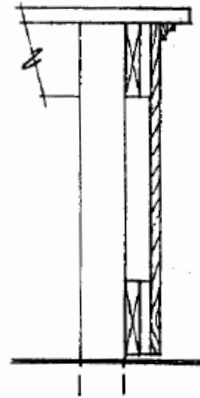
Existing screen or open porches shall not be enclosed with framing or windows without approval by the Commission. Generally, when an open or screened porch is enclosed, the enclosure materials or windows should preserve the appearance of a porch in order to maintain the original design and to avoid the visual effect of a boxed-in appendage. This can often be accomplished with full length windows and exterior screens which would extend from within a few inches off the floor or base of the existing porch opening thus maintaining the effect of a screened in porch or solarium. On most full length porches, building up a half-wall at the base and enclosing it with short windows would not be in keeping with the original design of the house and would detract from the overall appearance. Each request for a porch enclosure will be carefully analyzed by the Commission, taking into consideration the practical and intended usage of the area and the overall visual effect upon the house.

### **Paint**

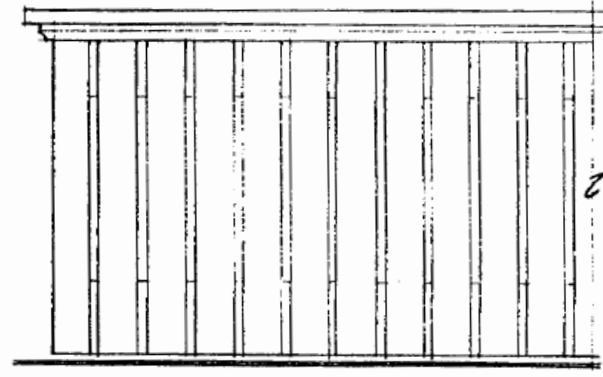
All exposed deck or porch wood shall be painted to complement or contrast the existing structure. Pressure treated wood shall be painted no later than one year after installation.



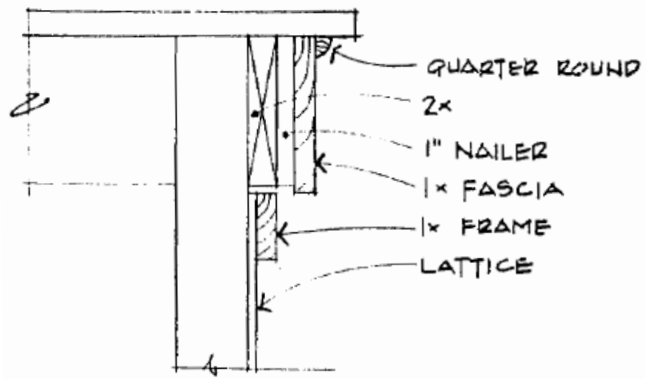
VERTICAL BOARDS



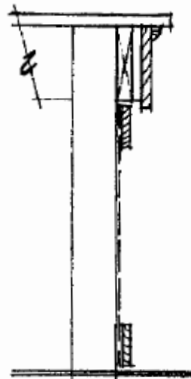
SECTION



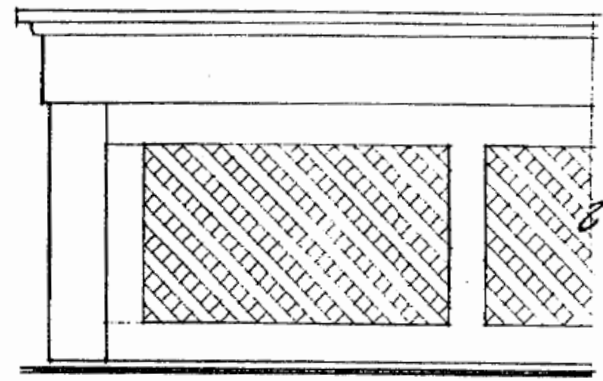
ELEVATION



LATTICE



SECTION

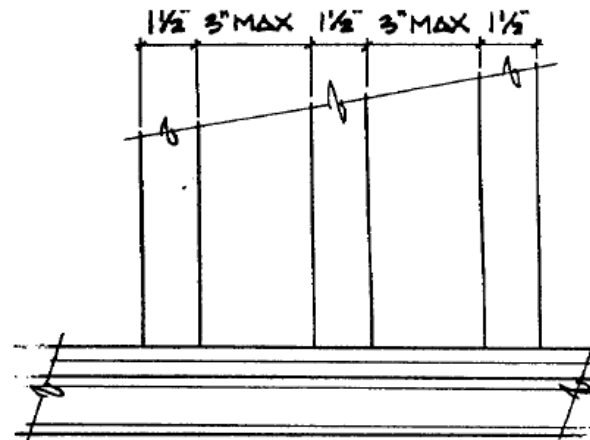
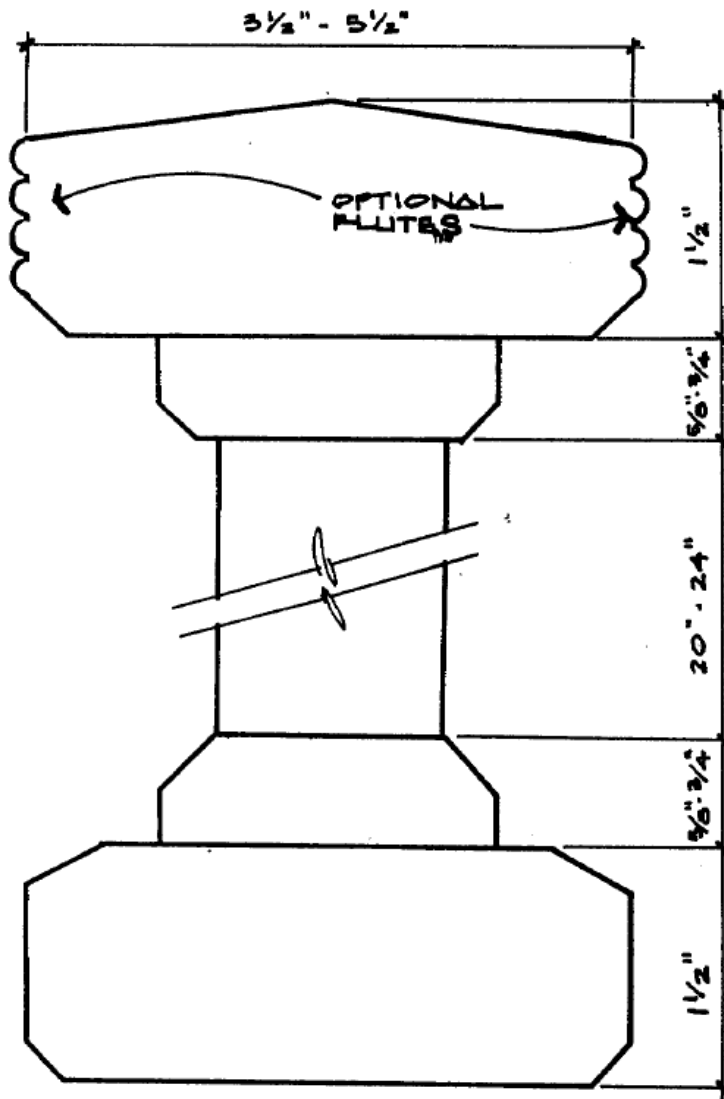


ELEVATION

DECKING DETAILS

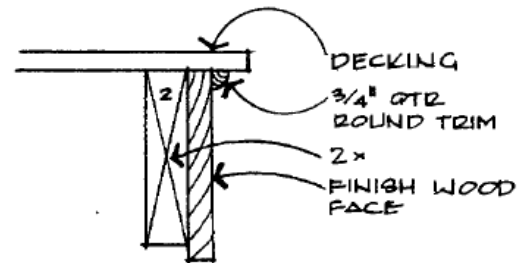
GRAPHICS COURTESY CITY OF KALAMAZOO

DETAIL OF SAMPLE  
BALLUSTRADE CONSTRUCTION

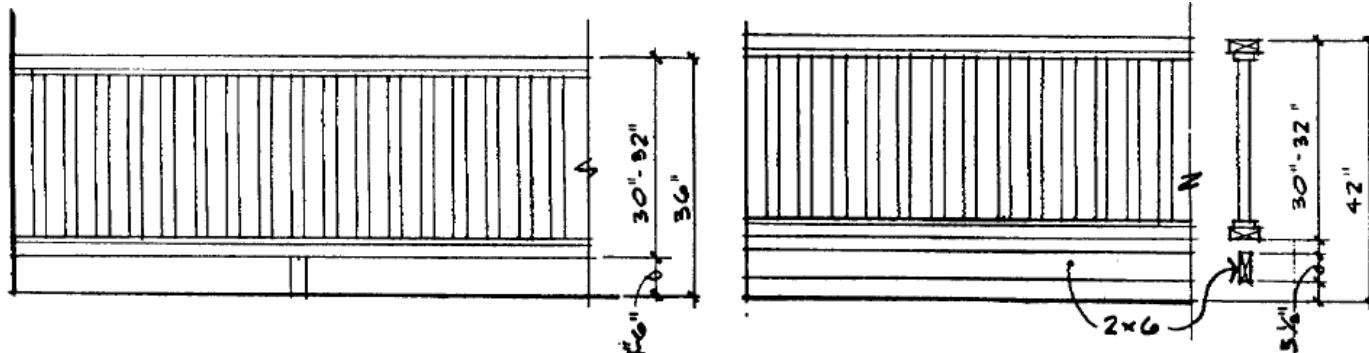


SPACING OF BALLUSTERS

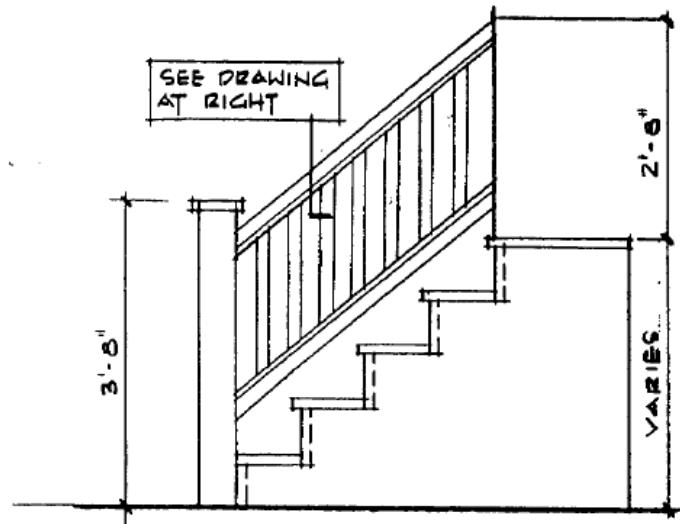
WIDTH  $\times$  3 = CENTER-TO-CENTER SPACING



EDGE DETAIL



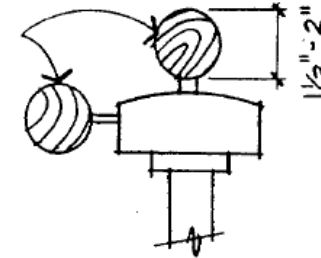
MINIMUM RAIL HEIGHT REQUIREMENTS ARE 24"-30" DEPENDING ON DECK HEIGHT FROM GROUND LEVEL  
 IF A GREATER HEIGHT IS RECOMMENDED FOR SAFETY REASONS (WHERE THE RAIL IS NEW OR REBUILT),  
 THE ABOVE CONSTRUCTION METHODS MAY BE ACCEPTABLE (PLEASE SEE ATTACHED TEXT FOR DETAILS)



"GRASPABLE" HANDRAIL  
 (1 1/2" - 2" CROSS  
 SECTIONAL DIMENSION)

ROUNDED CORNERS

HANDRAIL CAP



SAMPLE  
RAILING DETAILS (NEW RAILS)

GRAPHICS COURTESY CITY OF KALAMAZOO

CITY OF MUSKEGON  
HISTORIC DISTRICT COMMISSION  
WINDOW, DOOR, AND EXTERIOR WOODWORK  
STANDARDS AND GUIDELINES

(Adopted December 6, 1994 - Effective January 1, 1995)

**General**

These guidelines pertain only to proposed changes to the structure and do not affect existing construction.

These guidelines are primarily directed toward the front and side elevations of the structure. Greater variances and more leniency may be extended toward proposed changes to the rear elevation of the building by the Commission. All desired or proposed changes should be referred to the Historic District Commission for consideration. Extenuating circumstances, the effect upon the architecture of the particular structure together with the general effect upon the surrounding structures, variables in architectural design, or the effect upon usage and viability of the structure could dictate a variance from these guidelines.

No exterior doors, windows, or exterior woodwork shall be altered, removed, relocated, or added without Historic District Commission approval.

Existing exterior window or door casings, sills, and caps shall not be altered from the original design or appearance. Damaged or deteriorated wood shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Damaged or deteriorated wood elements may be replaced or covered with formed aluminum or vinyl, subject to Commission approval and provided that the original profile of the woodwork is not altered or changed.

**Primary Windows**

Existing damaged or deteriorating window frames and sash shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Metal or vinyl replacement windows may be acceptable provided they match the original windows in design and type and that they consist of or are painted an appropriate color. Bare metal finishes generally will not be acceptable.

The size of glass lites and muntin arrangements shall not be altered without Commission approval. Special glazing, such as stained or leaded art glass, shall not be removed without Commission approval. Unusual decorative windows such as Palladian windows, oriels, bays, Gothic arch or segment tops, etc. shall not be removed or altered.

### **Storm Windows**

Wood storm and screen windows are the most appropriate for use in the historic district. Other types of storm, screen, or combination windows will be approved provided that the new storm window mullions align with the mullions of the primary windows. Blind stop storm and screen windows (where such windows are placed inside the existing window frames rather than affixed to the exterior of the frames) are preferable and may be required in some instances. Bare metal storm and screen windows must be painted to match or complement the trim. Interior storm windows may be acceptable as long as they do not detract from the appearance of the primary windows. Care should be taken, however, when using interior storm windows because condensation tends to form on the inside surface of the primary window and could cause damage to the wood and paint if not properly ventilated.

### **Primary Doors**

Every effort should be made to preserve or repair the original doors where damage has occurred. When repair is not possible, a new wood door may be used. Such new door shall match the original in detail and finish.

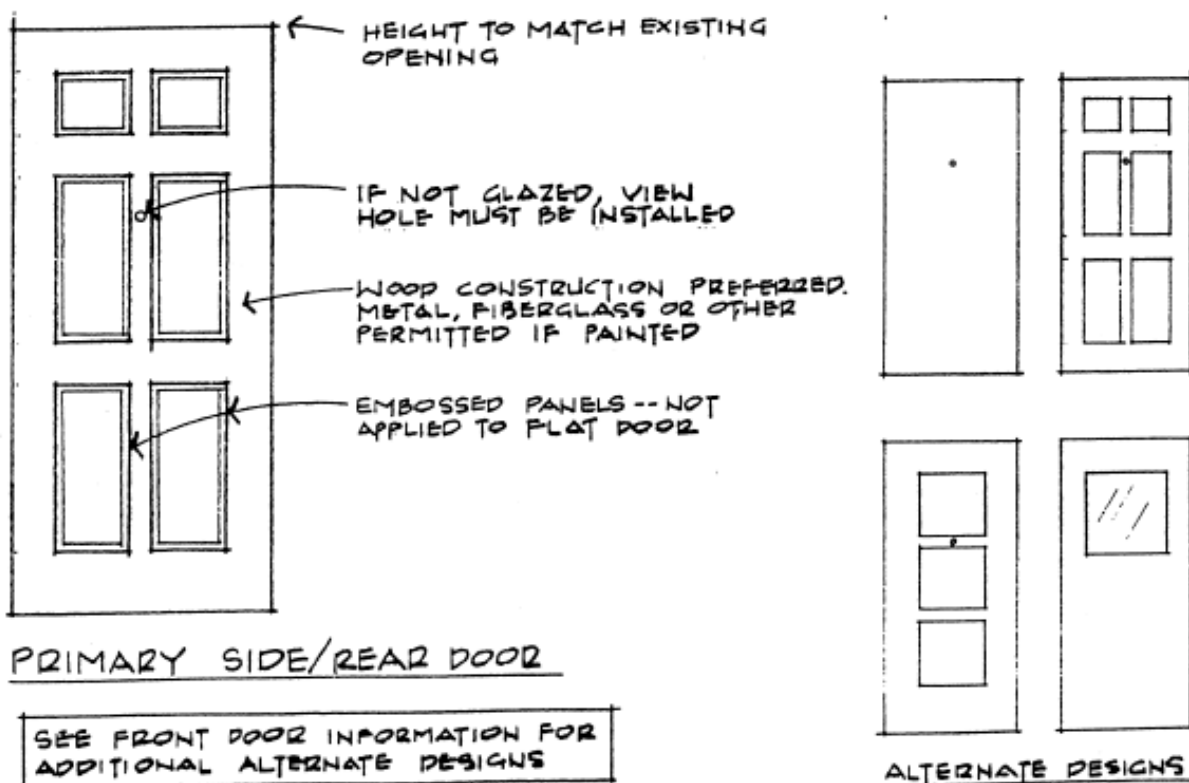
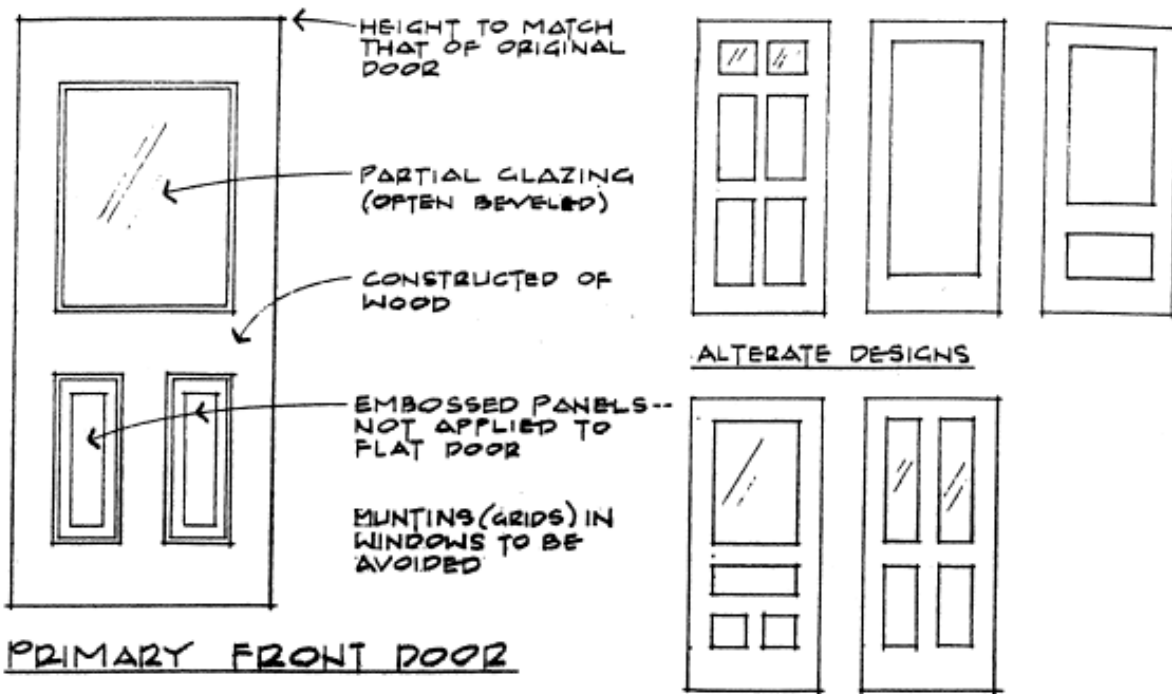
The Commission may approve new wood doors that may slightly differ from the original in cases where replicating the original may not be feasible, as long as such doors generally conform to the ones illustrated on the attached sheet. Under certain circumstances, the Commission may approve doors made of material other than wood provided they conform to the same design requirements.

### **Storm Doors**

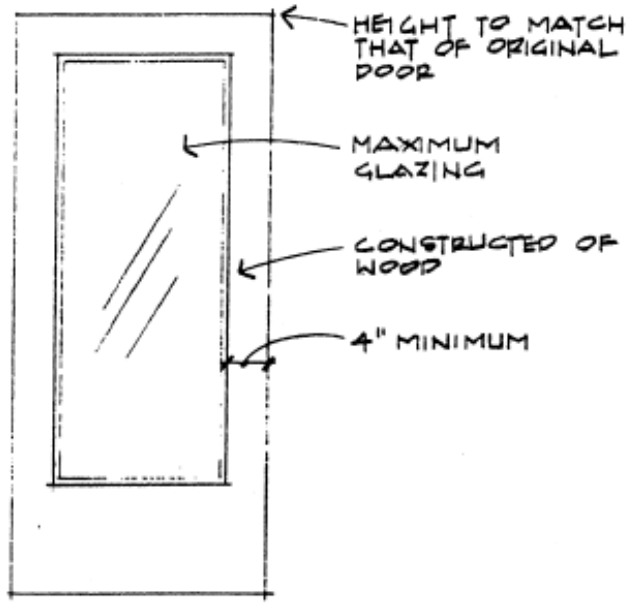
Wooden storm and screen doors are preferred and will generally be the required option especially on the front of the structure. Aluminum or metal storm and screen doors may be used so long as they are not mill finished or anodized aluminum. Baked enamel or other applicable paints or finishes will be acceptable. In general, storm and screen doors shall conform to those illustrated on the attached sheet. The door stiles and rails should be a minimum of 4" wide and one lite doors, where practical, are preferred in order not to detract from the existing primary door. Jalousie doors are not acceptable for use as storm doors in the historic districts. Ornamental iron work safety doors are also generally inappropriate in the historic districts.

### **Exterior Woodwork**

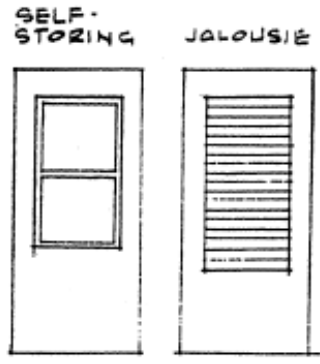
Existing decorative woodwork such as railings, moldings, eave, and gable cornice trim, tracery, columns, observatories, scrolls, bargeboards, lattice, and other carved or sawn wood ornament shall not be removed or altered without Commission approval. Existing deteriorated ornamental woodwork shall not be removed but shall be repaired or replaced with matching materials where possible.



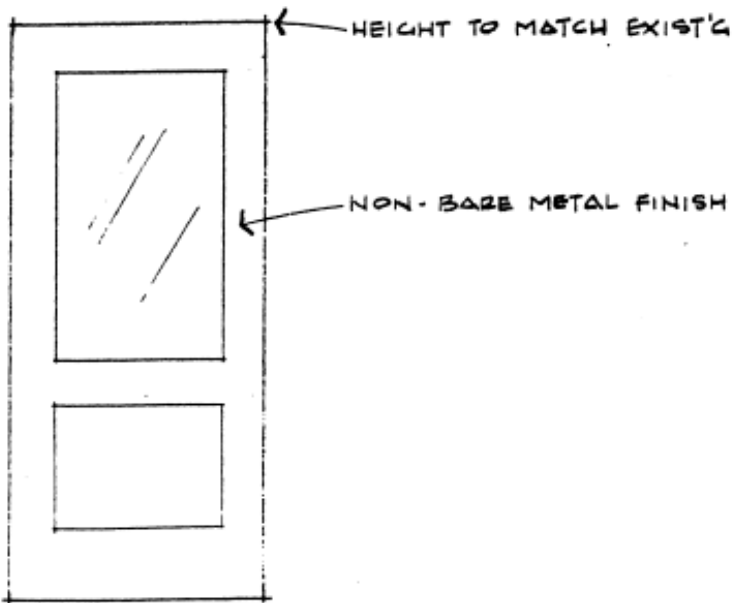
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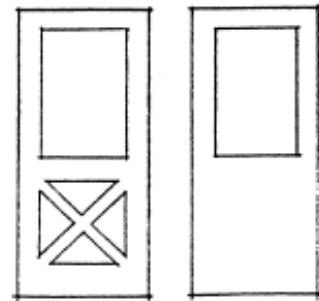
FRONT STORM DOOR



NOT PERMITTED



SIDE/REAR STORM DOOR



GRAPHICS COURTESY CITY OF KALAMAZOO



# Agenda Item Review Form

## Muskegon Historic District Commission

<b>2026 Staff Approval Update #2</b>	<b>Description of Work:</b>
<b>Applicant:</b>	<b>District:</b>
<b>Current Use:</b>	<b>Date of Construction:</b>
<b>Discussion:</b>  Since the last update in March 2026 (but before the end of that year), staff has approved eight projects. Those in bold were discussed with the HDC chairperson prior to approval: <ul style="list-style-type: none"><li>• 458 W. Webster - Reroof flat roof</li><li>• <b>390 W. Muskegon - Install basement egress window</b></li><li>• 1460 Clinton - Reroof garage</li><li>• 1187 Ransom - Ground-mounted AC unit in rear yard</li><li>• 389 W. Webster - Roof-mounted mini-split unit</li><li>• 1319 Jefferson - Replace wood privacy fence in rear/side yard</li><li>• 143 Strong - Install new shingles dues to chimney reconstruction</li><li>• 1632 Peck - Reroof house</li></ul>	
<b>Standards:</b>	
<b>Deliberation:</b>	