

CITY OF MUSKEGON

PLANNING COMMISSION MEETING

April 16, 2026 @ 4:00 PM

**MUSKEGON CITY COMMISSION CHAMBERS
933 TERRACE STREET, MUSKEGON, MI 49440**

CALL TO ORDER:

ROLL CALL:

APPROVAL OF MINUTES:

A. Approval of the minutes from the regular meeting on March 12, 2026.
Planning

PUBLIC HEARINGS:

A. Case 2026-10: Request to amend the Harbor 31 Planned Unit Development (PUD) at 600 Shoreline Dr (PUD address) for a new residential development at 170 Viridian Dr (development address) and to amend the waterfront access paths within Harbor 31, by Wolverine Building Group. Planning

B. Case 2026-11: Staff-initiated request to amend Section XX of the zoning ordinance to change the required front setbacks for waterfront properties in the Lakeside Mixed Residential context area. Planning

C. Case 2026-12: Staff-initiated request to amend Section XX of the zoning ordinance to remove/edit several areas of the form-based code.
Planning

UNFINISHED BUSINESS:

A. 2026 Goal Setting Planning

NEW BUSINESS:

A. City of Muskegon Capital Improvement Plan Manager's Office

B. Corridor Improvement Checklist Planning

ANY OTHER BUSINESS:

GENERAL PUBLIC COMMENT:

► Reminder: Individuals who would like to address the City Commission shall do the following: ► Fill out a request to speak form attached to the agenda or located in the back of the room. ► Submit the form to

the City Clerk. ► Be recognized by the Chair. ► Step forward to the microphone. ► State name. ► Limit of 3 minutes to address the Commission.

□ **ADJOURNMENT:**

AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk's Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit:

www.shorelinecity.com

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours' notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following:

Ann Marie Meisch, MMC. City Clerk. 933 Terrace St. Muskegon, MI 49440. (231)724-6705.
clerk@shorelinecity.com

CITY OF MUSKEGON

PLANNING COMMISSION MEETING

March 12, 2026 @ 4:00 PM
MUSKEGON CITY COMMISSION CHAMBERS
933 TERRACE STREET, MUSKEGON, MI 49440

MINUTES

CALL TO ORDER

L. Willett-Leroi called the meeting to order at 4:05 PM, and a roll call was taken.

ROLL CALL

Members Present: K. Johnson, J. Seyferth, S. Gawron, L. Willett-LeRoi, M. De La Garza

Member(s) Absent: None.

Member(s) Excused: D. Keener, S. Blake, B. Mazade, L. Simmons

Staff Present: M. Franzak and S. Romine

Others Present: None.

APPROVAL OF MINUTES

A. Approval of minutes from the regular Planning Commission meeting of February 12, 2026. Planning

A motion to approve, with a correction that M. De La Garza's absence to be revised to excused, the minutes of the regular Planning Commission meeting on March 12, 2026, was made by K. Johnson, supported by S. Gawron, and unanimously approved.

PUBLIC HEARINGS

A. Case 2026-05: Staff-initiated request to amend Article II (Definitions) of the zoning ordinance to create definitions for "Public Access" and "Waterfront Public Access." Planning

This item was removed from the agenda.

B. Case 2026-06: Staff-initiated request to amend Sections 403, 702, 802, 902, 1102, 1302, 1402, 1502, 1802, and 1902 and Article XX of the zoning ordinance to require all Planned Unit Developments and Specific Development Plans in these zoning districts to include waterfront public access requirements. Planning

This item was removed from the agenda.

C. Case 2026-07: Staff-initiated request to amend the zoning ordinance by eliminating B-3, Central Business, and RT, Two-Family Residential districts, and all other references to these districts in the zoning ordinance.

Planning

SUMMARY

The B-3, Central Business District, has been replaced by the Form-Based Code (FBC). All properties that were zoned B-3 were rezoned to FBC in 2015 and there would be no reason to rezone any new parcels to B-3. Once removed, Section 1200 (B-3) will be reserved for future use in the zoning ordinance.

In 2025, all properties zoned RT, Two-Family residential, were rezoned to R, Residential. The RT district is no longer needed since zoning reform was passed in 2024. Duplexes may now be built in R districts. Section 600 (RT) will be reserved for future use in the zoning ordinance.

Please see the attached files that show the removal of these references throughout the zoning ordinance.

STAFF RECOMMENDATION

I move the request to amend the zoning ordinance by eliminating B-3, Central Business, and RT, Two-Family Residential districts, and all other references to these districts be recommended to the City Commission for approval.

PUBLIC HEARING COMMENCED

No public comments were received.

PUBLIC HEARING - MOTION

A motion to close the public hearing was made by S. Gawron, supported by J. Seyferth, and unanimously approved.

MOTION PASSED

MOTION

A motion by S. Gawron, seconded by J. Seyferth, that the request to amend the zoning ordinance by eliminating B-3, Central Business, and RT, Two-Family Residential districts, and all other references to these districts, be recommended to the City Commission for approval.

ROLL VOTE: Ayes: S. Gawron, J. Seyferth, L. Willett-Leroi, K. Johnson, and M. De La Garza.

Nays: None.

MOTION PASSED

D. Case 2026-08: Staff-initiated request to amend Section 404 of the zoning ordinance to establish maximum lot widths in R, Neighborhood Residential districts. Planning

SUMMARY

Currently, the zoning ordinance requires a minimum width of 30 feet for residential lots. In the Form Based Code, there is also a maximum lot widths, which is 60 feet. This request is to make this same standard a requirement in all R, Residential districts, not just Form Based Code districts. Minimum lot widths for single-family (30), duplexes (40), and triplexes (50) will remain the same.

The master plan references the need for zoning restrictions that would eliminate the possibility of combining several lots, which reduces housing development. See Goal 2 and Recommendation 2 in the master plan attachment.

STAFF RECOMMENDATION

I move the request to amend Section 404 of the zoning ordinance to establish maximum lot widths in R, Neighborhood Residential districts, be recommended to the City Commission for approval.

PUBLIC HEARING COMMENCED

No public comments were received.

PUBLIC HEARING - MOTION

A motion to close the public hearing was made by S. Gawron, supported by J. Seyferth, and unanimously approved.

MOTION

A motion by J. Seyferth, seconded by S. Gawron, that the request to amend Section 404 of the zoning ordinance to establish maximum lot widths in R, Neighborhood Residential districts be recommenced to the City Commission for approval.

ROLL VOTE: Ayes: S. Gawron, J. Seyferth, K. Johnson, L. Willett-Leroi, and M. De La Garza.
Nays: None.

MOTION PASSED

E. Case 2026-09: Staff-initiated request to amend Sections 703, 803, and 903 to set minimum density requirements for multi-family housing districts. Planning

SUMMARY

The zoning ordinance sets maximum density requirements for multi-family housing. These standards can be viewed in the RM-1 (Low-Density Multiple-Family), RM-2 (Medium-Density Multiple-Family), and RM-3 (High-Density Multiple-Family) sections of the zoning ordinance.

Staff is proposing to set a minimum density requirement in these districts as well, to ensure the proper amount of housing in each development. Currently, a property zoned RM-3, designated for the highest density, could use the development standards of the RM-1 districts, which would allow for the development of a lone, single-family house.

STAFF RECOMMENDATION

I move the request to amend Sections 703, 803, and 903 to set minimum density requirements for multi-family housing districts be recommended to the City Commission for approval.

PUBLIC HEARING COMMENCED

No public comments were received.

PUBLIC HEARING - MOTION

A motion to close the public hearing was made by S. Gawron, supported by K. Johnson, and unanimously approved.

MOTION

A motion by S. Gawron, seconded by J. Seyferth, that the request to amend Sections 703, 803, and 903 to set minimum density requirements for multi-family housing districts be recommended to the City Commission for approval.

ROLL VOTE: **Ayes:** S. Gawron, J. Seyferth, L. Willett-Leroi, K. Johnson, and M. De La Garza.

Nays: None.

MOTION PASSED

UNFINISHED BUSINESS

A. 2026 Goal Setting Planning

This item was removed from the agenda and will be discussed at the April 16, 2026, Planning Commission meeting.

NEW BUSINESS

None.

ANY OTHER BUSINESS

None.

GENERAL PUBLIC COMMENT

None.

ADJOURNMENT

The Planning Commission meeting adjourned at 4:33 PM.

Respectfully Submitted,

Ann Marie Meisch, MMC City Clerk



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: April 16, 2026	Title: Case 2026-10: Request to amend the Harbor 31 Planned Unit Development (PUD) at 600 Shoreline Dr (PUD address) for a new residential development at 170 Viridian Dr (development address) and to amend the waterfront access paths within Harbor 31, by Wolverine Building Group.
Submitted by: Mike Franzak, Planning Director	Department: Planning
Brief Summary: Request to amend the Harbor 31 Planned Unit Development (PUD) at 600 Shoreline Dr (PUD address) for a new residential development at 170 Viridian Dr (development address) and to amend the waterfront access paths within Harbor 31.	
Detailed Summary & Background: <p>The proposed development is located within the Harbor 31 Planned Unit Development (PUD). Much of the interior of the subject parcel is considered a wetland and is prohibited from development by the Michigan Department of Environment, Great Lakes, and Energy (DELEG). The areas restricted from development are enclosed by split rail fencing and are considered an environmental easement.</p> <p>The project consists of four large multiplex buildings, each containing 12 units, for a total of 48 units. There are 67 off-street parking spaces and five parking spaces in the terrace proposed.</p> <p>Large multiplex buildings are an allowed building type in this context area. However, the location of the wetlands prohibits traditional building and parking placement, requiring the need to amend the PUD. The initial project for this parcel was townhomes, but the environmental easements caused issues with the site layout.</p> <p>A portion of the Grand Valley State University (GVSU) parking lot to the west of the development actually encroaches onto the Meadows property. This will have to be removed prior to construction. Page 2 of the site plan depicts the existing parking lot in relation to the proposed development, and Page 3 depicts what the revised GVSU parking lot could look like, although this is not a finalized concept. GVSU will have to apply to the city to reconfigure their parking lot.</p> <p>A stormwater management permit application will need to be submitted to the Engineering Department, and the original storm water management permit for the overall site may need to be modified if changes to the original management plan are contemplated.</p> <p>The landscaping plan lacks canopy trees. Canopy trees should be added to each parking lot and in vacant areas outside the environmental easement. The plans for the paved terraces for parking</p>	

would remove several street trees. If this design is approved, additional street trees should be planted throughout the development.

Staff has asked the developer to provide a driveway plan that shows how the proposed driveways will interact with their position relative to the driveways planned for the hotel across the street. Staff has also asked for a circulation plan for this property and the three adjacent to its NE and NW borders. The Public Works Department notes that the traffic circulation pattern is poor in this area, and this plan seems to exacerbate it, given 90 degree parking adjacent to an access road, and it should be addressed in the context of all planned and underway development in the area, as this last piece is planned. The Public Works Department is not in favor of the paved terrace parking areas, but may be willing to allow them if the seven parking spaces behind building #3 are removed.

Notice was sent to all addresses within 300 feet of the property. At the time of this writing, staff had received one comment from the public. Kevin Murphy, who is an owner of the Vida Nova condominiums, made several comments regarding issues he has with the overall development of Harbor 31. His comments appear to be issues with the Harbor 31 board, the lack of boardwalk signage for the public, and issues with the placement of electrical equipment, but there were no specific comments about the proposed development.

Staff recommends approval of the request with the condition that the western path to the boardwalk is installed and functional before Certificates of Occupancy are issued for the Meadows. Also, additional canopy trees should be located onsite. Staff may also have additional conditions as new information is shared by the applicant.

Goal/Focus Area/Action Item Addressed:

Key Focus Areas:

Goal/Action Item:

2027 Goal 2: Economic Development Housing and Business

Amount Requested:

N/A

Budgeted Item:

Yes		No		N/A	X	
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Fund(s) or Account(s):

N/A

Budget Amendment Needed:

Yes		No		N/A	X	
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Recommended Motion:

I move the request to amend the Harbor 31 Planned Unit Development (PUD) at 600 Shoreline Dr (PUD address) for a new residential development at 170 Viridian Dr (development address), and to amend the waterfront access paths within Harbor 31 be recommended to the City Commission for approval with the following conditions:

1. The stormwater permit is updated with the Engineering Department.
2. The Certificates of Occupancy for the Meadows are not issued until the western path to the boardwalk is constructed and usable.
3. Any street trees that are removed for terrace parking shall be replaced elsewhere in the development, as approved by staff.
4. The landscaping plan is revised to include an additional 10 canopy trees on-site, including at least two per parking lot.

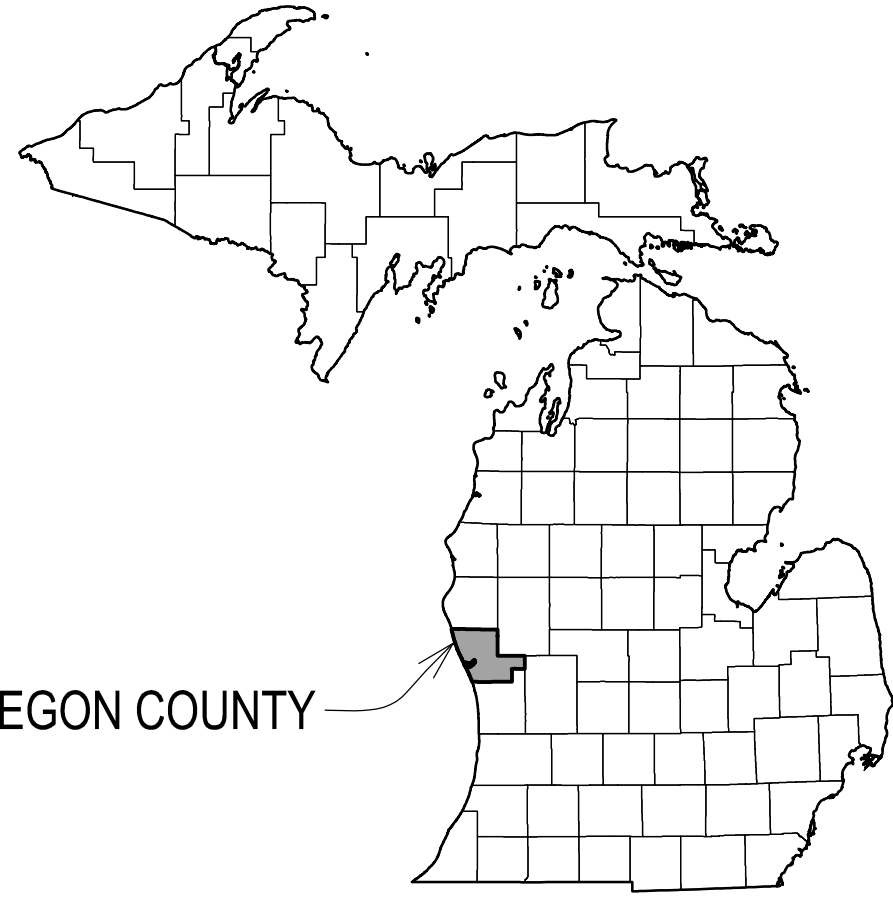
Approvals:

Immediate Division Head	X	
Information Technology		
Other Division Heads		
Communication		
Legal Review		

Guest(s) Invited / Presenting:

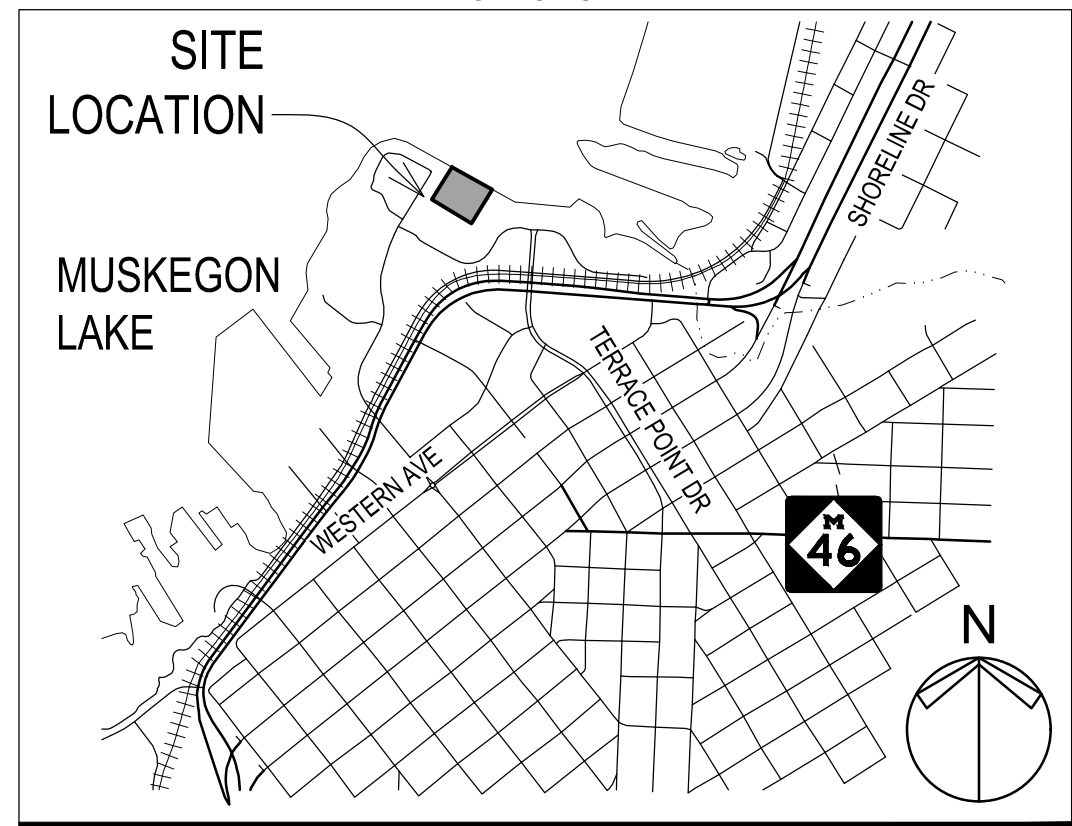
No

VICINITY MAP
NOT TO SCALE



MUSKEGON COUNTY

SITE LOCATION MAP
NOT TO SCALE



150 VIRIDIAN DRIVE
CITY OF MUSKEGON
MUSKEGON COUNTY, MICHIGAN

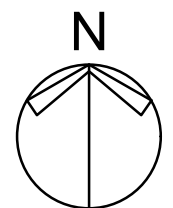
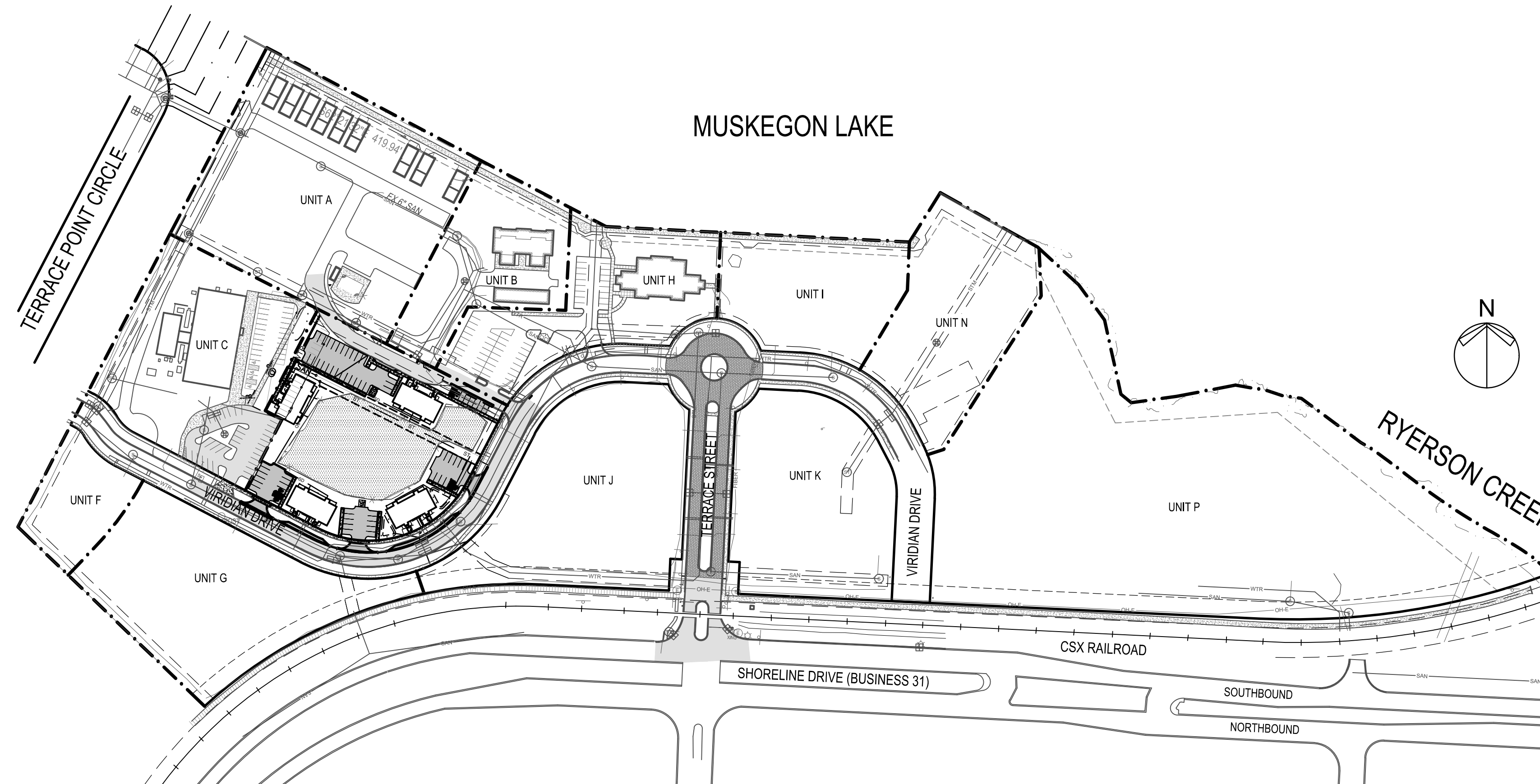
SECTION 19, TOWN 10 N, RANGE 16 E
43°14'34" N, 86°15'11.3" W
PARCEL #: 61-607-000-0001-00

THE MEADOWS

SITE PLAN / PUD AMENDMENT

CITY OF MUSKEGON

MUSKEGON COUNTY, MICHIGAN 49440



GENERAL NOTES:

REFER TO PROJECT MANUAL FOR SITE "RECORD DRAWING" SUBMITTAL REQUIREMENTS.

OWNER HAS SUBMITTED FOR AND OBTAINED THE FOLLOWING SITE RELATED PERMITS:
 AGENCY PERMIT #
 EGLE PART 31, 301, 303 WRP032704 v.1 (ISSUED 6/27/2022)

OWNER HAS SUBMITTED FOR AND IS IN THE PROCESS OF OBTAINING THE FOLLOWING SITE RELATED PERMITS:
 AGENCY PERMIT #
 MUSKEGON COUNTY DRAIN COMMISSIONER'S TBD

UPON AWARD OF CONTRACT, CONTRACTOR WILL BE RESPONSIBLE TO CHECK WITH ENGINEER AND JURISDICTION ON STATUS OF THE PERMIT(S) LISTED ABOVE.

CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SITE RELATED PERMITS NOT BEING OBTAINED BY THE OWNER. CONTRACTOR IS REQUIRED TO COMPLETE THE APPLICATION, AND SUBMIT NECESSARY DRAWINGS, FEES, ETC. TO THE APPROPRIATE JURISDICTION. CONTRACTOR SHALL PAY ALL FEES RELATED TO PERMIT(S) AND SECURE PERMIT(S) IN HIS NAME.

CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE UTILITY CONNECTIONS AND INSPECTIONS WITH THE PROPER JURISDICTION AND PAY ALL ASSOCIATED FEES.

THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING WATER, SANITARY SEWER, AND STORM SEWER CROSSINGS AND CONNECTION POINTS PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.

ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS FROM FIELD DATA AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

REFERENCE SOILS REPORT FOR BORING LOGS AND PREPARATION AND CONSTRUCTION PROCEDURES FOR SUBBASE AND DESIGN SECTION OF ALL PAVED AREAS.

ALL MDOT REFERENCES ARE TO THE 2025 EDITION.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.



**Know what's below.
Call before you dig.**

DEVELOPMENT REFERENCE:

OWNER: MUSKEGON LAKEFRONT LLC
1985 HOLTON RD, MUSKEGON, MI 49445

DEVELOPER: TRUE PROPERTY RESOURCES, LLC
APPLICANT: 415 LEONARD STREET NW, SUITE 201
GRAND RAPIDS, MI 49504
ATTN: DAN HENRICKSON
PHONE: (616) 454-5554

CIVIL ENGINEER: PARADIGM DESIGN
415 LEONARD STREET NW, SUITE 200
GRAND RAPIDS, MI 49504
ATTN: BILL HADLOCK
PHONE: (616) 785-5656

SURVEYOR: BURGESS SURVEYING
8375 RIDGESTONE DR.
ATTN: JORDAN BURGESS
PHONE: (614) 441-4222

COORDINATION INDEX:

WATER / SEWER: CITY OF MUSKEGON PUBLIC WORKS DEPARTMENT
1350 E. KEATING AVE
MUSKEGON, MI 49422
PHONE: (231) 724-4100

ELECTRIC: CONSUMERS ENERGY
PHONE: 1-800-477-5050

NATURAL GAS: DTE ENERGY
PHONE: 1-800-477-4747

PROJECT DESCRIPTION:

A NEW 48 UNIT COMMUNITY WITHIN MUSKEGON LAKESHORE SMARTZONE SITE CONDOMINIUM

LEGAL DESCRIPTION:

CITY OF MUSKEGON, MUSKEGON LAKESHORE SMARTZONE, UNIT D, FIFTH AMEND TO MASTER DEED L/P 4292/128.
 SUBJ TO ELECTRIC ESMT REC L/P 3591/578.
 SUBJ TO ELECTRIC EASEMENT RECORD'D L/P 3630/646.
 SUBJ TO DRAIN & ACCESS ESMT REC L/P 4311/311

SURVEY PROVIDED BY:

TOPOGRAPHIC SURVEY PROVIDED BY BURGESS SURVEYING ON A DRAWING DATED 01-20-2026.
 BOUNDARY SURVEY PROVIDED BY BURGESS SURVEYING ON A DRAWING DATED 12-19-2022.

BENCHMARKS:

ASSUMED BENCHMARK AS DENOTED ON MUSKEGON LAKEFRONT DEVELOPMENT PLANS DEVELOPED BY FLIES AND VANDENBRINK.

BM#1: TOP OF FLANGE BOLT UNDER THE 'E' OF EJIW ON HYDRANT. LOCATED WEST & ±10 FEET SOUTH OF SOUTHEAST PROPERTY CORNER.
 ELEVATION = 587.89 (BASIS FOR PLAN ELEVATION SHOWN)
 NAVD88 ELEV = (PLAN ELEVATION) - 0.42 FEET

COORDINATE SYSTEM:

COORDINATES & BEARINGS ARE BASED ON MICHIGAN STATE PLANE SOUTH ZONE, NAD83(HARN), INTERNATIONAL FEET.

NAVD88 ELEVATIONS ARE 0.42 FEET LOWER THAN THE SITE DATUM.

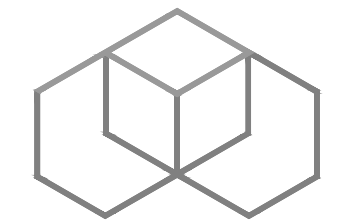
FLOODPLAIN DATA:

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, FIRM NUMBER 26121C0257D, EFFECTIVE DATE: JULY 6 2015, NATIONAL FLOOD INSURANCE PROGRAM, AS PUBLISHED BY FEMA.

THE SUBJECT PROPERTY IS IN ZONE AE DEFINED AS AREA INUNDATED BY THE BASE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED WITH A BASE FLOOD ELEVATION OF 584.4. (NAV 88 ASSUMED)

SHEET LIST TABLE

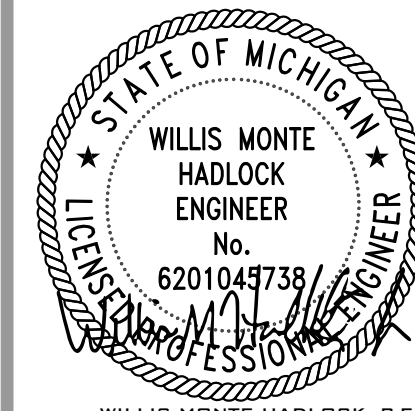
C-001	COVER SHEET
C-101	EXISTING CONDITIONS & DEMOLITION PLAN
C-200	SITE PLAN
C-220	PEDESTRIAN ACCESS WAYS LANDSCAPE PLAN PHOTOMETRIC PLAN FLOORPLAN - 1ST FLOOR FLOORPLAN - 2ND FLOOR FLOORPLAN - 3RD FLOOR BUILDING ELEVATIONS - FRONT & SIDE 1 BUILDING ELEVATIONS - BACK & SIDE 2



PARADIGM DESIGN
ARCHITECTS | ENGINEERS

415 Leonard Street NW, Suite 200
Grand Rapids, MI 49504
(616) 785-5656

Grand Rapids | Phoenix
www.paradigmae.com



WILLIS MONTE HADLOCK, P.E.
MI - REGISTRATION # 6201043738
EXP. DATE 09/02/2027

PROJECT

THE MEADOWS

MUSKEGON LAKEFRONT, LLC

MUSKEGON, MICHIGAN

DEVELOPER

TRUE PROPERTY RESOURCES, LLC

(616) 454-5554
415 LEONARD STREET,
GRAND RAPIDS, MI 49504

RELEASE DATE

△	DATE	DESCRIPTION
	03-12-26	PUD AMENDMENT

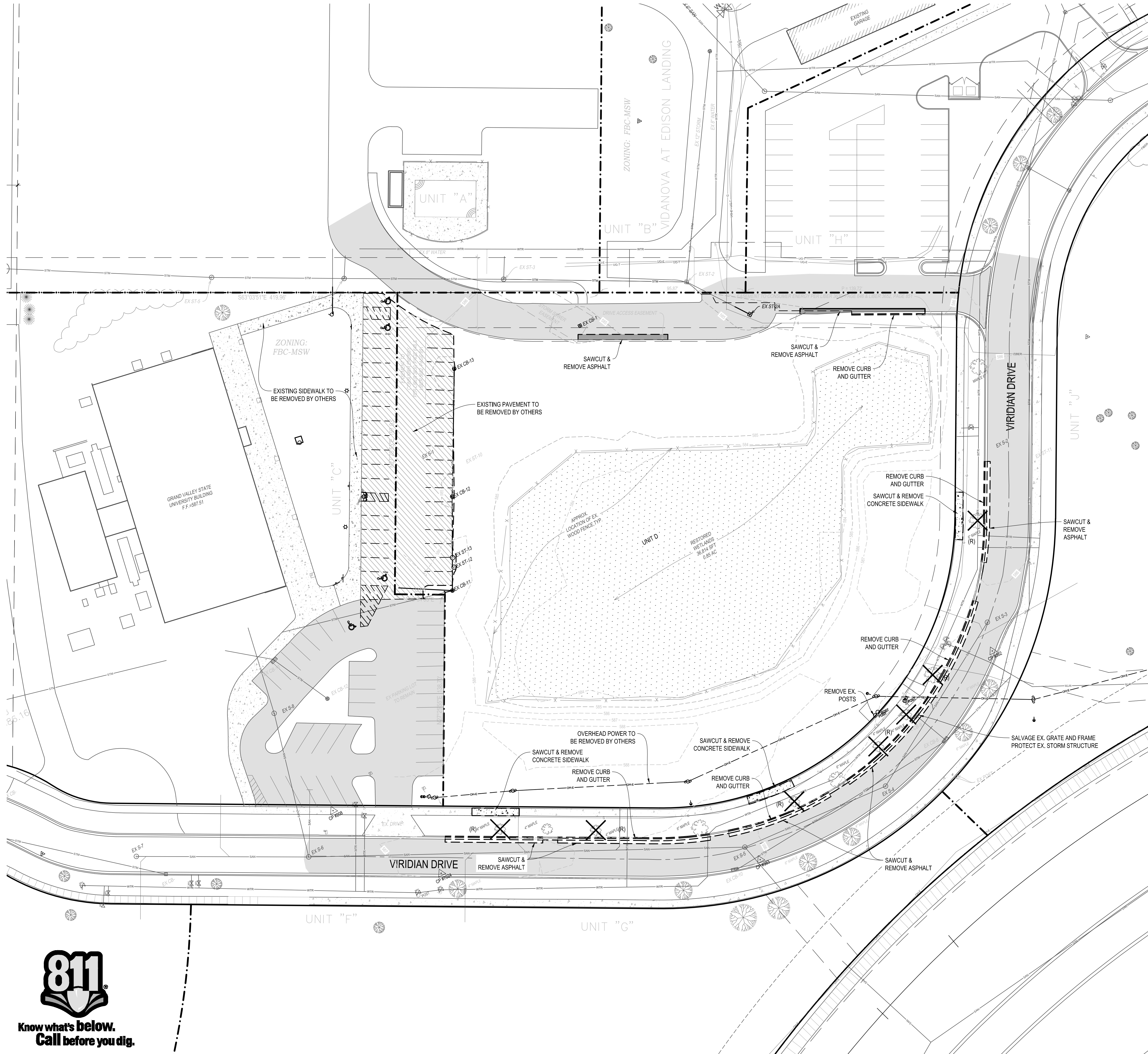
PROJECT

2212167GR

SHEET

COVER SHEET

C-001



EXISTING LEGEND		
	CONTROL POINT	
	MONITORING WELL	
	ELECTRICAL	
WATER		
	UTILITY POLE	
	PEDESTAL	
SANITARY SEWER		
	CONCRETE	
	BITUMINOUS	
	WETLAND	
	CURB & GUTTER	
	PROPERTY LINE	
	POND/EDGE OF WATER	
	CONTOUR LINE	
	100 YEAR FLOODPLAIN CONTOUR (584.82)	
	500 YEAR FLOODPLAIN CONTOUR (585.72)	
	FENCE	
	TREE LINE	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	
	NATURAL GAS	
	FIBER OPTIC	
	UNDERGROUND ELECTRIC	
	UNDERGROUND TELEPHONE	

DEMOLITION NOTES:
 ALL MATERIAL THAT IS NOT SUITABLE AS BACKFILL AND MATERIALS THAT ARE EXCESS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 ALL AREAS OF UNDERGROUND DEMOLITION, UTILITY LINE REMOVAL, AND UNDERGROUND TREE, STUMP, AND VEGETATION REMOVAL SHALL BE BACKFILLED.
 BACKFILLING SHALL PROMPTLY FOLLOW UNDERGROUND DEMOLITION OR REMOVAL WORK AND SHALL CONTINUE AS THE DEMOLITION PROGRESSES.
 CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY DEMOLITION PERMITS AND PAYING FOR ANY ASSOCIATED PERMIT FEES.
 NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWING(S).
 PRIVATE UTILITY REMOVAL - CONTRACTOR TO COORDINATE PRIVATE UTILITY (GAS, ELECTRIC, PHONE, CABLE, ETC.) REMOVAL WITH APPROPRIATE AUTHORITY. ALTHOUGH ALL PRIVATE UTILITY SERVICES MAY NOT BE SHOWN ON THIS DRAWING, CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SERVICE AS NECESSARY.
 PUBLIC UTILITY REMOVAL - CONTRACTOR TO COORDINATE PUBLIC UTILITY (WATER, SEWER, STORM) REMOVAL WITH APPROPRIATE UTILITY COMPANY. ALTHOUGH ALL PUBLIC UTILITY SERVICES MAY NOT BE SHOWN ON THIS DRAWING, CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SERVICE AS NECESSARY.
 IT IS ANTICIPATED THAT A PRIVATE WELL AND SEPTIC SYSTEM MIGHT BE PRESENT. CONTRACTOR TO REMOVE ENTIRE WELL AND SEPTIC SYSTEMS IN ACCORDANCE WITH GOVERNING AGENCIES.

DEMOLITION LEGEND	
	REMOVE THESE ITEMS
	REMOVE CONCRETE & SIDEWALK
	REMOVE BITUMINOUS
	REMOVE BITUMINOUS (BY OTHERS)
	REMOVE CURB & GUTTER
	REMOVE THESE ITEMS
	REMOVE WATER MAIN
	REMOVE STORM SEWER

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

PARADIGM DESIGN
 ARCHITECTS | ENGINEERS

415 Leonard Street NW, Suite 200
 Grand Rapids, MI 49504
 (616) 785-5656

Grand Rapids | Phoenix
 www.paradigmae.com

WILLIS MONTE HADLOCK, P.E.
 M.I. REGISTRATION #6201045738
 EXP. DATE 09/02/2027

PROJECT

THE MEADOWS

MUSKEGON LAKEFRONT, LLC

MUSKEGON, MICHIGAN

DEVELOPER

TRUE PROPERTY RESOURCES, LLC

(616) 454-5554
 415 LEONARD STREET,
 GRAND RAPIDS, MI 49504

RELEASE DATE	
DATE	DESCRIPTION
03-12-26	PUD AMENDMENT

PROJECT

2212167GR

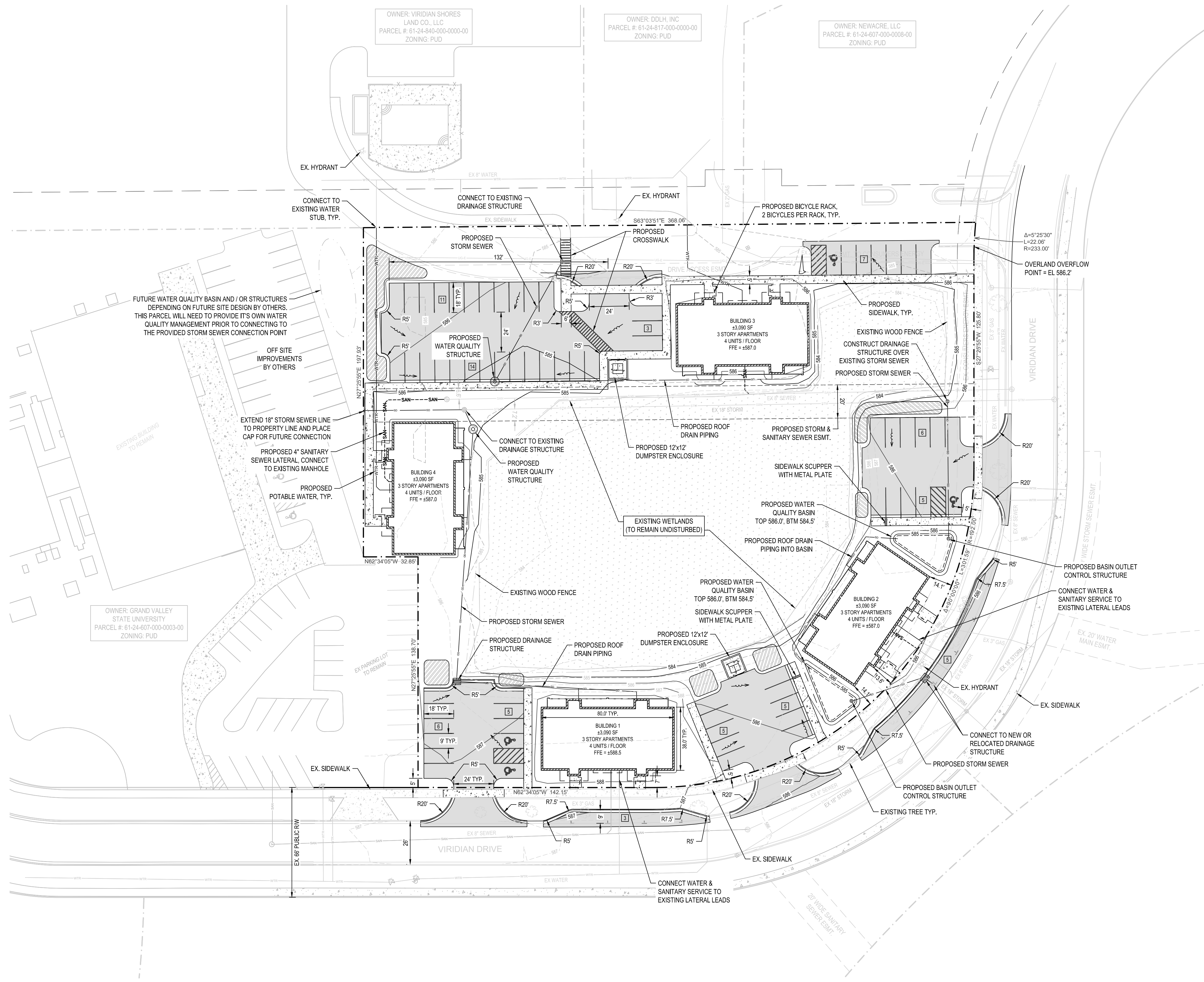
SHEET

EXISTING CONDITIONS & DEMOLITION PLAN

C-101

Thursday, March 16, 2023 at 12:28pm C:\Users\jphillip\OneDrive - PD\Documents\Project Files\2212167GR\Huber_31 - The Meadows\On\103-Production Sheets (CD)\167C-101.dwg jphillip





PROPOSED LEGEND

	CONCRETE SIDEWALK
	STANDARD DUTY BITUMINOUS
	SNOW STORAGE AREA
	STANDARD CURB & GUTTER
	LANDSCAPE CURB
	PROPERTY LINE
	EXISTING POTABLE WATER
	PROPOSED POTABLE WATER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING CONTOUR
	PROPOSED CONTOUR

SITE DATA:

SITE: 2.56 ACRES
 ZONED: IBC MAINSTREET WATERFRONT (MSW)
 USE: LARGE MULTIFLEX (ALLOWED BY RIGHT)

MINIMUM LOT AREA:	7,500 SFT
MINIMUM LOT WIDTH:	75'
MAXIMUM LOT WIDTH:	100'
MINIMUM LOT DEPTH:	100'
MAXIMUM BUILDING HEIGHT:	6 STORY

FRONT BUILDING SETBACK: 0-15'
 SIDE BUILDING SETBACK (STREET SIDE): 0-15'
 SIDE BUILDING SETBACK (NON-STREET SIDE): 0'
 REAR BUILDING SETBACK: 0'

PARKING DATA:

PROPOSED PARKING: 60 OFF-STREET PARKING SPACES (INCLUDES 4 BARRIER FREE SPACES)
 15 ON-STREET PARKING SPACES
 75 TOTAL SPACES

PROPOSED BICYCLE PARKING: 16 SPACES
 (20% OF PROPOSED VEHICLE PARKING SPACES OF 72 SPACES = 15 SPACES)

PARKING SPACE: 9' x 18'
 DRIVE AISLE: 24'

FRONT PARKING SETBACK: 40'
 SIDE PARKING SETBACK (STREET SIDE): 5'
 SIDE PARKING SETBACK (NON-STREET SIDE): 0'
 REAR PARKING SETBACK (STREET SIDE): 5'

PARADIGM DESIGN
 ARCHITECTS | ENGINEERS

415 Leonard Street NW, Suite 200
 Grand Rapids, MI 49504
 (616) 785-5656

Grand Rapids | Phoenix
 www.paradigm.com

STATE OF MICHIGAN
 WILLIS MONTE HADLOCK
 ENGINEER
 No. 6201049739
 EXPIRES 12/31/2027

WILLIS MONTE HADLOCK, P.E.
 M.I. REGISTRATION #6201049739
 EXP. DATE 09/30/2027

PROJECT

THE MEADOWS

MUSKEGON LAKEFRONT, LLC

MUSKEGON, MICHIGAN

DEVELOPER

TRUE PROPERTY RESOURCES, LLC

(616) 454-5554
 415 LEONARD STREET,
 GRAND RAPIDS, MI 49504

RELEASE DATE

DATE	DESCRIPTION
03-12-26	PUD AMENDMENT

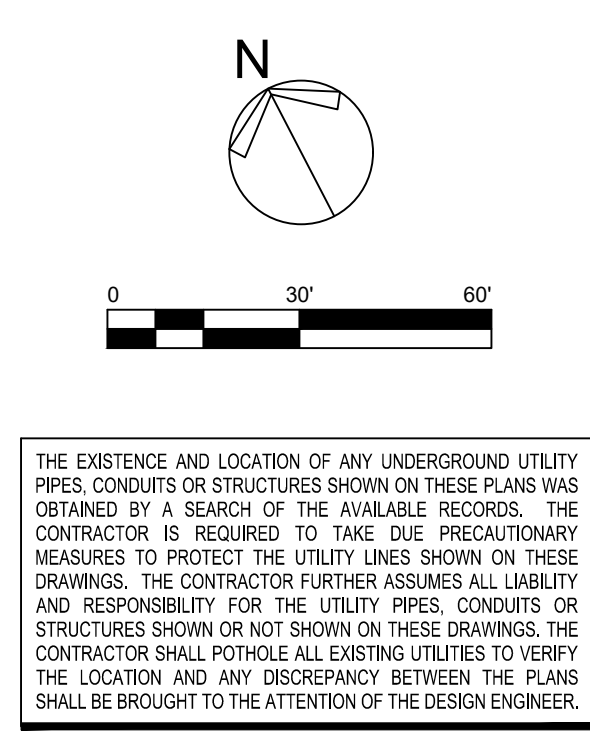
PROJECT

2212167GR

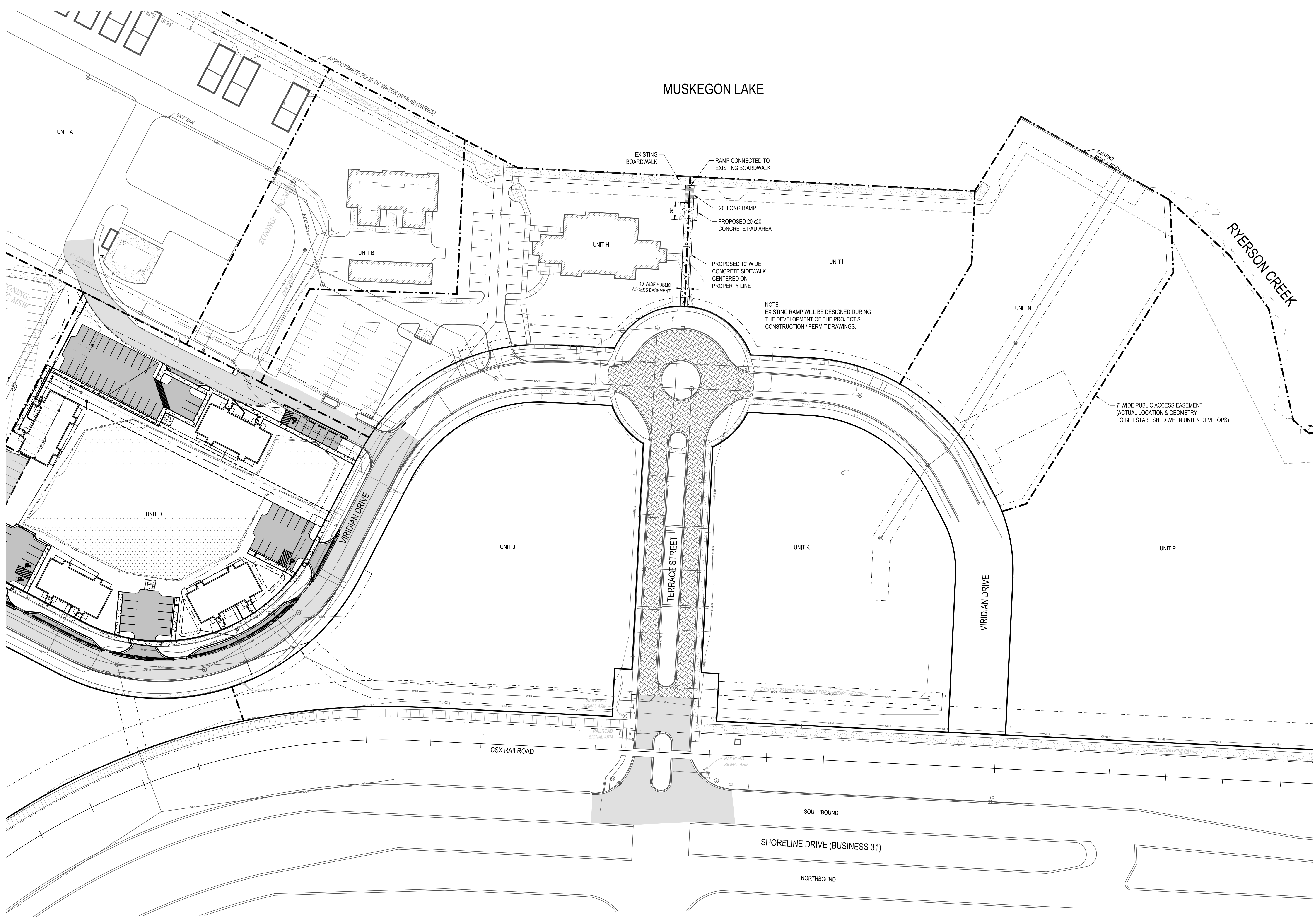
SHEET

SITE PLAN

C-200



THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POthOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.



MUSKEGON LAKE

PARADIGM DESIGN
 ARCHITECTS | ENGINEERS
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 Grand Rapids, MI 49504
 (616) 785-5656
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PROJECT
THE MEADOWS
 MUSKEGON LAKEFRONT, LLC
 MUSKEGON, MICHIGAN

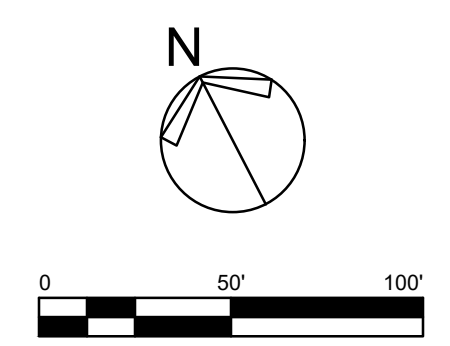
DEVELOPER
 TRUE PROPERTY RESOURCES, LLC

(616) 454-5554
 415 LEONARD STREET,
 GRAND RAPIDS, MI 49504

RELEASE DATE	
DATE	DESCRIPTION
03-12-26	PUD AMENDMENT

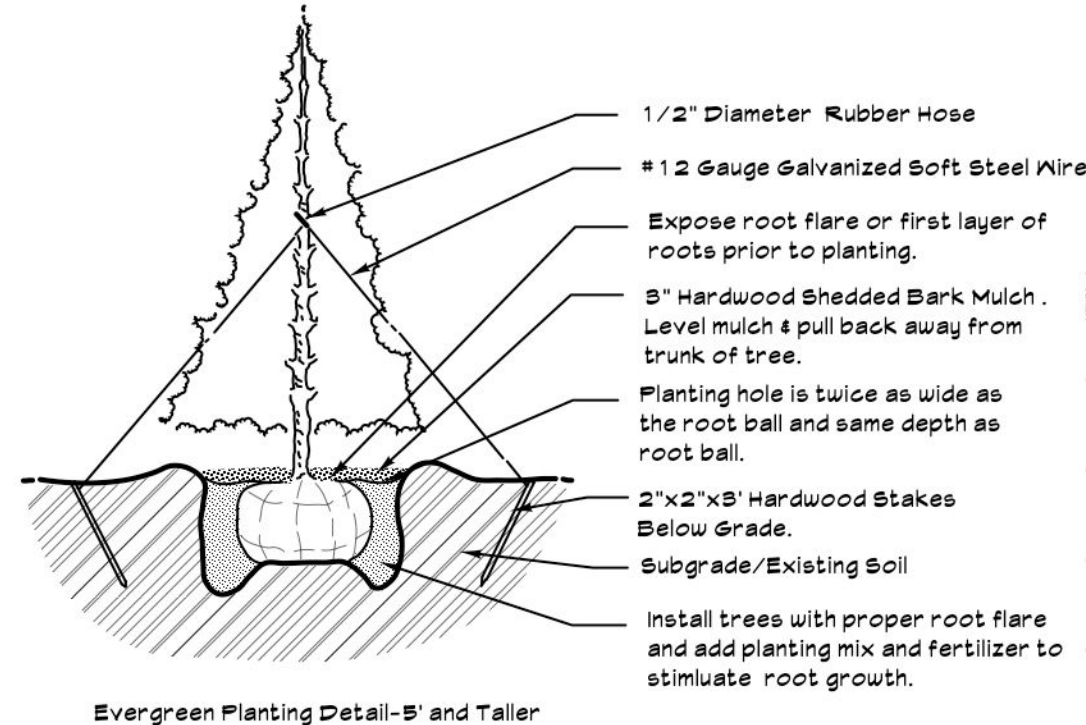
PROJECT
2212167GR
 SHEET

PEDESTRIAN ACCESS WAYS
C-220

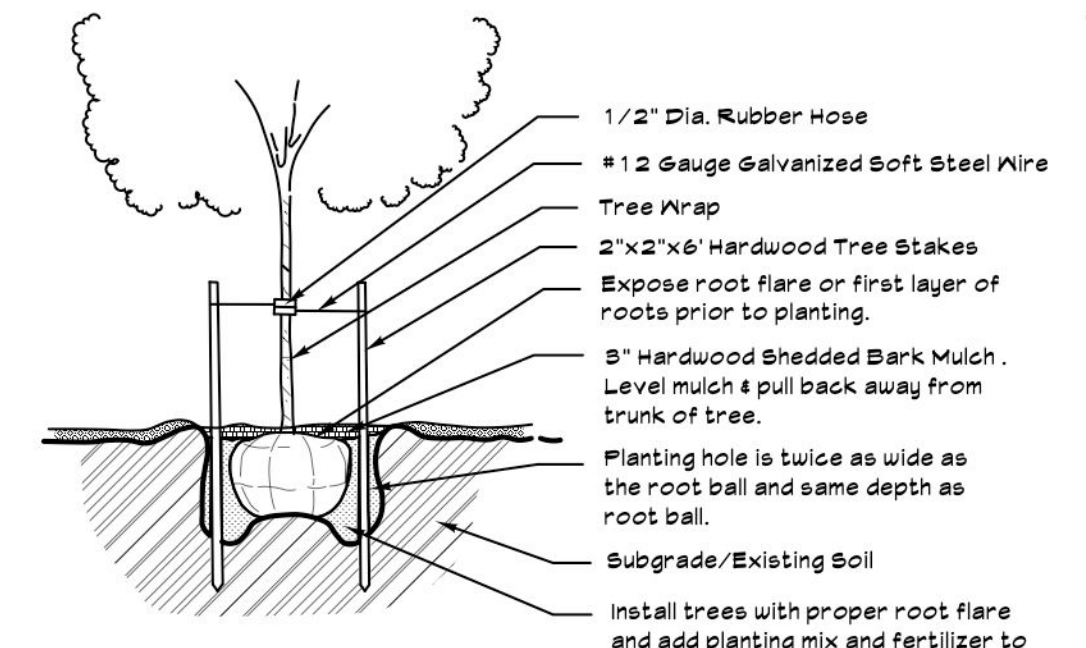


THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POT-HOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

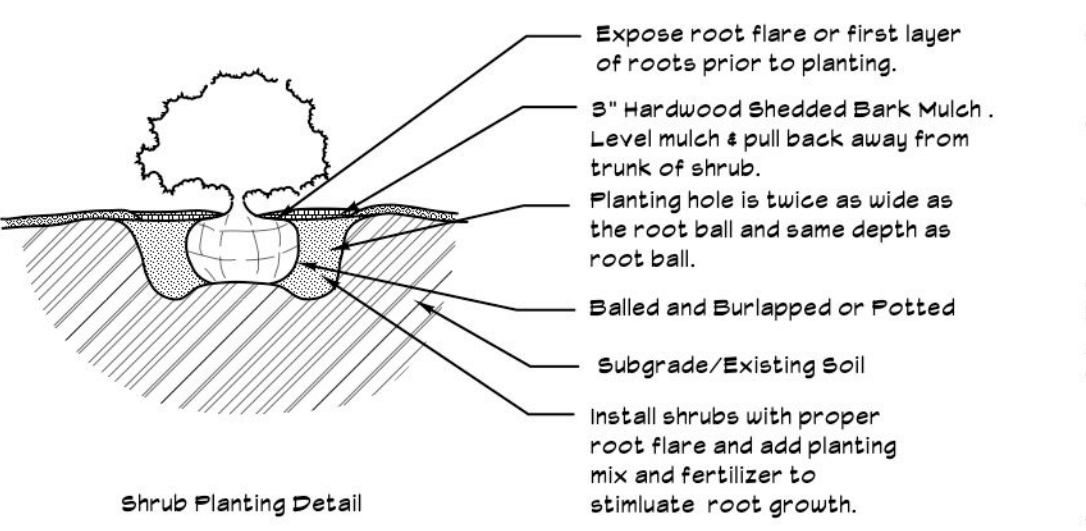
Thursday, March-16-2024 at 1:05pm C:\Users\jhadlock\OneDrive - PD\Documents\Project Notes\2212167GR Harbor 31 - The Meadows\On\103-Production Sheets (CD)\167C-220 PEDESTRIAN ACCESS.dwg jhadlock



Evergreen Planting Detail- 5' and Taller



Deciduous Trees 5' Caliper and Smaller



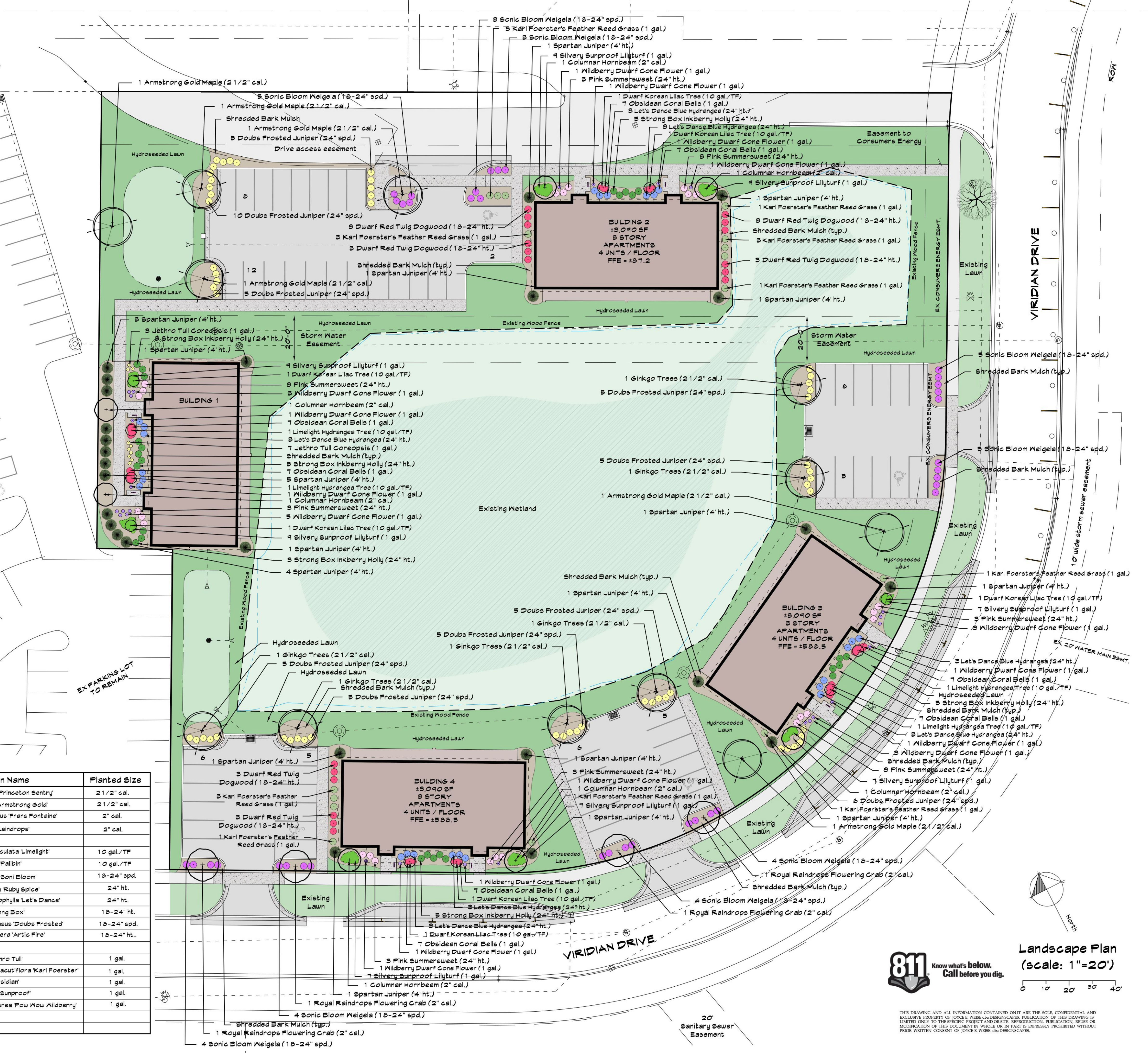
Shrub Planting Detail

Notes:

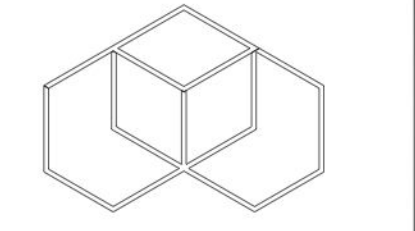
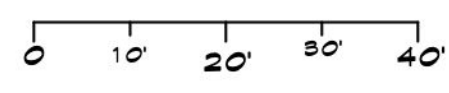
- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
- All plantings shall be mulched with 3" shredded premium hardwood bark mulch. Trees in lawn areas shall receive a 6" diameter bark ring 3" deep.
- The landscape contractor shall remove any twine that is wrapped around the trunk of a tree or shrub as well as the top third of any burlap. Remove excess soil on the top of the root ball to expose the root flare or first layer of roots prior to planting. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through.
- Trees and shrubs shall be planted with a plant mixture consisting of 1/3 existing soil, 1/3 topsoil and 1/3 composted manure or peat. When planting trees in the lawn area or on a berm the existing soil within a 10 foot diameter shall be loosened by tilling or similar and amended with composted manure or peat at a depth of 6-12".
- Planting areas shall be edged with a mechanical bed edger to define a border for the shedded bark mulch.
- Parking islands shall be back filled with at least 24" of topsoil. Amend the topsoil with composted manure or peat and mix into the topsoil at a depth of 6-12". Any aggregate or stone from the construction of the parking lot shall be removed prior to backfill.
- Lawn areas shall receive at least 4" of topsoil and hydroseeded. Check with specifications for topsoil availability or contact project manager. Topsoil for lawns shall be appropriate for growing and sustaining a healthy lawn. All lawns shall be hydroseeded with a seed blend consisting of 30% Kentucky Bluegrass, 20% Perennial Ryegrass, 10% Hard Fescue, 20% Creeping Red Fescue and 20% Chewings Fescue.
- All lawn and shrub bed areas shall be watered by an automatic irrigation system. The irrigation system shall be designed and installed by the Landscape Contractor. Shrub areas shall be irrigated with drip irrigation.
- Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and provide 1" of water per week during the growing season.
- Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.

Plant List

Quantity	Common Name	Latin Name	Planted Size
6	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	2 1/2" cal.
6	Armstrong Gold Maple	Acer rubrum 'Armstrong Gold'	2 1/2" cal.
7	Columnar Hornbeam	Carpinus betulus 'Frans Fontaine'	2" cal.
4	Royal Raindrops Flowering Crab	Malus 'Royal Raindrops'	2" cal.
4	Limelight Hydrangea Tree	Hydrangea paniculata 'Limelight'	10 gal./TF
5	Dwarf Korean Lilac Tree	Syringa meyeri 'Palibin'	10 gal./TF
37	Sonic Bloom Pink Weigela	Weigela florida 'Soni Bloom'	18-24" spd.
24	Pink Summersweet	Clethra alnifolia 'Ruby Spice'	24" ht.
24	Let's Dance Blue Hydrangea	Hydrangea macophylla 'Let's Dance'	24" ht.
26	Strong Box Inkberry Holly	Ilex glabra 'Strong Box'	18-24" ht.
56	Doubs Frosted Juniper	Juniperus chinensis 'Doubs Frosted'	18-24" spd.
18	Dwarf Red Twig Dogwood	Cornus stolonifera 'Arctic Fire'	18-24" ht.
10	Jethro Tull Coreopsis	Coreopsis 'Jethro Tull'	1 gal.
18	Karl Foerster's Feather Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	1 gal.
56	Obsidian Coral Bells	Heuchera x 'Obsidian'	1 gal.
64	Silvery Sunproof Lilly Turf	Lilium 'Silvery Sunproof'	1 gal.
26	Wildberry Dwarf Cone Flower	Echinacea purpurea 'Pow Wow Wildberry'	1 gal.



Landscape Plan (scale: 1"=20')



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Landscape Plan Drawn By:
Joyce E. Weise, P.L.A., A.S.L.A.

PROJECT
THE MEADOWS

HARBOR 31
DEVELOPMENT

MUSKOGON, MICHIGAN

APPLICANT
WOLVERINE BUILDING GROUP

(616) 281-6194
4045 BARDEN SE
Grand Rapids MI, 49512

RELEASE DATE	
DATE	DESCRIPTION
03-12-26	PUD AMENDMENT

PROJECT



2212167GR

SHEET

LANDSCAPE PLAN

L-101

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Luminaire Schedule							
Symbol	Qty	Tag	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	13	W3	Single	0.950	6417	47	XWM-3-LED-06L-30-UE-BRZ
	5	S4	Single	0.930	12055	85	SLM-LED-12L-SIL-4-30-70CRI-BRZ

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.49	7.2	0.0	N.A.	N.A.
Lot 1	Fc	2.27	5.9	0.7	3.24	8.43
Lot 2	Fc	1.58	3.7	0.4	3.95	9.25
Lot 3	Fc	1.55	3.7	0.3	5.17	12.33
Lot 4	Fc	1.58	3.8	0.3	5.27	12.67

Fixture Mounting Height: 20' AFG (20' Pole + 0.0' Base)

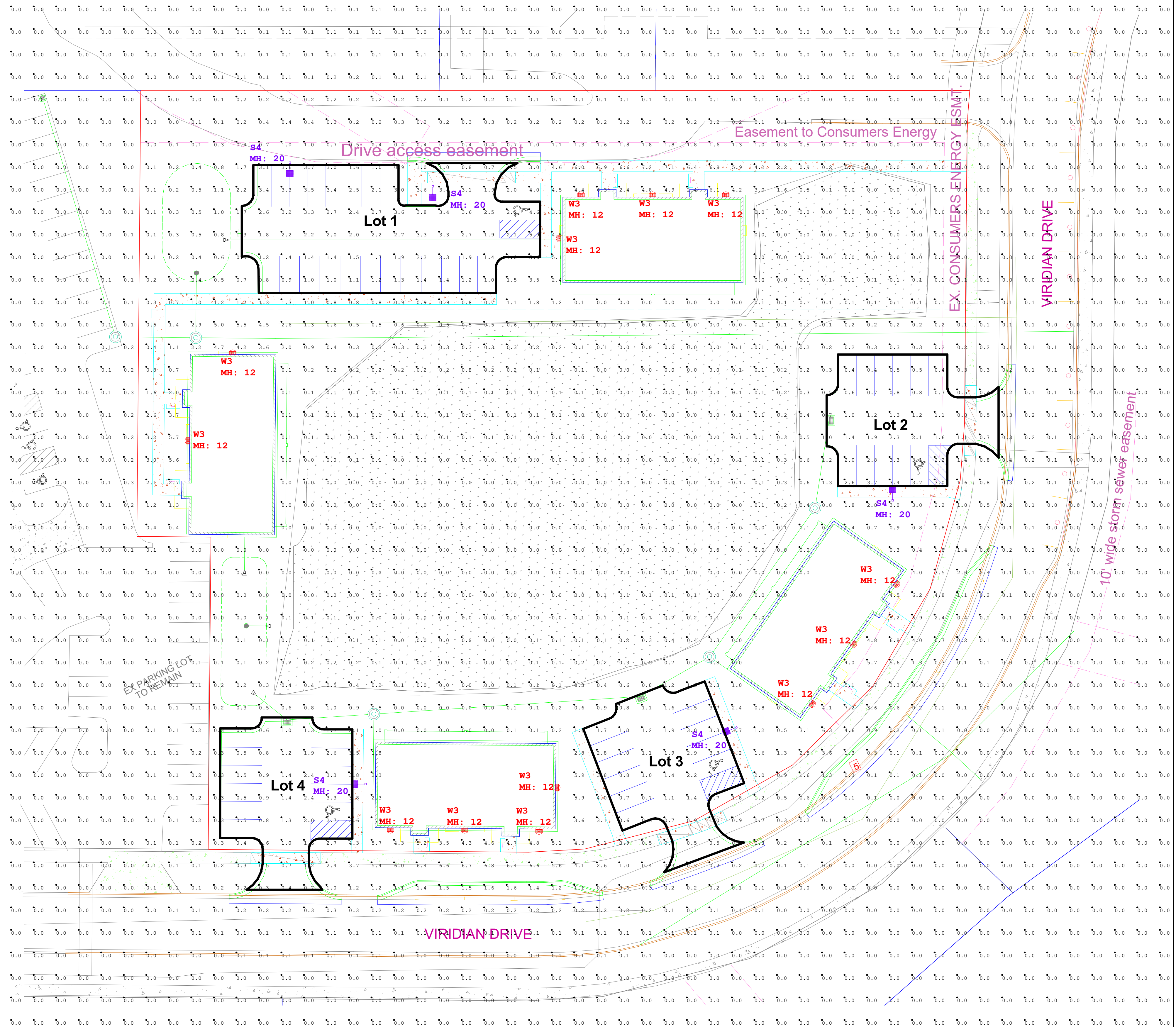
Pole Schedule
(5) LSI 4SQ B3 S11G 20 S BRZ (20' X 4" X 11ga STEEL SQUARE POLE, Single)

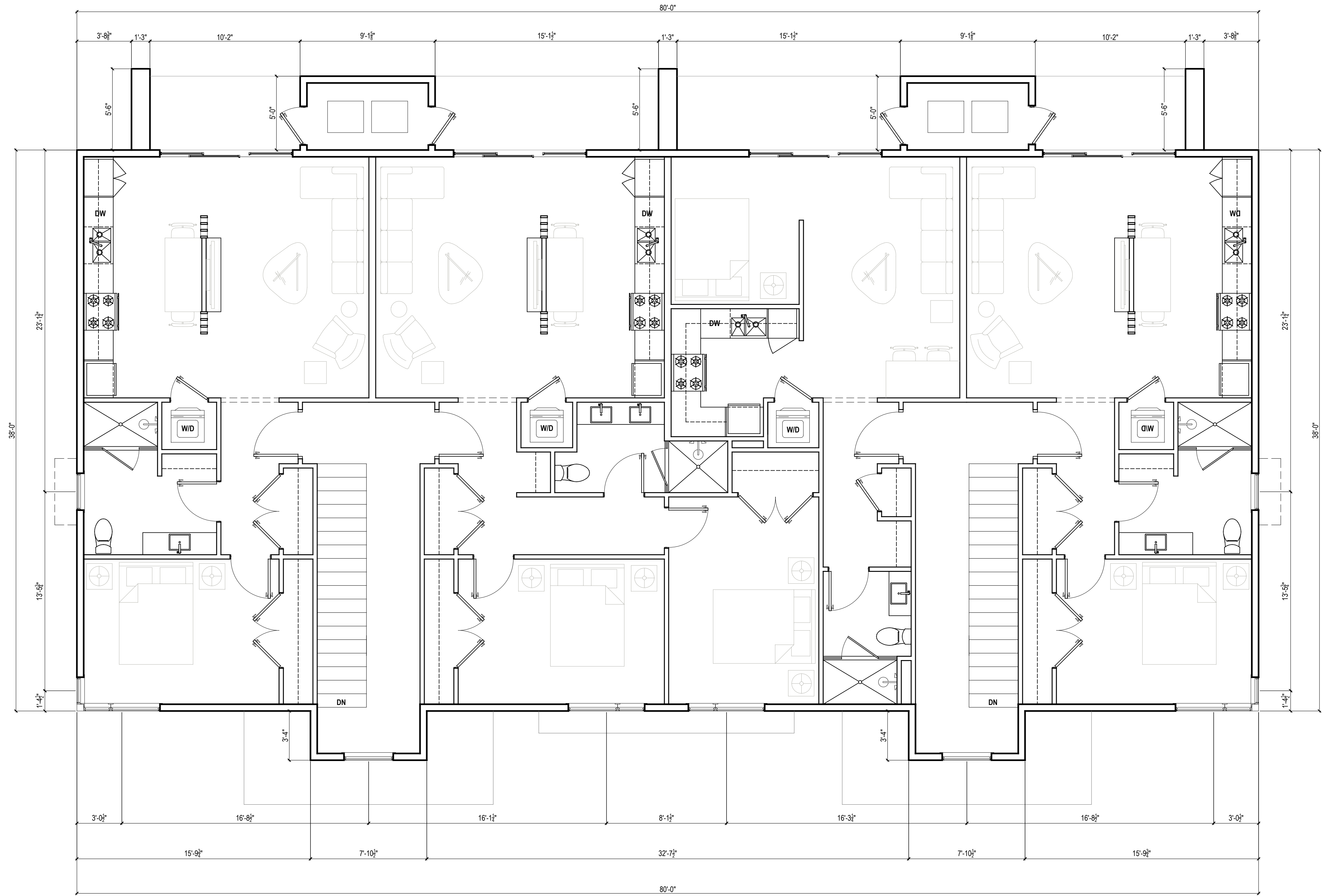
Proposed poles meet 130 MPH sustained winds.

Additional Equipment:
(5) LSI AB KIT 122584 (Anchor Bolt Template - 4SQ S11G/S07G Anchor Bolts (Steel Plated))

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

Lighting and switchgear are part of a nationally specified and managed program for the developer, owned by CED National Accounts. Please contact Ben Kerstens for pricing and general questions (Ben.Kerstens@ced.com)





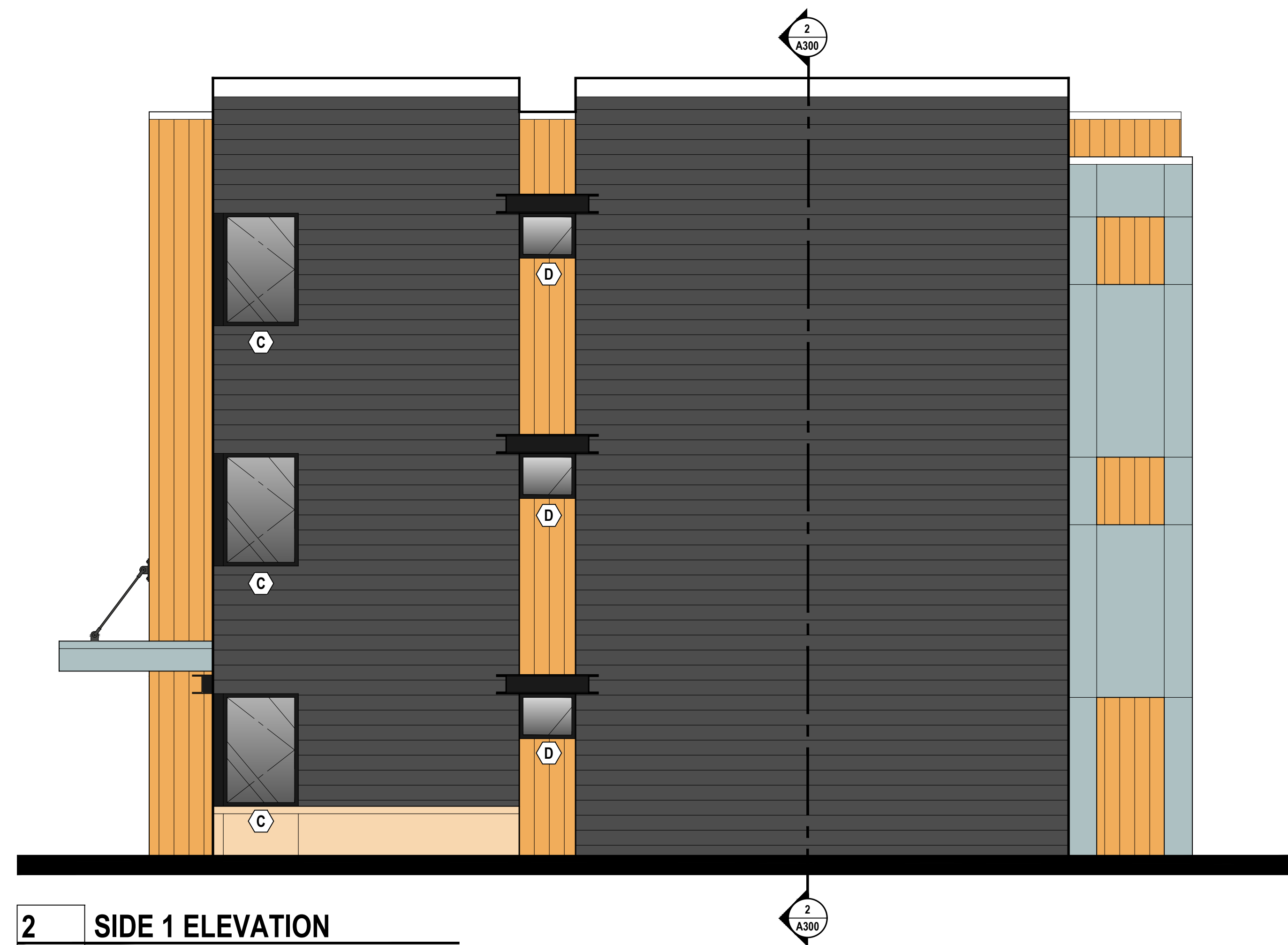
4 THIRD FLOOR PLAN
 A100 1/4"=1'-0"

THE MEADOWS APARTMENTS
 HARBOR 31 DEVELOPMENT
 MUSKEGON, MICHIGAN
COPYRIGHT 2025. ALL RIGHTS RESERVED. THIS DRAWING REMAINS THE PROPERTY OF HENRICKSON ARCHITECTURE AND PLANNING AND IS FOR USE ONLY AS AUTHORIZED BY HENRICKSON ARCHITECTURE AND PLANNING.

REVIEW	• 01.01.21
BIDS/PERMIT	• 01.01.21
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	•
DRAWN BY:	• IOC
CHECKED:	• DSH
FOUNDATION PLAN, FIRST FLOOR PLAN & SCHEDULES	
PROJECT No.	• 250910

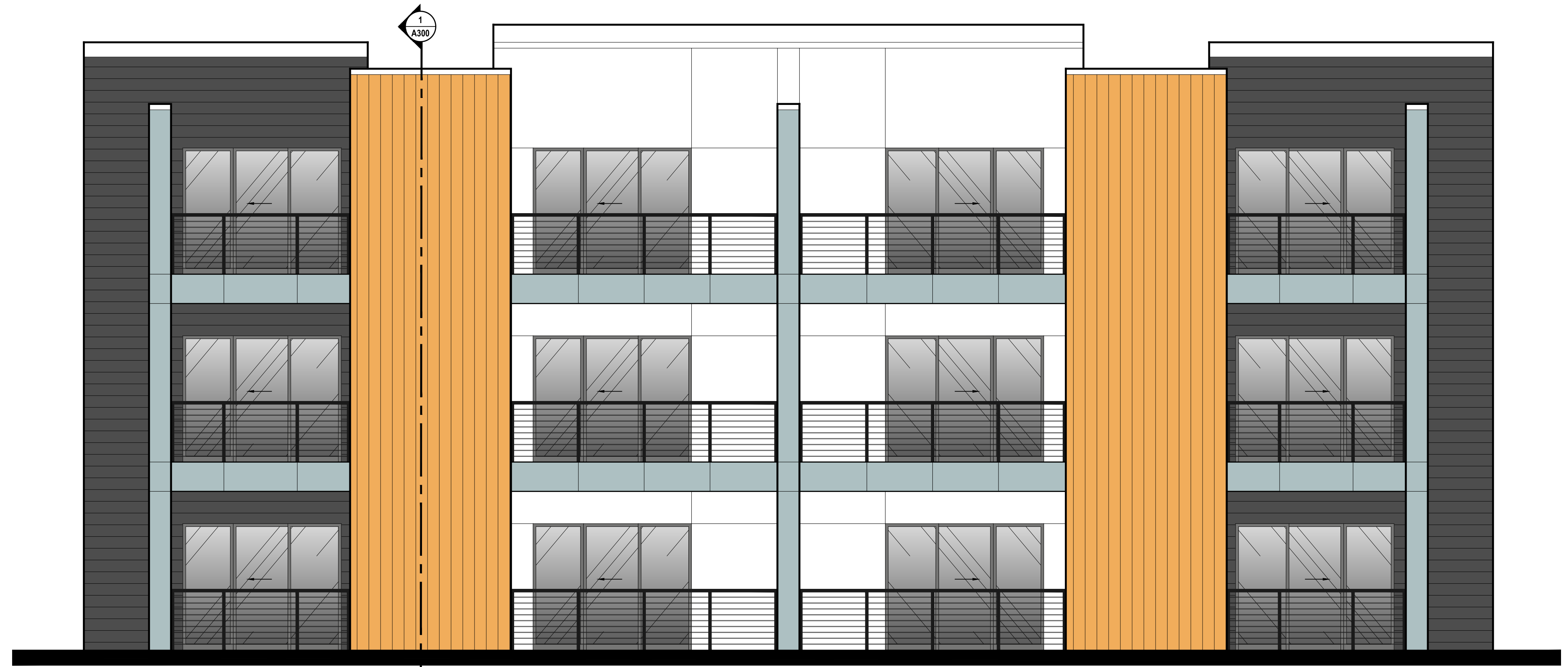


1 FRONT ELEVATION
 A100 1/4"=1'-0"

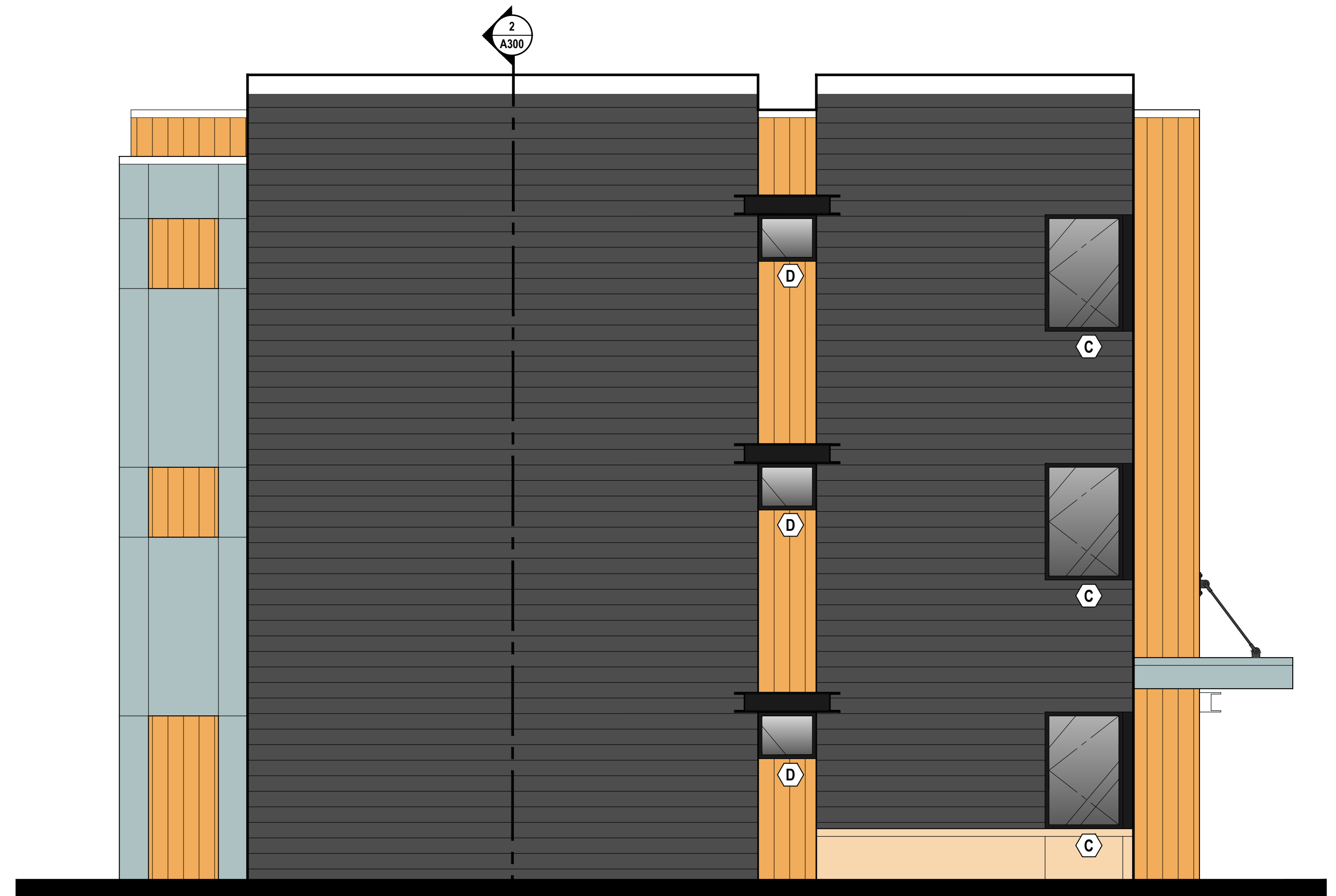


2 SIDE 1 ELEVATION
 A100 1/4"=1'-0"

REVIEW	• 01.01.21
BIDS/PERMIT	• 01.01.21
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DRAWN BY:	• IOC
CHECKED:	• DSH
EXTERIOR ELEVATIONS	
PROJECT No.	• 250910



3 BACK ELEVATION
 A100 1/4"=1'-0"



3 SIDE 2 ELEVATION
 A100 1/4"=1'-0"

REVIEW	• 01.01.21
BIDS/PERMIT	• 01.01.21
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DRAWN BY:	• IOC
CHECKED:	• DSH
EXTERIOR ELEVATIONS	
PROJECT No.	• 250910

PUD Amendment Narrative

Project Name: The Meadows
Project Number: 2212167GR
Date: March 12, 2026

Property Address: 170 Viridian Drive
Parcel Number: 61-24-604-000-0004-00
City: Muskegon, MI
Context Area: Main Street Waterfront (MSW)

Summary of Requested PUD Amendments

The applicant requests approval of a Planned Unit Development (PUD) amendment to allow flexibility from specific Form-Based Code standards due to significant site constraints created by regulated wetlands. The requested amendments include:

- Allowing multiple principal buildings on a single parcel where only one (1) principal building per lot is otherwise permitted.
- Allowing reduced front yard parking setbacks where strict compliance is not practicable due to environmental constraints.
- Allowing adjusted parking placement and configuration to accommodate required parking while avoiding impacts to regulated wetlands.

All other applicable standards of the approved PUD and the City of Muskegon Form-Based Code are intended to remain in effect.

Project Description

The applicant requests approval of a Planned Unit Development (PUD) amendment for the property located at 170 Viridian Drive to allow construction of a new residential development consisting of four (4) Large Multi-plex buildings, each containing twelve (12) dwelling units, for a total of 48 units. Each building will be served by an associated off-street parking area.

Based on the City of Muskegon Form-Based Code, the subject parcel is located within the Main Street Waterfront (MSW) Context Area, where Large Multi-plex buildings are permitted by right. The

proposed development complies with the allowed building type and overall intent of the Form-Based Code to encourage residential development in waterfront-adjacent areas.

Site Constraints and Wetland Impacts

A large regulated wetland occupies the central portion of the site and significantly limits the amount, location, and configuration of buildable upland area. The presence of the wetland restricts building placement, parking layout, internal circulation, and the ability to subdivide the property into multiple compliant parcels.

As a result, there are limited feasible development options that avoid wetland disturbance. The proposed site plan represents the most reasonable development pattern that preserves regulated natural features while allowing residential use consistent with the Form-Based Code. The requested PUD amendment provides the flexibility necessary to accommodate development while minimizing environmental impacts.

Parking

Off-street parking requirements for residential uses are governed by Section 2008.00 – Off-Street Parking Standards of the City of Muskegon Form-Based Code. Under these standards, the maximum off-street parking requirement is one (1) parking space per dwelling unit.

The proposed development includes forty-eight (48) dwelling units. While a maximum of forty-eight (48) off-street parking spaces would be required under Section 2008.00, the applicant proposes Sixty (60) off-street parking spaces, along with fifteen (15) on-street parking spaces, for a total of Seventy five (75) parking spaces serving the development.

In accordance with Section 2007.05 – Public Realm Type Overview, Viridian Drive is classified as a Transitional Street, which supports on-street parallel parking. The proposed on-street parking is consistent with this street classification and is intended to supplement off-street parking in a manner that supports the function of the public realm.

The proposed parking supply is intended to adequately accommodate anticipated residential demand while maintaining safe and functional site circulation. Parking areas are distributed to serve each building and are located to avoid impacts to regulated wetlands. Therefore, the

applicant requests approval of a PUD amendment to allow the proposed parking placement and configuration.

Multiple Buildings on a Single Lot

Section 2006.13.5 of the Form-Based Code limits development of Large Multi-plex buildings to one principal building per lot. The proposed development includes four (4) principal buildings on a single parcel.

Subdivision of the property into multiple lots is not feasible due to the centrally located wetland, which prevents the creation of independent, compliant parcels with adequate access, utilities, and buildable area. Maintaining a single parcel allows development to occur only within the limited upland portions of the site and avoids unnecessary wetland disturbance, while still providing a cohesive and orderly residential development consistent with the Form-Based Code.

Therefore, the applicant requests approval of a PUD amendment to allow multiple principal buildings on a single parcel.

Front Yard Parking Setback

Parking placement is regulated under Section 2005.07, Section 5.0 – Parking Placement, which restricts parking within the front yard to a minimum of forty (40) feet from the front property line. Due to the wetland constraints on the site, strict compliance with the forty (40)-foot front yard parking setback is not practicable. The wetland significantly limits alternative parking locations and constrains site design. The proposed parking placement represents the most reasonable and minimal departure necessary to accommodate required parking while maintaining functional access, internal circulation, and preservation of regulated natural features.

The intent of the front yard setback standard—to promote orderly development and maintain visual quality along the public realm—is preserved to the greatest extent feasible given the site’s environmental constraints. Therefore, the applicant requests approval of a PUD amendment to allow a reduced front yard parking setback.

Adjacent GVSU Parking Encroachment and Relocation

The subject property is adjacent to a Grand Valley State University (GVSU) building. An existing GVSU parking lot currently encroaches onto the subject parcel.

As shown on the submitted site plans, the encroaching parking will be removed and relocated entirely outside of the subject property. This relocation will be completed by others and is not part of the proposed construction. Removal of the encroachment will restore full use of the site in accordance with the proposed development plan.

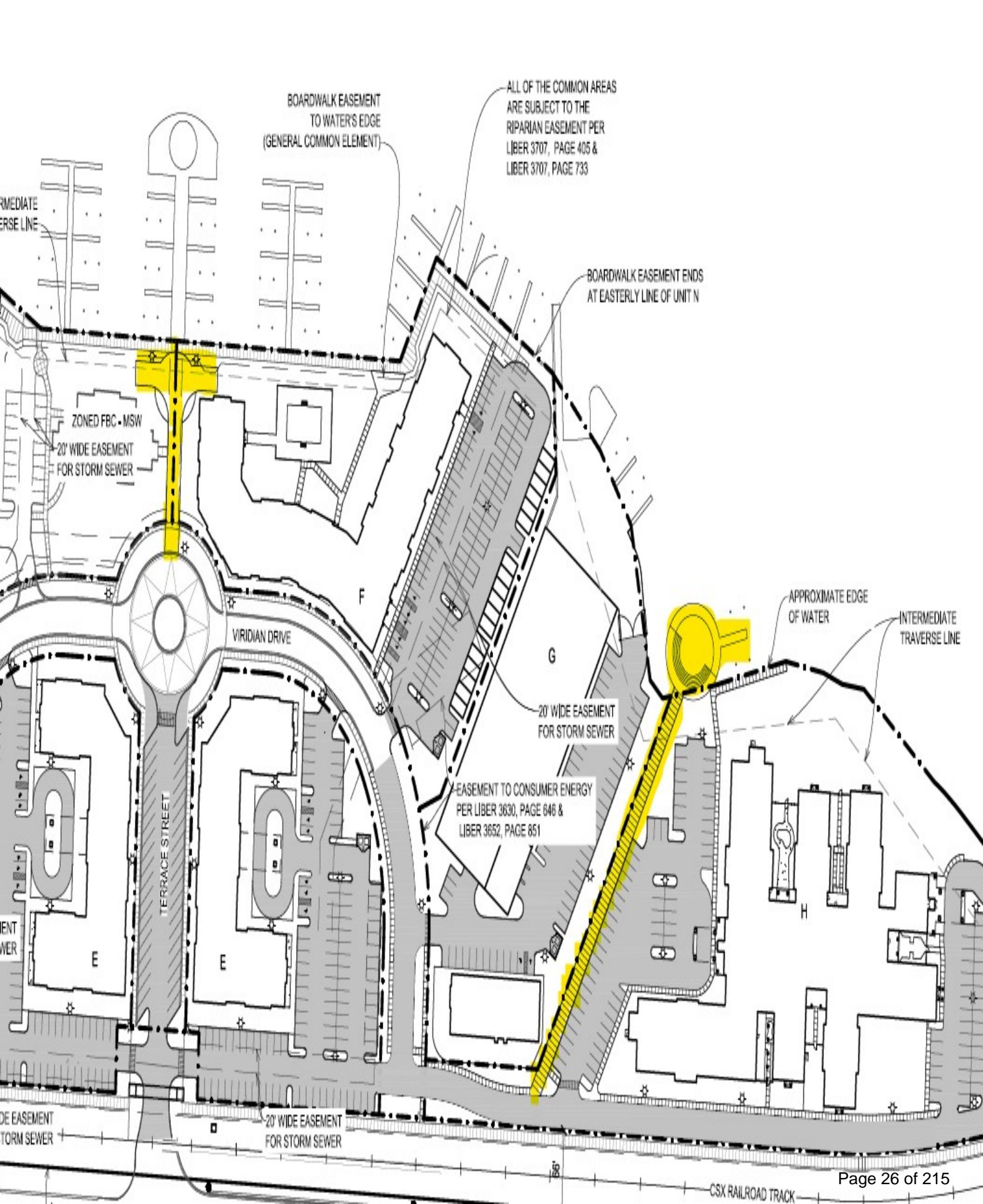
Stormwater Management

Stormwater management for the subject property will be provided in accordance with the approved Harbor 31 Overall Stormwater Management Plan. Final stormwater design will be completed in coordination with the City of Muskegon Public Works and Engineering Department during the site plan and construction document stages to confirm system capacity, connection points, and any necessary localized improvements. This coordinated approach ensures compliance with City standards while maintaining consistency with the approved Harbor 31 PUD stormwater framework.

Conclusion

The proposed PUD amendment meets the City of Muskegon PUD criteria by:

- Providing flexibility where strict ordinance compliance is impractical due to natural features;
- Preserving and avoiding impacts to regulated wetlands;
- Promoting efficient, functional, and orderly site design;
- Remaining compatible with surrounding institutional and mixed-use development; and
- Advancing the general intent and purpose of the zoning ordinance and the City's long-term planning goals.
- For these reasons, the applicant respectfully requests approval of the proposed PUD amendment.



BOARDWALK EASEMENT
TO WATER'S EDGE
(GENERAL COMMON ELEMENT)

ALL OF THE COMMON AREAS
ARE SUBJECT TO THE
RIPARIAN EASEMENT PER
LIBER 3707, PAGE 405 &
LIBER 3707, PAGE 733

BOARDWALK EASEMENT ENDS
AT EASTERLY LINE OF UNIT N

ZONED FBC-MSW
20' WIDE EASEMENT
FOR STORM SEWER

VIRIDIAN DRIVE

TERRACE STREET

20' WIDE EASEMENT
FOR STORM SEWER

EASEMENT TO CONSUMER ENERGY
PER LIBER 3630, PAGE 646 &
LIBER 3652, PAGE 651

APPROXIMATE EDGE
OF WATER

INTERMEDIATE
TRAVERSE LINE

20' WIDE EASEMENT
FOR STORM SEWER

20' WIDE EASEMENT
FOR STORM SEWER

CSX RAILROAD TRACK







Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: April 16, 2026	Title: Case 2026-11: Staff-initiated request to amend Section XX of the zoning ordinance to change the required front setbacks for waterfront properties in the Lakeside Mixed Residential context area.							
Submitted by: Mike Franzak, Planning Director	Department: Planning							
Brief Summary: Staff-initiated request to amend Section XX of the zoning ordinance to change the required front setbacks for waterfront properties in the Lakeside Mixed Residential context area.								
Detailed Summary & Background: <p>The Lakeside Mixed Residential context area has a front build-to-zone of 5-12 feet. The Form-Based Code allows waterfront properties to consider either the street side or the waterfront side as the front of the property. This means that a building may be required to be placed anywhere from 5 to 12 feet from the property line facing the water. Since all of the property may not be above the ordinary high watermark, and also since water levels fluctuate, it would not be possible to place a building this close to the water in many situations.</p> <p>Staff is proposing to amend the ordinance to require waterfront properties to only build above the ordinary high watermark and not to have a traditional setback from the waterfront property line. Please see the attached "proposed amendment."</p> <p>The Lakeside Mixed Residential context area allows detached houses, duplexes, rowhouses, small multiplexes, and cottage retail buildings.</p>								
Goal/Focus Area/Action Item Addressed: <u>Key Focus Areas:</u> <u>Goal/Action Item:</u> 2027 Goal 2: Economic Development Housing and Business								
Amount Requested: N/A	Budgeted Item: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">No</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">N/A</td> <td style="width: 15%;"><input checked="" type="checkbox"/></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> </table>	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
Fund(s) or Account(s): N/A	Budget Amendment Needed: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">No</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">N/A</td> <td style="width: 15%;"><input checked="" type="checkbox"/></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> </table>	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

Recommended Motion:

I move the request to amend Section XX of the zoning ordinance to change the required front setbacks for waterfront properties in the Lakeside Mixed Residential context area be recommended to the City Commission for approval.

Approvals:

Immediate Division Head	X	
Information Technology		
Other Division Heads		
Communication		
Legal Review		

Guest(s) Invited / Presenting:

No

Forecourt Frontage: A frontage option where the facade of the building that faces the front street is at or near the right-of-way line and a small percentage of the facade is set back, creating a small courtyard space. The courtyard area is not covered. Forecourts used in conjunction with Mixed-Use Building Types shall have a storefront where the forecourt and courtyard space shall be used as an additional shopping space or restaurant seating area.

Form Based Code Area: The area on the City of Muskegon Zoning Map (located in Article III, Section 300 of the City Zoning Ordinance) that is designated as a Form Based Code District. Lots or parcels located in the Form Based Code Area are regulated by the Muskegon Form Based Code.

Front Street: The property lines of a parcel that are along the street of address for the parcel or building. Refer also to side street. The waterfront is considered an additional front street in instances where buildings face the waterfront and a street of address.

Frontage Type: The privately owned area between the frontage line and the building facade. Private frontages are applied to Building Types to ensure that the building adequately engages the street, sidewalk and public realm. Private frontages are specific to Building Types and are defined in subsections for each specific Building Type in Section 2006. Each Building Type has many options for frontage types and therefore the specific project requirements will determine what frontage may be used. Selection of frontages are at the discretion of the land owner or development team.

Ground Cover: Grass, vegetative cover, or other living landscape.

Ground Sign: A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

H

DEFINITIONS "H"

Height, Building: The number of stories permitted by the Context Area (Section 2005), with the actual measurement of individual story height determined according to specific Building Types in Section 2006. Measurement of story height is the distance between the floor and ceiling of that story.

Horizontal Expression Band: An architectural element on buildings that acts as an upper termination for the storefront frontage. Horizontal Expression Lines extend the entire width of the building facade above a storefront and may contain signs. Synonymous with Sign Band.

I

DEFINITIONS "I"

Illuminated Sign: A sign that is illuminated by an internal or external light fixture.

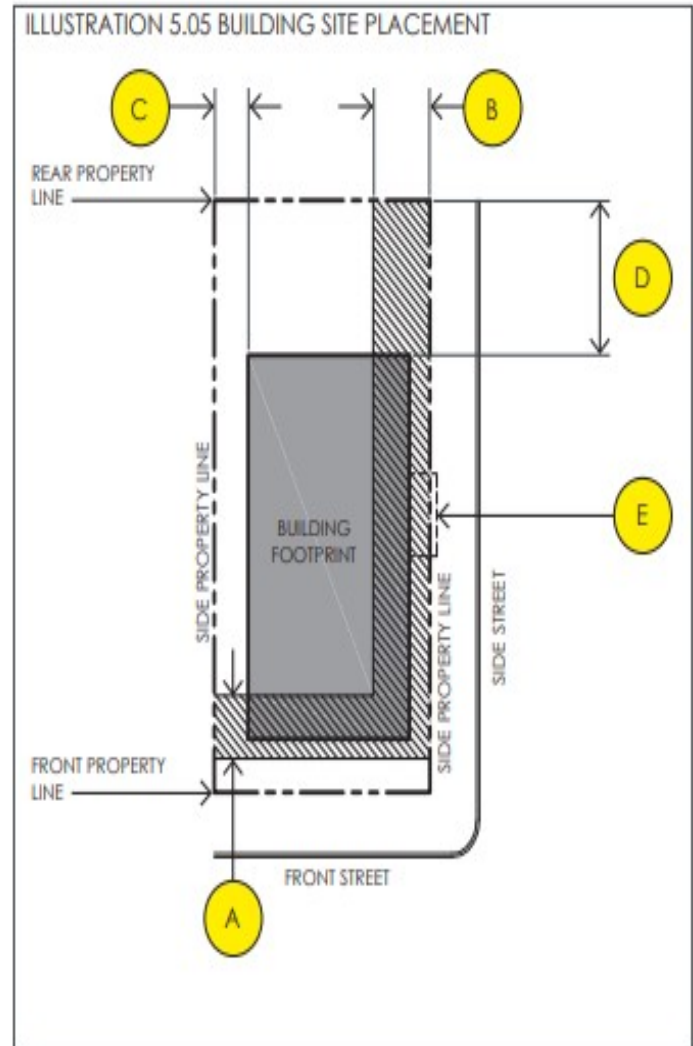
Internally Illuminated Sign: A sign that is illuminated by an internal light fixture.

2005.07 LAKESIDE MIXED RESIDENTIAL (LMR) CONTEXT AREA

4.0 BUILDING SITE PLACEMENT

Refer to Illustration 5.05 for building site placement.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 5 to 12 feet from front property line.
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 0 to 12 feet from side property line.
- C. Side Setback (at non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line.
- E. Encroachments: Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way as indicated in Section 2003.02.



2005.07 LAKESIDE MIXED RESIDENTIAL (LMR) CONTEXT AREA

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

BUILDING TYPE WITH FRONTAGE OPTION		LAKESIDE MIXED RESIDENTIAL (LMR) CONTEXT AREA		
		PERMITTED IN CONTEXT AREA	BUILDING HEIGHT	BUILDING LOT SIZE
MIXED-USE BUILDING TYPE	with STOREFRONT			
	with BALCONY			
	with TERRACE			
	with FORECOURT			
	with DRIVE-THROUGH			
RETAIL BUILDING TYPE	with STOREFRONT			
	with TERRACE			
	with DRIVE-THROUGH			
FLEX BUILDING TYPE	with STOREFRONT			
	with TERRACE			
	with FORECOURT			
	with DOORYARD			
COTTAGE RETAIL BUILDING	with STOREFRONT	By Right	3 story cond.* / 1 story min.	Lot Width: 25' min. / 80' max. Lot Depth: 80' min.
	with DOORYARD	By Right	3 story cond.* / 1 story min.	Lot Width: 25' min. / 80' max. Lot Depth: 80' min.
	with STOOP	By Right	3 story cond.* / 1 story min.	Lot Width: 25' min. / 80' max. Lot Depth: 80' min.
LIVE / WORK BUILDING TYPE	with STOREFRONT			
	with DOORYARD			
	with LIGHTWELL			
	with STOOP			
LARGE MULTI-PLEX BUILDING TYPE	with FORECOURT			
	with DOORYARD			
	with STOOP			
	with PROJECTING PORCH			
SMALL MULTI-PLEX BUILDING TYPE	with STOOP	By Right	3 story max. / 2 story min.	Lot Width: 50' min. / 80' max. Lot Depth: 100' min.
	with PROJECTING PORCH	By Right	3 story max. / 2 story min.	Lot Width: 50' min. / 80' max. Lot Depth: 100' min.
	with ENGAGED PORCH	By Right	3 story max. / 2 story min.	Lot Width: 50' min. / 80' max. Lot Depth: 100' min.
ROWHOUSE BUILDING TYPE	with LIGHTWELL			
	with STOOP	By Right	2 story building required	Lot Width: 16' min. / 30' max. Lot Depth: 100' min.
	with PROJECTING PORCH	By Right	2 story building required	Lot Width: 16' min. / 30' max. Lot Depth: 100' min.
DUPLEX BUILDING TYPE	with STOOP	By Right	3 story cond.* / 2 story min.	Lot Width: 35' min. / 60' max. Lot Depth: 100' min.
	with PROJECTING PORCH	By Right	3 story cond.* / 2 story min.	Lot Width: 35' min. / 60' max. Lot Depth: 100' min.
	with ENGAGED PORCH	By Right	3 story cond.* / 2 story min.	Lot Width: 35' min. / 60' max. Lot Depth: 100' min.
DETACHED HOUSE BUILDING TYPE	with STOOP	By Right	3 story cond.* / 1 story min.	Lot Width: 25' min. / 60' max. Lot Depth: 100' min.
	with PROJECTING PORCH	By Right	3 story cond.* / 1 story min.	Lot Width: 25' min. / 60' max. Lot Depth: 100' min.
	with ENGAGED PORCH	By Right	3 story cond.* / 1 story min.	Lot Width: 25' min. / 60' max. Lot Depth: 100' min.
CARRIAGE HOUSE BUILDING TYPE		By Right	2 story max. / 1 story min.	Not Applicable - Carriage House Building Type must be used as an accessory building to another building type (refer to Section 2006)
CIVIC BUILDING TYPE		By Right	2 story max. / 1 story min.	Lot Width: 25' min. / 150' max. Lot Depth: 100' min.

Shaded areas represent Building Types and / or frontages that are not permitted in specified Context Area.

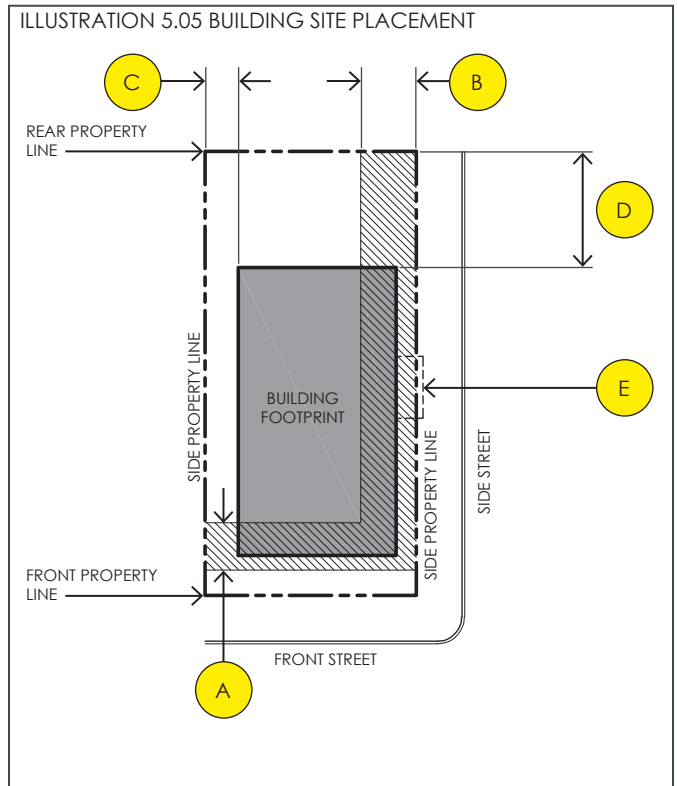
* Building height labeled Conditional is permitted if fronting Lakeshore Drive.

2005.07 LAKESIDE MIXED RESIDENTIAL (LMR) CONTEXT AREA

4.0 BUILDING SITE PLACEMENT

Refer to Illustration 5.05 for building site placement.

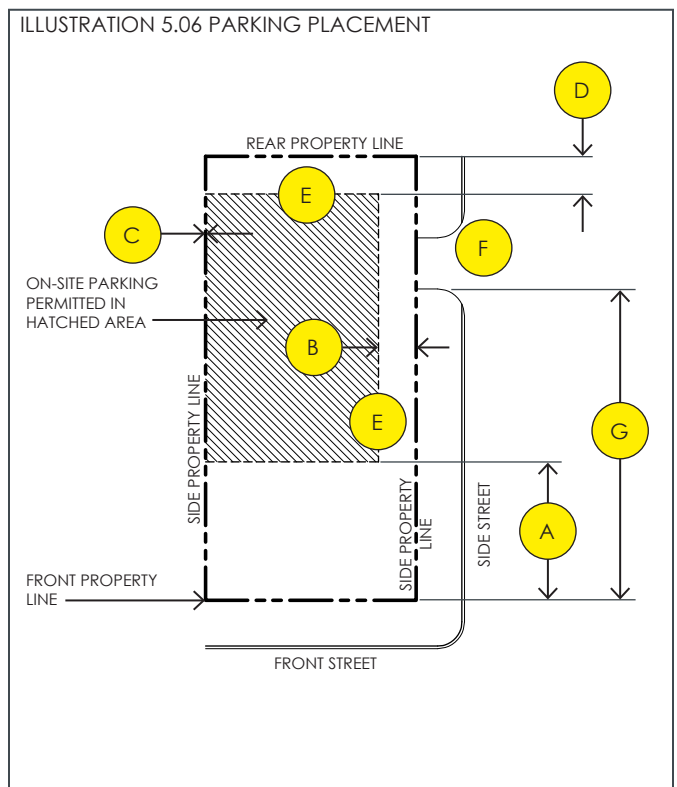
- A. Front Build-to-Zone (at front street):
- Required build-to-zone from 5 to 12 feet from front property line.
 - For waterfront properties, buildings using the waterfront as the front street shall only be located above the ordinary high water mark. In this case, the building may extend to, but not beyond, the build-to-zone at the street.
- B. Side Build-to-Zone (at side street):
- Required build-to-zone from 0 to 12 feet from side property line.
- C. Side Setback (at non-street locations):
- 0 feet from side property line.
- D. Rear Setback:
- 0 feet from rear property line.
- E. Encroachments: Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way as indicated in Section 2003.02.



5.0 PARKING PLACEMENT

Refer to Illustration 5.06 for on-site parking placement.

- A. Front Setback:
- 40 feet minimum from front property line.
- B. Side Setback (from side street):
- 5 feet minimum from side property line.
- C. Side Setback (from non-street locations):
- 0 feet from side property line.
- D. Rear Setback:
- 0 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking / service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
- Corner lot: 40 feet minimum from street corner.
 - Interior lot: within 5 feet of side property line, when alley is not available.





Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: April 16, 2026	Title: Case 2026-12: Staff-initiated request to amend Section XX of the zoning ordinance to remove/edit several areas of the form-based code.
Submitted by: Mike Franzak, Planning Director	Department: Planning
Brief Summary: Staff-initiated request to amend Section XX of the zoning ordinance to remove/edit several areas of the form-based code.	
Detailed Summary & Background: Staff is proposing several amendments to the Form-Based Code (FBC). The reasoning behind these amendments is as follows: <ul style="list-style-type: none"> ○ The FBC has been used for over 10 years now, staff have noticed some regulations that need to be removed or revised. ○ Rezoning have brought about multiple expansions across eight neighborhoods (Nelson, Lakeside, Nims, Jackson Hill, Campbell Field, Northeast, Angell, McLaughlin). ○ Creation of new Context Areas specific to the Lakeside Business District and adjacent residential areas in May 2019. Modeled after, but never fully integrated into the original FBC document. ○ Continued rezonings/expansion anticipated to implement the goals of the Master Land Use Plan. ○ Eliminate redundancies to improve readability for users and generally make the document more accessible. ○ Simplify regulations to ensure that the code regulates the things that it should be, and not the things it shouldn't be. ○ Opportunity to address document formatting as the Zoning Ordinance transitions to the Municode platform. <p>In general, the proposed updates include:</p> <ul style="list-style-type: none"> ○ Updated wording to be more specific, clear, or concise, where necessary. ○ Eliminated redundant language and references to Zoning Ordinance sections with overlapping regulations. ○ Corrected Zoning Ordinance section references throughout. ○ Removed unhelpful regulations that have minor effect on intended results. ○ Removed "suggested" regulations, some of which will be used to draft actual regulations. <p>Jamie Pesch from the Planning Department will be giving a presentation on the proposed</p>	

amendments at the meeting. Please see the attached "FBC Amendments" and "Amendment Overview" documents.

Goal/Focus Area/Action Item Addressed:

Key Focus Areas:

Goal/Action Item:

2027 Goal 1: Destination Community & Quality of Life

Amount Requested:

N/A

Budgeted Item:

Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Fund(s) or Account(s):

N/A

Budget Amendment Needed:

Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Recommended Motion:

I move the request to amend Section XX of the zoning ordinance to edit several areas of the form-based code be recommended to the City Commission for approval as presented.

Approvals:

Immediate Division Head	<input checked="" type="checkbox"/>	
Information Technology	<input type="checkbox"/>	
Other Division Heads	<input type="checkbox"/>	
Communication	<input type="checkbox"/>	
Legal Review	<input type="checkbox"/>	

Guest(s) Invited / Presenting:

No

The following offers a summary of the proposed amendments to the Form Based Code:

- Introduction (remove pages i.1-i.12)
- Remove unneeded or intentionally blank pages (front cover, page after Table of Contents, i.12, 1.2, 2.4, 4.2, 5.12, 5.18, 5.30, 5.36, 5.42, 6.22, 6.32, 6.44, 6.54, 6.66, 6.78, 6.88, 6.98, 6.108, 6.118, 6.122, 7.18, 8.4, 10.10, page after 10.10, back cover, and four such pages in the Lakeside FBC document; increasingly a digital document rather than a print document)
- Section 2001 Title, Purpose, and Scope:
 - o 2001.01 through 2001.02 (change “redevelopment” and “new development” to “development” to broaden scope based on definition in Zoning Ordinance)
- Section 2002 Applicability and Procedures:
 - o 2002.00 (change “new development” to “development” to broaden scope)
- Section 2003 General Provisions:
 - o 2003.06 Accessory Buildings and Structures (align with Section 2311, of the Zoning Ordinance).
 - o 2003.08 Nonconformities (remove C, 1 Nonconforming Sign Removal Incentive)
 - o 2003.09 Lighting (align with Section 2333, 20 of the Zoning Ordinance)
 - o 2003.11 Fencing (align with Section 2333, 12-19 of the Zoning Ordinance)
 - o 2003.12 Trash Enclosures (merge B and C for clarity)
- Section 2004 Subdivision and Access Standards:
 - o 2004.01 Lot Requirements (minor changes to text to align with other Sections)
 - o 2004.02 Block Requirements (reduce minimum block length from 500 to 200 feet and maximum from 1,250 to 800)
 - o 2004.04 Driveway Requirements (change approver for shared driveway access agreements from City Attorney to Zoning Administrator)
 - o 2004.06 Sidewalks (remove reference to Public Realm Standards)
- Section 2005 Context Areas and Use:
 - o 2005.01 (remove reference to Context Area Map)
 - o 2005.02 Context Area Map (replaced with official City of Muskegon Zoning Map; remove all references to active ground floor use requirement – the DT context area only allows mixed uses and it is impossible to predict the viability of commercial use in various areas)
 - o 2005.03 Context Areas Overview (remove due to redundancy with following pages)
 - o 2005.04 Summary of Building Types in Each Context Area (update table to include Lakeside FBC Context Areas)
 - o 2005.05 through 2005.14 Context Areas (the following are changes repeated in all 10 Context Areas unless otherwise specified):
 - 1.0 Context Area Intent and Description (minor changes to text)
 - 2.0 Context Area Location (replace map with City of Muskegon Zoning Map)
 - Table 3.0 (update to change from 100 foot minimum lot depth to 3,000 square foot minimum lot area in FBC-NE and FBC-UR)
 - 4.0 Building Site Placement (eliminate redundant language in E to be more concise)
 - 5.0 Parking Placement (add language to G for clarity and update incorrect illustration labels)

- Update page, section, and illustration numbers for newly incorporated Lakeside Context Areas
- Section 2006 Building Type Standards:
 - 2006.02 Building Types by Context Area (eliminate reference to 2006.06)
 - 2006.04 How to Use This Section (remove pages 6.2-6.4)
 - 2006.05 Standards for All Building Types (make language in I consistent)
 - 2006.06 Building Type Overview (remove due to redundancy with following pages)
 - Table 2006.07 (remove duplicate of Table 2005.04)
 - 2006.08 through 2006.19 Building Types:
 - 3.0 Building Size and Massing:
 - (For Building Types that permit Carriage Houses, allow for an attached garage and a Carriage House)
 - (Replace 48 foot maximum building depth with 20 foot minimum in lieu of secondary wings for Small Multi-Plex)
 - (Reduce Carriage House separation from main building from 10 feet to 6 feet and eliminate option to connect to main building with an uninhabitable space)
 - 4.0 Ground Floor Activation and Pedestrian Access (add language to Small Multi-Plex for Carriage House)
 - 5.0 Number of Units (add language to Small Multi-Plex for Carriage House)
 - 7.0 Facade Composition Requirements:
 - (Remove Pilaster requirement where applicable)
 - (Remove Transparency Street/Sidewalk Level reference)
 - (Relocate Transparency Upper Stories to Frontage Options section)
 - (Remove clear glass requirement for windows on upper stories)
 - 8.0 Building Type Story Height (refine most height minimums to ranges for greater predictability)
 - 9.0 Building Type Frontage Options (update table to include Lakeside FBC Context Areas):
 - Location Requirements:
 - (Eliminate redundant encroachment language to be more concise)
 - Composition Requirements:
 - (Add stipulation that entry doors only need to be recessed when front setback is less than three feet)
 - (Remove Pilaster requirement and all references throughout)
 - (Relocate Transparency Upper Stories from Facade Composition Requirements)
 - (Remove requirement for Planning Commission review of outdoor seating areas at Storefront, Forecourt, and Dooryard Frontage Types)
 - (Make overhead doors regulation more concise and remove repeated reference image)
 - (Update illustration labels and incorrect illustration numbers)

- Updates for specific Frontage Types:
 - Terrace Frontage (allow on side streets and on more than 50% of the buildings on one block face)
 - Forecourt (minor revision to description and institute maximum area of 1200 square feet; remove erroneous Flex Building Frontage Location Requirements letter B)
- Section 2007 Public Realm Type Standards and all references throughout (remove – these are recommendations, rather than requirements, for new subdivisions – to be replaced with Street Design Standards)
- Section 2008 Off-Street Parking Standards:
 - 2008.00 through 2008.15 (clarify wording as to the purpose of this section, and improve alignment with Zoning Ordinance)
 - 2008.04 Access Standards (clarify priority of driveway placement options)
 - 2008.07 Establishment of Use Classes (remove Parking Use Class list and instead incorporate information into Permitted Uses Tables for each Context Area in Section 2005)
 - 2008.09 Shared Parking (remove obsolete section)
 - 2008.10 Parking Easements and Agreements (remove obsolete section)
 - 2008.11 Off-Street Parking Lot Design/Driveways (reduce separation of parking areas from buildings)
 - 2008.12 Parking Structures (Remove references to active use on the ground floor and reiterate the requirement for a Frontage Option)
- Section 2009 Sign Standards:
 - 2009.02 Sign Requirements (remove due to redundancy with following pages)
 - 2009.06 Sign Type Overview (remove due to redundancy with following pages)
 - 2009.07 through 2009.12 Sign Types (update to incorporate Lakeside FBC Context Areas)
 - Tables 2009.13 and 2009.14 (update to incorporate Lakeside FBC Context Areas)
- Section 2010 Form Based Code Definitions:
 - 2010.00 Applicability (eliminate duplicate definitions, unreferenced definitions, and definitions related to Section 2007 Public Realm Standards)

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SECTION 2001 TITLE, PURPOSE, AND SCOPE

SECTION 2001 TITLE, PURPOSE, AND SCOPE

2001.00 TITLE

The following document shall be known as the City of Muskegon Form Based Code.

2001.01 PURPOSE

The City of Muskegon Form Based Code is intended to support redevelopment within downtown Muskegon, including key waterfront areas and commercial districts through the establishment of building types, frontage types and street guidelines by creating a compact, transit-oriented development pattern that fosters walkable corridors, mixed uses, and a diversity of residential development. The City of Muskegon Form Based Code reflects the desires and outcomes of the 2003 Imagine Muskegon Plan, the 2008 Downtown and Lakeshore Redevelopment Plan, and the 2014 City of Muskegon Parking Strategy.

Redevelopment within the project area shall adhere to the provisions and standards established in this form based code in order to realize the vision set forth in the 2008 Downtown and Lakeshore Redevelopment Plan which was subsequently adopted as part of the city's Master Plan.

The City of Muskegon Form Based Code is a legal document regulating building types, frontage types and thoroughfare types wherever its Context Areas are applied. It shall do so in conjunction with the municipal City of Muskegon Zoning Ordinance for areas zoned Form Based Code (FBC) on the Zoning Map, by regulating land development to ensure a compact, urban form.

2001.02 SCOPE

The City of Muskegon Form Based Code is a mandatory code that applies to all new development and redevelopment within the boundaries of the Zoning Map or other locations within the municipality where the applicable Context Areas have been applied as outlined in 2002.00, Applicability. The boundaries generally include all lands that abut Muskegon Lake to the west, Spring Street to the north, Shoreline Drive to the south, and Muskegon Avenue to the east, as well as the 3rd Street Business District.

Within the City of Muskegon Zoning Ordinance, properties zoned and thus regulated by the City of Muskegon Form Based Code are within the Form Based Code (FBC) district. This district directs property owners and applicants to this Code for development standards. Wherever there is a conflict between the City of Muskegon Form Based Code and other sections of the City's of Muskegon Zoning Ordinance (as applied to particular development within the FBC district), the requirements specifically set forth in the Form Based Code shall prevail.

For development standards not covered by the City of Muskegon Form Based Code, the other applicable sections in the municipal City of Muskegon Zoning Ordinance shall apply. All development shall also comply with all other local, state or federal regulations and ordinances.

Throughout this Form Based Code, photographs are used for illustrative purposes only.

SECTION 2002 APPLICABILITY AND PROCEDURES

SECTION 2002 APPLICABILITY AND PROCEDURES

2002.00 APPLICABILITY

The City of Muskegon Form Based Code shall apply to development within the boundaries of the Form Based Code District depicted on the City of Muskegon official Zoning Map. Development shall include the following:

- A. ~~New~~Development.
- B. Modifications to existing buildings:
 - 1. Building Footprint. Increasing or decreasing a building footprint by twenty-five percent (25%) or greater in area or when the cost of the addition is greater than or equal to fifty percent (50%) of the current assessed value of the building or structure. Phased construction to avoid compliance with this standard or breaking up construction such that the thresholds are avoided shall be prohibited.
 - 2. Building Facade.
 - i. Increasing or decreasing the building facade transparency by more than fifty percent (50%). Phased construction to avoid compliance with this standard or breaking up construction such that the 50% threshold is avoided shall be prohibited.
 - ii. Building facades over 50 years are exempt from the City of Muskegon Form Based Code, except existing window and door openings shall remain, in addition to existing building materials, unless the Planning Commission deems the frontage as not having historic value.
 - iii. For properties listed in the State or National Register of Historic Places or are located within a Local Historic District, the Secretary of Interior Standards for Rehabilitation shall supersede this Form Based Code.
- C. Any change in land use impacting parking requirements.
- D. The Planning Commission may, at the request of the applicant, waive the applicability of this Code upon a finding that adhering to the Code would place undue hardship on the applicant. Should the Planning Commission waive the applicability of the Form Based Code, the underlying district provisions shall apply.

2002.01 SITE PLAN/PLOT PLAN PROCEDURES

- A. Full Site plan/plot plan. To expedite the development process, development within the City of Muskegon Form Based Code that complies with the provisions of this Code shall require full site plan or plot plan review and approval by the City's Zoning Administrator or Building Official.
 - 1. Section 2303 in the City of Muskegon Zoning Ordinance shall govern the type of submittal required, being either a full site plan or plot plan.
 - 2. Review and approval shall be conducted by the City's Building Official for single-family detached dwellings and modifications to comply with accessibility requirements.
 - 3. All other development activities outlined in Section 2303 shall require review and approval of the City's Zoning Administrator.
- B. Site Plan review procedures and requirements. Site plan submittal and review shall follow the processes set forth in Section 2303 of the City of Muskegon Zoning Ordinance. Site plan required data shall adhere to Section 2303 of the City of Muskegon Zoning Ordinance, unless waived or required by the City's Zoning Administrator ~~per Section 2303, 8.~~
- C. Planning Commission review. Full site plan review by the Planning Commission shall be required for any Special Land Use or Specific Development Plan. Review standards are included in Section ~~2303~~~~2330, 11~~ of the City of Muskegon Zoning Ordinance. Special Land Use standards specific to special uses regulated in this Form Based Code are included in Section 2005.

SECTION 2002 APPLICABILITY AND PROCEDURES

- D. Specific Development Plan. A Specific Development Plan is intended to allow applicants development flexibility to address market conditions and opportunities, including the master planning of large lots exceeding the maximum block dimensions as outlined in Section 2004, as well as the consolidation of multiple properties to create predictable and market responsive development for the area. Specific Development Plans shall be required for any Major Departure as outlined in this Section 2002.03 (~~form based code departures~~).
1. Specific Development Plan requirements. A Specific Development Plan shall include a full site plan and required data as outlined in Section ~~2303, 112330~~.
 2. Additional requirements include: A plan depicting the proposed Context Areas for the subject site(s) if major departures from the Context Area boundaries are requested.
 3. Public Hearing: The applicant and/or Planning Commission may request a public hearing for a Specific Development Plan. A public hearing, pursuant to the Michigan Zoning Enabling Act, shall be required for a major departure of Context Area boundary.
 4. Planning Commission action: The Planning Commission shall review and approve, with or without conditions, the full site plan upon the following findings:
 - i. The Context Areas provide a seamless transition from adjacent, existing districts and uses to the proposed subject site(s).
 - ii. Internal circulation and layout of lots fosters a walkable, urban area by adhering to the maximum block lengths as outlined in Section 2004.
 - iii. Roadways are interconnected and provide safe areas for walking and biking.

2002.02 SPECIAL LAND USES

- A. Special Land Uses. As per Section 2005 of the City of Muskegon Form Based Code, certain uses require special land use review and approval by the Planning Commission. The special land use review and approval process shall adhere to Section 2332 of the City of Muskegon Zoning Ordinance. Specific standards for special land uses are determined by Context Area and Use, refer to Section 2005.

2002.03 FORM BASED CODE DEPARTURES

- A. Minor Departures. The Zoning Administrator may, at the request of an applicant, waive certain minor adjustments to context area boundaries, building frontage standards and building type standards as outlined in Table 2002.03a.
- B. Major Departures. The Planning Commission may, at the request of the Zoning Administrator or applicant, waive certain major deviations to context area boundaries, building frontage standards and building type standards. Table 2002.03b provides a summary of major departures.
- C. Findings for Code Departures. The applicable reviewing body shall find that a departures to the Form Based Code:
 1. Does not materially change the circulation and building location on the site;
 2. Does not alter the relationship between the buildings and the street;
 3. Does not allow a use not otherwise permitted in this Form Based Code; and
 4. The departure is the minimum required necessary to meet the intent of the Form Based Code.

TABLE 2002.03a MINOR DEPARTURES

	Type	Modification	Findings
Context Area	Area or boundary of context area	No more than 15% increase or decrease in area	When possible, boundaries shall follow parcel lines

SECTION 2002 APPLICABILITY AND PROCEDURES

Building Frontage	Location requirement, including required building line	No more than 1' deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
Building Type	Size and massing Entrance intervals Story height	No more than 5% deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions

TABLE 2002.03b MAJOR DEPARTURES

	Type	Modification	Findings
Context Area	Area or boundary of context area	No more than 30% increase or decrease in area	When possible, boundaries shall follow parcel lines
Building Frontage	Location requirement, including required building line	More than 1' and less than 2' deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions
Building Type	Size and massing Entrance intervals Story height	No more than 10% deviation in standard	Constraints related to topography, pattern of existing adjacent facades, or lot dimensions

2002.04 ADOPTION AND EFFECTIVE DATE

A. City of Muskegon

1. **Adoption.** The City of Muskegon Form Based Code was adopted at a regular meeting of the Muskegon City Commission on May 26, 2015.
2. **Effective Date.** The City of Muskegon Form Based Code shall take effect and be in force on and after June 5, 2015 in the City of Muskegon.

SECTION 2003 GENERAL PROVISIONS

SECTION 2003 GENERAL PROVISIONS

2003.00 APPLICABILITY

Section 2003 identifies provisions that are general to all City of Muskegon Form Based Code Context Areas.

Each Context Area established in this code shall meet the requirements of Section 2003. If there is a conflict between this Section and the individual requirements of the Context Area or Building Size and Massing Standards, the requirements of the Context Areas or Building Size and Massing Standards shall govern.

2003.01 BONUSES AND INCENTIVES

- A. Purpose and Intent. The Planning Commission may grant development incentives to applicants to encourage the provision of certain community benefits or amenities that are in compliance with 2003.01.
- B. Incentives Restricted to Added Benefits. Incentives shall be granted only when the community benefits or amenities offered would not otherwise be required or are likely to result from the planning process.
- C. Incentives Permitted. The Planning Commission may grant the following incentives commensurate with the benefit provided:
 - 1. Downtown Context Area: Building height may be increased up to 2 additional stories.
 - 2. Building height increase bonuses shall require a site plan review and approval through the Planning Commission.
 - 3. The Planning Commission reserves the right to determine the extent of the increase in height, up to the maximum bonus allowed, based on the extent of the benefit provided.
- D. Civic Space Benefit. An increase in building height may be granted for the creation of dedicated Civic Space, including greenway connections either along 3rd Street and/or over Shoreline Drive connecting the downtown to the downtown waterfront context area. Civic Space shall meet one of the following requirements to be considered for an incentive:
 - 1. Civic Space shall be in the form of plazas, squares, greens, linear parks, green alleys, parklets or parks. Civic spaces do not include community gardens.
- E. Parking Structure Benefit. An increase in building height may be granted for projects that incorporate parking structures as part of the development. Parking structures shall meet the following requirements to be considered for an incentive:
 - 1. The parking structures shall meet the requirements of Section 2008 Parking Standards.
 - 2. The parking structures shall provide a minimum of fifty percent (50%) of its parking spaces as parking available to the public at market rate.
 - 3. The parking structures shall provide bicycle amenities including bike racks and/or bike lockers that are easily accessed from the public right-of-way.

2003.02 ENCROACHMENTS

- A. The following architectural elements may project into required setbacks, beyond required build-to-zones or into the public right-of-way as indicated below. For encroachments into the public right-of-way, an encroachment permit shall be obtained from the applicable City department(s).
 - 1. Balconies. A balcony with a minimum ground clearance of twelve (12) feet above adjacent grade may extend six (6) feet maximum from the exterior wall of the building.
 - 2. Awnings and Canopies. An awning or canopy with a minimum ground clearance of eight (8) feet above adjacent grade may extend five (5) feet maximum from the exterior wall of the building.
 - 3. Eaves. Building eaves with a minimum ground clearance of twelve (12) feet above adjacent grade may extend two (2) feet maximum from the exterior wall of the building.

SECTION 2003 GENERAL PROVISIONS

4. Cornice. Building cornices with a minimum ground clearance of twelve (12) feet above adjacent grade may extend up to a two (2) foot maximum from the exterior wall of the building.
 5. Bay Windows. Bay windows with a minimum ground clearance of twelve (12) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.
 6. Projecting Signs. Projecting signs with a minimum ground clearance of eight (8) feet above adjacent grade may extend three (3) feet maximum from the exterior wall of the building.
- B. Unenclosed porches, stoops, **lightwells**, and steps may project into required setbacks and beyond required build-to-zones as indicated below. Unenclosed porches, stoops, **lightwells** and steps shall not project into the public right-of-way.
1. Along principal frontage lines: Unenclosed porches, stoops, and **lightwells** (not including steps) may project into the front yard or front build-to-zone by no more than ten (10) feet, but shall be no closer than five (5) feet to the principal frontage line. Steps may completely encroach into the front yard or front build-to-zone but shall not extend beyond the principal frontage line.
 2. Along secondary frontage lines: Unenclosed porches, stoops, **lightwells**, and steps may project into the side yard or side build-to-zone provided that they are not closer than three (3) feet to the secondary frontage line.
 3. Along any side or rear non-frontage property line: Unenclosed porches, stoops, **lightwells**, and steps may project into the side or rear yard setback areas by no more than three (3) feet.
 4. Decorative walls and fences may project into setbacks or yards as allowed in Section ~~2331~~ **2333** Landscaping, Fencing, Walls, Screens and Lighting.

2003.03 HEIGHT MEASUREMENT OF BUILDINGS

- A. Building heights shall be measured in number of stories.
- B. Story height shall be measured from floor to ceiling for each floor of a building as indicated by specific building type.
- C. Attic and basements are not counted as stories.
- D. Penthouses that are required for elevators and stair enclosures for roof access are not counted as stories. Penthouses and stair enclosures shall not extend more than 12 feet from the adjacent roof surface.

2003.04 OUTDOOR SEATING

- A. Outdoor seating shall be permitted with the following building **envelope** types:
 1. Mixed-Use Building
 2. Retail Building
 3. Flex Building
 4. Cottage Retail Building
 5. Live/Work Building
 6. Civic Building
- B. All other standards of Section 2308, Outdoor **DiningSeating**, found in the City's of Muskegon Zoning Ordinance shall apply.

2003.05 TRANSPARENCY

- A. Facade Transparency requirements for building elevations facing principal and secondary frontage lines are indicated as a percentage of clear glass to solid wall in Section 2006 Building Type Standards. Transparency shall be subject to the following requirements:
 1. Clear Glass. Only clear or lightly tinted glass in windows, doors, and display windows shall be considered transparent.

SECTION 2003 GENERAL PROVISIONS

2. Calculation. The calculation of the percentage of transparency shall include only the glass within the windows, doors, and display windows.
3. Reflective Surfaces. The use of highly reflective surfaces, including reflective glass and mirrors is prohibited on the ground floor.
4. Security Shutters. Exterior steel barriers, hurricane curtains and other security devices are not permitted on the exterior of the building. If they are located in the interior of the building, they may not be visible from the sidewalk or public right-of-way during business hours.
5. Interior Display. Interior display shelves and merchandise are not permitted to block or obscure clear views into or out of the building at windows, doors or display windows that are included as part of the required transparency.
6. Stairwells. Where stairwells are introduced to the outer building wall of a building, the exterior of the stairwell and exit door shall be at least seventy (70) percent transparent.

2003.06 ACCESSORY BUILDINGS AND STRUCTURES

Accessory buildings and structures shall adhere to the [following regulations in Section 2311 Accessory Structures and Buildings.](#)

Accessory Buildings and Structures		
	Detached House	Other Building Types
Number	One Per Lot	No limit; however review and approval by Zoning Administrator is required
Size	Up to 600 square feet	No limit; however review and approval by Zoning Administrator is required
Height	One story, up to 14'	
Setbacks	Setbacks shall adhere to those of the applicable context area and shall be setback from front property line by 40' Shall be separated from main building by 10' Shall not be closer to property lines than the main building	
Composition	Any part of accessory building facing a front or side street shall adhere to the transparency requirements of the main building, per Building Type Standards, Section 2006.	
Exceptions	Accessory buildings shall not be permitted with detached house containing a carriage house on the same property.	Accessory buildings and structures are permitted in all context areas except the Downtown (DT).

2003.07 ROOF TOP SCREENING

All rooftop mechanical, communication, and similar devices shall be screened from view of adjacent properties and streets. Screening shall be so designed as to be an integral part of the building. The screening material shall match the building's material and color or be another material or color that is compatible with the building exterior.

SECTION 2003 GENERAL PROVISIONS

2003.08 NONCONFORMITIES

Any lawful use of any land or building existing on May 26, 2015 and located in a zoning district in which it would not be permitted as a new use under the regulations of the Muskegon Form Based Code is hereby declared a nonconforming use and not in violation of this Section, subject to the regulations of this Section.

- A. Nonconforming Uses of Buildings and Structures. Nonconforming uses of buildings and structures in the Form Based Code shall adhere to the provisions of Article XXII.
- B. Nonconforming Due to Building Size and Massing. For buildings and structures that do not conform to the building size and massing standards of this Form Based Code, but are otherwise conforming to use, certain relief is provided and such buildings and structures shall be deemed conforming. Alterations, repair, maintenance or other activities requiring building permit shall conform to the provisions of this Form Based Code when such actions meet the Applicability provisions contained in Section 2002.
- C. Nonconforming Signs. Nonconforming signs shall meet the provisions of Section 2334, [13 of the City of Muskegon Zoning Ordinance](#).

- 1. ~~Nonconforming Sign Removal Incentive. In an effort to encourage the eventual elimination of nonconforming signs, protect public health, safety, and welfare, as well as reduce visual clutter and improve the aesthetics of the area, the following incentive is established to encourage conformance with Section 2009. When a non-conforming sign is removed and replaced with a conforming sign per Section 2009 of the Form Based Code, the applicant shall be eligible for an increase in total sign area not to exceed twenty percent (20%) of the permitted sign area of the replacement sign.~~

2003.09 LIGHTING

A. ~~Exterior site lighting, other than flag and decorative lighting, shall be confined to the development site and conform to [Section 2333, 20 of the City of Muskegon Zoning Ordinance](#) the following:~~

~~Lamps and luminaries shall be shielded, hooded and/or louvered to provide a glare free area beyond the property line and beyond any public right-of-way, and the light source are not directly visible from beyond the boundary of the site.~~

~~The light from any illumination source shall be designed so that the light intensity or brightness at any property line shall not exceed one (1) foot candle.~~

~~Lighting fixtures shall have one hundred percent (100%) cut off above the horizontal plane at the lowest part of the point light source. The light rays may not be emitted by the installed fixture at angles above the horizontal plane. No light fixture shall be mounted higher than fifteen (15) feet above the average grade of the site.~~

~~There shall be no lighting of a blinking, flashing, or fluttering nature, including changes in light intensity, brightness or color. Beacon and search lights are not permitted.~~

~~No colored lights shall be used at any location or in any manner so as to be confused with or construed as traffic control devices.~~

2003.10 APPEALS

An appeal may be taken to the Zoning Board of Appeals by any person, firm or corporation, or by any officer, department, board, or bureau affected by a decision of the Zoning Administrator. Such appeal process shall follow the process and procedures of Article XXV of the City of Muskegon Zoning Ordinance.

SECTION 2003 GENERAL PROVISIONS

2003.11 FENCING

~~Fencing shall be permitted with approval of the Zoning Administrator.~~ Fencing shall adhere to Section ~~2331~~2333, 12-19 of the City of Muskegon Zoning Ordinance, and the following additional provisions:

- ~~A. Fencing shall be permitted in rear and side yards only, and located behind the front building wall.~~
- ~~B. Fencing shall be a maximum of three (3) feet in height along side property lines; and six (6) feet in height at rear property lines.~~
- ~~C. Chain link fencing shall be prohibited.~~

2003.12 TRASH ENCLOSURES

Open storage or refuse areas, including trash enclosures shall adhere to the following:

- A. Opaque Screen Wall. An opaque screen wall (vertical structured barrier to visibility at all times such as a fence or wall) is required around three (3) sides of the dumpster and trash bin area. Height shall not exceed six (6) feet.
- ~~B. Trash enclosures shall not be placed or face a front or side street.~~
- ~~C. B.~~ Trash enclosures shall be located behind the front building wall and be placed a minimum of twenty (20) feet from property lines along front or side streets.

SECTION 2004 SUBDIVISION AND ACCESS STANDARDS

SECTION 2004 SUBDIVISION AND ACCESS STANDARDS

2004.00 APPLICABILITY

The subdivision of lands within the Form Based Code district shall adhere to Chapter 78 of the City of Muskegon Code of Ordinances, except as provided herein. Note that where the Design and Layout Standards within Chapter 78 contradict the standards herein, the standards herein shall take precedence.

2004.01 LOT REQUIREMENTS

- A. Access. Blocks and Lots shall abut ~~a s~~Streets, Avenue, and/or Alleys, as ~~defined-described~~ in Section 2005, ~~Context Areas and Uses~~. Double frontage lots shall be permitted, provided that the applicant identify a principal frontage to orient building types. Buildings shall face streets, rights-of-ways, or civic spaces.
- ~~B.~~ Width and Depth. ~~No lot shall be created that is less than the minimum or more than the maximum permitted lot widths and depths defined in the applicable Context Areas. Lot width shall be as follows:~~
 - ~~1. Residential. Residential lots for detached house types shall be at least 40' in width. Live/work and/or rowhouse lots shall be at least 18' in width.~~
 - ~~2. Commercial. Commercial or mixed use lots within all Context Areas shall be at least 25' in width.~~
 - ~~3-B.~~ The maximum lot width to depth ratio shall be 1:4.
 - ~~4. Applicant is encouraged to verify site dimensional requirements for desired building type and applicable frontage standards prior to platting.~~

2004.02 BLOCK REQUIREMENTS

- A. Length. Blocks shall be not less than ~~500-200~~ feet nor more than ~~1,250~~800 feet.
- B. Width. Width shall be as necessary to meet site dimensional requirements for applicable building types. Applicants are encouraged to consider providing civic space in the form of plazas, pocket parks, or other public gathering areas dispersed in 1/4 mile increments and not less than 2,500 square feet in area.
- C. Block Frontage. Blocks shall be bounded by public right-of-way, civic space, public access easements, or the waterfront.
- D. Connectivity. New streets shall connect to existing streets wherever possible. Cul-de-sacs shall not be permitted.

2004.03 ACCESS REQUIREMENTS

- A. Alley access is encouraged within all Context Areas.
- B. Existing alleys are encouraged to be maintained.
- C. Cross access easements shall be provided when feasible as an access management strategy, especially within the Mainstreet Waterfront Context Area. Cross access ways shall be designed as rear alleys.
- D. Cross access agreements shall be legally binding and allow interconnected vehicular and pedestrian access in perpetuity.
- E. Rear alleys shall be contiguous along adjacent property lines, forming a travel way parallel to the primary thoroughfare.
- F. Similar building types shall face each other across a street ~~or avenue~~, while alleys may be used to transition between building types.

2004.04 DRIVEWAY REQUIREMENTS

- A. Commercial.
 - 1. For access management purposes, driveways shall be shared and connect to a rear alley when available.

SECTION 2004 SUBDIVISION AND ACCESS STANDARDS

2. A shared driveway access agreement shall be reviewed and approved by the [City Attorney-Zoning Administrator](#) prior to subdivision approval.

2004.05 PLATTING REQUIREMENTS

The subdivision of lands shall follow the review and approval process as provided in Chapter 78.

2004.06 SIDEWALKS

Sidewalks shall be provided [in accordance with the Street Space Standards for the applicable Context Area along both sides of any public street.](#)

SECTION 2005 CONTEXT AREAS AND USE

SECTION 2005 CONTEXT AREAS AND USE

2005.00 PURPOSE

Section 2005 identifies the Context Areas and Uses established for the City of Muskegon Form Based Code and provides the attributes that are allowed in each **Context** Area. These attributes include use, building types, and building height. These Context Areas ensure that proposed development is consistent with the desires and outcomes of the 2003 Imagine Muskegon Plan, the 2008 Downtown and Lakeshore Redevelopment Plan, and the 2015 City of Muskegon Parking Strategy.

Each of the Context Areas described in this Section represent a spectrum of development character and intensity, ranging from the most urban intense (Downtown) to the least urban intense (Residential). Each Context Area establishes character through its use of Building Types (Section 2006).

2005.01 APPLICABILITY

Each Context Area ~~established in the Context Area Map~~ shall meet the standards of this Section. Each Context Area includes permitted and special uses (if applicable), Building Types, and building height. ~~Key maps are provided to quickly discern the context area location within the City of Muskegon.~~

2005.02 ~~CONTEXT AREA MAP~~[RESERVED]

2005.03 ~~CONTEXT AREAS OVERVIEW~~[RESERVED]

~~Table diagrams and More Urban Less Urban arrow~~

~~DT-Downtown-Description~~

~~This Context Area is characterized by mixed use buildings set next to the sidewalk in order to create a street wall and promote commerce and shopping. These buildings contain street level retail uses with residential and office uses on the upper floors. This Context Area has a high level of transit service that can help offset the need for off-street parking and promote walkability.~~

~~The following are generally appropriate form elements in this Context Area:~~

- ~~A.—Attached buildings~~
- ~~B.—Medium to large building footprint~~
- ~~C.—Building at the Right-of-Way~~
- ~~D.—No side setbacks~~
- ~~E.—Storefront frontages~~

~~MS Mainstreet-Description~~

~~This Context Area is characterized by mixed use buildings set next to the sidewalk in order to create a street wall and promote commerce and shopping. These buildings contain primarily street level retail uses, however, residential and service uses may occur on the ground floor so that the area can mature over time. This Context Area has a high level of walkability and vibrancy at the street level.~~

~~The following are generally appropriate form elements in this Context Area:~~

- ~~A.—Attached buildings~~
- ~~B.—Medium to large building footprint~~
- ~~C.—Building at or near the Right-of-Way~~
- ~~D.—Small side setbacks~~

SECTION 2005 CONTEXT AREAS AND USE

- E. Varied frontages with an emphasis on commercial

MSW Mainstreet Waterfront Description

This Context Area is similar to the Mainstreet Context Area and is characterized by mixed-use buildings set next to the sidewalk in order to create a street wall and promote commerce and shopping. Buildings in this district are required to have setbacks on the upper floors so that lakeshore views are maintained.

The following are generally appropriate form elements in this Context Area:

- A. Attached buildings
- B. Medium to large building footprint
- C. Building at or near the Right-of-Way
- D. Small side setbacks
- E. Varied frontages with an emphasis on commercial

NC Neighborhood Core Description

This Context Area is characterized by a wide variety of building types that can accommodate retail, service, office, and residential uses. Buildings are typically close to the street and form nodes of activity at key intersections. This Context Area forms a transitional area between the more intense Context Areas of the Form Based Code area and the existing residential neighborhoods that are adjacent to downtown Muskegon.

The following are generally appropriate form elements in this Context Area:

- A. Primarily attached buildings
- B. Medium to large building footprint
- C. Varied front setbacks
- D. Small side setbacks
- E. Varied frontages

NE Neighborhood Edge Description

This Context Area is characterized by a wide range of residential building types that have a variety of setback conditions within a compact walkable block structure. Retail and office enterprises may occur in various locations within the block structure. This Context Area provides a variety of medium and small residential building types that transition between the existing neighborhoods.

The following are generally appropriate form elements in this Context Area:

- A. Attached and detached buildings
- B. Medium building footprints
- C. Varied front setbacks
- D. Medium to small side setbacks
- E. Varied frontages

UR Urban Residential Description

This Context Area is characterized by a wide variety of residential buildings types that have a range of setback conditions within a compact walkable block structure. Small retail enterprises may occur at strategic corner locations within live/work buildings. This Context Area is typically adjacent to single family residential districts.

The following are generally appropriate form elements in this Context Area:

SECTION 2005 CONTEXT AREAS AND USE

- A. Attached and detached residential buildings
- B. Medium to small building footprint
- C. Varied front setbacks
- D. Medium side setbacks
- E. Primarily stoops and porch frontages

2005.04 SUMMARY OF BUILDING TYPES PERMITTED IN EACH CONTEXT AREA

Commented [JP1]: Add updated table including Lakeside Context Areas.

SECTION 2005 CONTEXT AREAS AND USE
2005.05 DOWNTOWN (DT) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To reinforce and enhance the downtown city core and to enable it to evolve into a complete neighborhood that provides local and regional service, retail, entertainment, civic, and public uses, as well as a variety of urban housing choices.

Description: This Context Area is characterized by mixed-use buildings set next to the sidewalk in order to create a street wall and promote commerce and shopping. These buildings contain street level retail uses with residential and office uses on the upper floors. ~~This context area has a high level of transit service that can help offset the need for off-street parking and promote walkability.~~

The following are generally appropriate form elements in this Context Area:

- A. Attached buildings
- B. Medium to large building footprint
- C. Building at the Right-of-Way
- D. No side setbacks
- E. Storefront frontages

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.01](#) for building site placement.

- A. Front Build-to-Line (at front street):
 - 0 feet – required build-to-line (no setback is permitted in this Context Area, building facade shall be at front property line).
- B. Side Build-to-Line (at side street):
 - 0 feet – required build-to-line (no setback is permitted in this Context Area, building facade shall be at side property line).
- C. Side Setback (at non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.02](#) for on-site parking placement.

- A. Front Setback:
 - 40 feet minimum from front property line.
- B. Side Setback (from side street):
 - 5 feet minimum from side property line.

Commented [JP2]: Add photo and plan drawing.

Commented [JP3]: Delete map.

Commented [JP4]: Add table.

Commented [JP5]: Add illustration.

Commented [JP6]: Add illustration.

SECTION 2005 CONTEXT AREAS AND USE

- C. Side Setback (from non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner *(measured from the right-of-way)*.
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP7]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE
2005.06 MAINSTREET (MS) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To provide a focal point that serves the city's neighborhoods by accommodating retail, service, and residential uses in a compact, walkable urban form.

Description: This Context Area is characterized by mixed-use buildings set next to the sidewalk in order to create a street wall and promote commerce and shopping. These buildings contain primarily street level retail uses, however, residential and service uses may occur on the ground floor so that the area can mature over time. This Context Area has a high level of walkability and vibrancy at the street level.

The following are generally appropriate form elements in this Context Area:

- A. Attached buildings
- B. Medium to large building footprint
- C. Building at or near the Right-of-Way
- D. Small or no side setbacks
- E. Varied frontages with an emphasis on commercial

Commented [JP8]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

Commented [JP9]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP10]: Add table.

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.03](#) for building site placement.

Commented [JP11]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 0 to 15 feet from front property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at front property line (required build-to-line at front property line).
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 0 to 15 feet from side property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at side property line (required build-to-line at side property line).
- C. Side Setback (at non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.04](#) for on-site parking placement.

Commented [JP12]: Add illustration.

- A. Front Setback:
 - 40 feet minimum from front property line.
- B. Side Setback (from side street):

SECTION 2005 CONTEXT AREAS AND USE

- 5 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner (measured from the right-of-way).
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP13]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE

2005.07 MAINSTREET WATERFRONT (MSW) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To provide a waterfront focal point that serves the city's neighborhoods and the region by accommodating retail, service, and residential uses in a compact, walkable urban form.

Description: This Context Area is similar to the Mainstreet Context Area and is characterized by mixed-use buildings set next to the sidewalk in order to create a street wall and promote commerce and shopping. Buildings in this district are required to have setbacks on the upper floors so that lakeshore views are maintained.

The following are generally appropriate form elements in this Context Area:

- A. Attached buildings
- B. Medium to large building footprint
- C. Building at or near the Right-of-Way
- D. Small or no side setbacks
- E. Varied frontages with an emphasis on commercial

Commented [JP14]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

Commented [JP15]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP16]: Add table.

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.05](#) for building site placement.

Commented [JP17]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 0 to 15 feet from front property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at front property line (required build-to-line at front property line).
 - Front build-to-zone for Mainstreet Waterfront Context Area shall also be applied to any property lines or easements that face the waterfront.
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 0 to 15 feet from side property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at side property line (required build-to-line at side property line).
- C. Side Setback (at non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.06](#) for on-site parking placement.

Commented [JP18]: Add illustration.

- A. Front Setback:
 - 40 feet minimum from front property line.

SECTION 2005 CONTEXT AREAS AND USE

- B. Side Setback (from side street):
 - 5 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner *(measured from the right-of-way)*.
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP19]: Add updated table.

7.0 CONDITIONAL PERMITTING OF BUILDING TYPES

Refer to *Illustration 5.07* for upper story setbacks that are required for all buildings located in the Mainstreet Waterfront Context Area.

Commented [JP20]: Add illustration.

- A. Upper stories above the second floor and facing front and side streets are required to be setback from the front and side property line 12 feet minimum and 30 feet maximum.
- B. Upper stories above the second floor and facing the waterfront *(Waterfront Edge Public Realm in Section 2007)* are required to be setback from the waterfront edge 20 feet minimum and 30 feet maximum.
- C. Balconies that cantilever from the wall surface may encroach into the required setback area.

SECTION 2005 CONTEXT AREAS AND USE

2005.08 NEIGHBORHOOD CORE (NC) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To provide a variety of urban housing, retail, and commercial choices, in medium footprint, medium-density Building Types, which reinforce the neighborhood’s walkable nature and support neighborhood retail and service at key intersections.

Description: This Context Area is characterized by a wide variety of building types that can accommodate retail, service, office, and residential uses. Buildings are typically close to the street and form nodes of activity at key intersections. This Context Area forms a transitional area between the more intense Context Areas of the Form Based Code area and ~~the existing, adjacent~~ residential neighborhoods ~~that are adjacent to downtown Muskegon.~~

The following are generally appropriate form elements in this Context Area:

- A. Attached and detached buildings
- B. Medium building footprints
- C. Varied front setbacks
- D. Medium to small side setbacks
- E. Varied frontages

Commented [JP21]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

Commented [JP22]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP23]: Add table.

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.08](#) for building site placement.

Commented [JP24]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 0 to 20 feet from front property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at front property line (required build-to-line at front property line).
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 0 to 20 feet from side property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at side property line (required build-to-line at side property line).
- C. Side Setback (at non-street locations):
 - 3 feet from side property line.
- D. Rear Setback:
 - 10 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.09](#) for on-site parking placement.

Commented [JP25]: Add illustration.

- A. Front Setback:
 - 40 feet minimum from front property line.

SECTION 2005 CONTEXT AREAS AND USE

- B. Side Setback (from side street):
 - 5 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 5 feet from side property line.
- D. Rear Setback:
 - 5 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner *(measured from the right-of-way)*.
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP26]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE

2005.09 NEIGHBORHOOD EDGE (NE) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To provide an urban form that can accommodate a very diverse range of Building Types and uses, in order to reinforce the pattern of existing diverse walkable neighborhoods and to encourage revitalization and investment.

Description: This Context Area is characterized by a wide range of residential building types that have a variety of setback conditions within a compact walkable block structure. Retail and office enterprises may occur in various locations within the block structure. This Context Area provides a variety of medium and small residential building types that transition between the existing neighborhoods.

The following are generally appropriate form elements in this Context Area:

- A. Primarily attached buildings
- B. Medium to large building footprint
- C. Varied front setbacks
- D. Small side setbacks
- E. Varied frontages

Commented [JP27]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

Commented [JP28]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP29]: Add table.

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.10](#) for building site placement.

Commented [JP30]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 5 to 25 feet from front property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at front property line (required build-to-line at front property line).
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 10 to 25 feet from side property line.
 - Mixed-Use and Retail Building Types in this Context Area shall have facade placed at side property line (required build-to-line at side property line).
- C. Side Setback (at non-street locations):
 - 3 feet from side property line.
- D. Rear Setback:
 - 10 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.11](#) for on-site parking placement.

Commented [JP31]: Add updated illustration correcting H to G.

- A. Front Setback:
 - 40 feet minimum from front property line.

SECTION 2005 CONTEXT AREAS AND USE

- B. Side Setback (from side street):
 - 5 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 5 feet from side property line.
- D. Rear Setback:
 - 5 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner *(measured from the right-of-way)*.
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP32]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE

2005.10 URBAN RESIDENTIAL (UR) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To provide a variety of urban housing choices, in small to medium footprint, medium-density Building Types, which reinforce the neighborhood’s walkable nature and support small locally-owned neighborhood retail, service, and commercial activity.

Description: This Context Area is characterized by a wide variety of residential buildings types that have a range of setback conditions within a compact walkable block structure. Small retail enterprises may occur at strategic corner locations within live/work buildings. This Context Area is typically adjacent to ~~single family~~ residential districts.

The following are generally appropriate form elements in this Context Area:

- A. Attached and detached residential buildings
- B. Medium to small building footprint
- C. Varied front setbacks
- D. Medium side setbacks
- E. Primarily stoops and porch frontages

Commented [JP33]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

See City of Muskegon Zoning Map

Commented [JP34]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP35]: Add updated table including change from minimum lot depth to minimum lot area.

4.0 BUILDING SITE PLACEMENT

Refer to Illustration 5.12 for building site placement.

Commented [JP36]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 10 to 30 feet from front property line.
 - Live/Work Building Types in this Context Area shall have a required build-to-zone from 5 to 20 feet from front property line.
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 5 to 25 feet from side property line.
 - Live/Work Building Types in this Context Area shall have a required build-to-zone from 5 to 20 feet from side property line.
- C. Side Setback (at non-street locations):
 - 5 feet from side property line.
- D. Rear Setback:
 - 15 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to Illustration 5.13 for on-site parking placement.

Commented [JP37]: Add updated illustration correcting H to G.

- A. Front Setback:
 - 40 feet minimum from front property line.

SECTION 2005 CONTEXT AREAS AND USE

- B. Side Setback (from side street):
 - 10 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 1 foot from side property line.
- D. Rear Setback:
 - 5 feet from rear property line at non-street locations.
 - 10 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner (measured from the right-of-way).
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP38]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE

2005.1105 LAKESIDE COMMERCIAL (LC) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To reinforce and enhance the Lakeside Business District and strengthen its ability to thrive as a destination place for local consumers and tourists that provides service, retail, entertainment, civic and public uses, as well as a variety of housing choices in a walkable, urban form.

Description: This Context Area is characterized by mixed uses set along sidewalks to help promote walkability and commerce. The regulations have been created to continue the development pattern of the street wall on the south side of Lakeshore Drive, and the more detached, farther set back. development type on the north side of Lakeshore Drive. Maximum building heights have increased from prior regulations, allowing development with views of Muskegon Lake.

The following are generally appropriate form elements in this Context Area:

- A. Attached buildings on south side of Lakeshore Dr. Attached or detached buildings on north side of Lakeshore Dr.
- B. Building at the Right-of-Way south side of Lakeshore Dr. Small setback on the north side of Lakeshore Dr.
- C. Medium to large building footprint
- D. Storefront frontages

Commented [JP39]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

Commented [JP40]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP41]: Add table.

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.1401](#) for building site placement.

Commented [JP42]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 0 to 3 feet from front property line.
- B. Side Build-to-Line/Zone (at side street):
 - 0 feet – required build-to-line on the south side of Lakeshore Drive.
 - 0-10 feet – required build-to-zone on the north side of Lakeshore Drive.
- C. Side Setback (at non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.1502](#) for on-site parking placement.

Commented [JP43]: Add illustration.

- A. Front Setback:
 - 30 feet minimum from front property line on the south side of Lakeshore Drive.
 - Parking must be located behind front building line on the north side of Lakeshore Drive.
- B. Side Setback (from side street):

SECTION 2005 CONTEXT AREAS AND USE

- 5 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.
- E. Parking located at side, rear, or front street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas:
 - Parking/service areas shall not be accessed from Lakeshore Dr., unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
 - Additional requirement for North side of Lakeshore Dr.: Parking/service areas shall not be accessed from Lakeshore Dr., unless the property has over 100' of road frontage on Lakeshore Dr.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner (measured from the right-of-way).
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP44]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE

2005.1206 LAKESIDE HEAVY COMMERCIAL (LHC) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To continue the dense retail and mixed-use development pattern of the district, but to also allow for more intense uses, such as auto repair and research & development. To incorporate these more intense uses harmoniously within the walkable development pattern.

Description: This Context Area is similar to the Lakeside Commercial Context Area, but also allows for more intense uses, such as auto repair and research & development. Mixed-use and retail buildings are set adjacent to the sidewalk, however, garage type frontages are set back farther to allow for vehicle circulation and pedestrian safety.

The following are generally appropriate form elements in this Context Area:

- A. Attached or detached buildings on the south side of Lakeshore Dr.
- B. Buildings at or near the right-of-way
- C. Medium to large building footprint
- D. Storefront or garage door frontage option

Commented [JP45]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

Commented [JP46]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP47]: Add table.

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.1603](#) for building site placement.

Commented [JP48]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 0 to 3 feet from front property line.
- B. Side Build-to-Line/Zone (at side street):
 - Required build-to-zone from 0 to 3 feet from side property line.
- C. Side Setback (at non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line.
- E. Encroachments: **Balconies, awnings, canopies, eaves, cornices, and bay windows may project into required setbacks, beyond required build-to-zones, or into the public right-of-way** Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.1704](#) for on-site parking placement.

Commented [JP49]: Add illustration.

- A. Front Setback:
 - Parking must be located behind front building line. When garage door frontage option is used, parking may be located in front of front building line, though active uses are encouraged along the street.
- B. Side Setback (from side street):
 - 3 feet minimum from side property line.
- C. Side Setback (from non-street locations):

SECTION 2005 CONTEXT AREAS AND USE

- 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line at non-street locations.
 - 3 feet from rear property line at street locations.
- E. Parking located at side, rear, or front street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas:
 - Parking/service areas shall not be accessed from Lakeshore Dr., unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
 - Additional requirement for North side of Lakeshore Dr.: Parking/service areas shall not be accessed from Lakeshore Dr., unless the property has over 100' of road frontage on Lakeshore Dr.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner (measured from the right-of-way).
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP50]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE

2005.1307 LAKESIDE MIXED RESIDENTIAL (LMR) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To allow for the cohesive existence of residential and business uses within the district. This Context Area allows for residential and small scale commercial uses to be placed alongside each other in a walkable, urban form.

Description: This Context Area is characterized by the mixture of commercial and residential uses that helps to promote walkability and commerce. Homes fronting Lakeshore Drive are allowed a third story to take advantage of lake views.

The following are generally appropriate form elements in this Context Area:

- A. Detached homes/live-work buildings
- B. Small to medium building footprint
- C. Storefront frontages

Commented [JP51]: Add photo and plan drawing.

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

Commented [JP52]: Delete map.

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

Commented [JP53]: Add table.

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.1805](#) for building site placement.

Commented [JP54]: Add illustration.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 5 to 12 feet from front property line.
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 0 to 12 feet from side property line.
- C. Side Setback (at non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line.
- E. Encroachments: ~~Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way~~ Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.1906](#) for on-site parking placement.

Commented [JP55]: Add illustration.

- A. Front Setback:
 - 40 feet minimum from front property line.
- B. Side Setback (from side street):
 - 5 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 0 feet from side property line.
- D. Rear Setback:
 - 0 feet from rear property line at non-street locations.
 - 5 feet from rear property line at street locations.

SECTION 2005 CONTEXT AREAS AND USE

- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner *(measured from the right-of-way)*.
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP56]: Add updated table.

SECTION 2005 CONTEXT AREAS AND USE

2005.1408 LAKESIDE RESIDENTIAL (LR) CONTEXT AREA

1.0 CONTEXT AREA INTENT AND DESCRIPTION

Intent: To provide a variety of urban housing choices, in small to medium footprint, medium-density Building Types, which reinforce the neighborhood’s walkable nature.

Description: This Context Area is characterized by a wide variety of residential building types that have a range of setback conditions within a compact walkable block structure. This Context Area is typically adjacent to single family residential districts.

The following are generally appropriate form elements in this Context Area:

- A. Attached and detached residential buildings
- B. Medium to small building footprint
- C. Varied front setbacks
- D. Medium side setbacks
- E. Primarily stoops and porch frontages

2.0 CONTEXT AREA LOCATION

[See City of Muskegon Zoning Map](#)

3.0 PERMITTED BUILDING TYPES, BUILDING TYPE HEIGHTS, AND BUILDING TYPE LOT SIZES

4.0 BUILDING SITE PLACEMENT

Refer to [Illustration 5.2012](#) for building site placement.

- A. Front Build-to-Zone (at front street):
 - Required build-to-zone from 5 to 20 feet from front property line.
- B. Side Build-to-Zone (at side street):
 - Required build-to-zone from 5 to 25 feet from side property line.
- C. Side Setback (at non-street locations):
 - 5 feet from side property line.
- D. Rear Setback:
 - 15 feet from rear property line.
- E. Encroachments: **Balconies, awnings, canopies, eaves, cornices, and bay windows, may project into required setbacks, beyond required build-to-zones, or into the public right-of-way** Architectural elements as indicated in Section 2003.02.

5.0 PARKING PLACEMENT

Refer to [Illustration 5.2113](#) for on-site parking placement.

- A. Front Setback:
 - 40 feet minimum from front property line.
- B. Side Setback (from side street):
 - 10 feet minimum from side property line.
- C. Side Setback (from non-street locations):
 - 1 foot from side property line.
- D. Rear Setback:
 - 5 feet from rear property line at non-street locations.

Commented [JP57]: Add photo and plan drawing.

Commented [JP58]: Delete map.

Commented [JP59]: Add table.

Commented [JP60]: Add illustration.

Commented [JP61]: Add illustration.

SECTION 2005 CONTEXT AREAS AND USE

- 10 feet from rear property line at street locations.
- E. Parking located at side or rear street locations shall be screened from the street as required by Section 2008.14.
- F. Parking/service areas shall not be accessed from front streets, unless an alley or side street is not available for driveway placement. Maximum width of driveway is 20 feet.
- G. Driveway access location:
 - Corner lot: 40 feet minimum from street corner (measured from the right-of-way).
 - Interior lot: within 5 feet of side property line, when alley is not available.

6.0 PERMITTED USES

Commented [JP62]: Add updated table.

SECTION 2006 BUILDING TYPE STANDARDS

SECTION 2006 BUILDING TYPE STANDARDS

2006.00 PURPOSE

Section 2006 identifies particular Building Types that are permitted within various Context Areas and provides design standards for each type to ensure that proposed development is consistent with the City of Muskegon Master Plans' vision and goals for downtown character and building form.

2006.01 APPLICABILITY

Each proposed building shall be designed in compliance with the standards of this Section for the applicable Building Type.

2006.02 BUILDING TYPES BY CONTEXT AREA

Property may be developed only with the Building Types permitted by this Section in the Context Area applicable to each lot.

- A. Refer to [Building Type Overview \(subsection 2006.06\) in this Section Table 2005.04](#) to determine the specific Building Types that are permitted in each of the Context Areas.

2006.03 CONTENTS OF THIS SECTION

The following Building Types are specified in this Section:

- A. Mixed-Use Building Type
- B. Retail Building Type
- C. Flex Building Type
- D. Cottage Retail Building Type
- E. Live/Work Building Type
- F. Large Multi-plex Building Type
- G. Small Multi-plex Building Type
- H. Rowhouse Building Type
- I. Duplex Building Type
- J. Detached House Building Type
- K. Carriage House Building Type
- L. Civic Building Type

2006.04 HOW TO USE THIS SECTION [RESERVED]

~~Refer to sample pages on this sheet for references of how to use each Building Type Standard. These pages are representative of the layout for each Building Type contained in this Section.~~

- ~~A. **Building Type Description:** This subsection serves as an introduction to the Building Type, including pictorial references of emblematic examples and a general Building Type description.~~
- ~~B. **Precedent of Building Type:** This subsection provides precedent examples of the building type in context. Whenever possible, local examples are included in this reference. Precedent Building Types are included as examples and inspiration to give a better understanding of the intent of the Building Type.~~
- ~~C. **Building Size and Massing:** This subsection provides the requirements for building width at front and side streets, percentage of building wall at property line, building depth, and maximum site coverage. These requirements are conveyed in illustration and text for convenience. The intent of this subsection is to maintain character and enclosure along the Public Realm while ensuring that the building's size and mass is appropriate to the context.~~

SECTION 2006 BUILDING TYPE STANDARDS

- D.— Ground Floor Activation and Access: This subsection provides the quantity and minimum intervals (spacing) for building entrances. These requirements are conveyed in illustration and text for convenience. The intent of this subsection is to ensure that the building and its entrances create an active and visible presence on the street and sidewalk by providing front and side doors for access.
- E.— Number of Units: This subsection provides the minimum and/or maximum number of units that the Building Type may accommodate.
- F.— Use: Uses are regulated by the Context Area in Section 2005. This subsection is a reminder that use requirements are referenced in that section.
- G.— Facade Composition Requirements: This subsection indicates the required facade composition specifications for Building Type, including upper floor(s) transparency, proportion, window orientation, vertical articulation, and roof type.
- H.— Building Type Story Height: This subsection indicates the required minimum dimensions for each floor of the specific Building Type, measured from floor to ceiling. The actual number of stories for buildings is regulated by Context Area (Section 2005).
- I.— Building Type Frontage Options: Each Building Type has specific frontage options that may be chosen as part of the overall composition and street frontage of the building. Frontages are applied to the ground level of the Building Type where it abuts a front and side street, civic space, or public right-of-way. One frontage is required to be used for each building that is constructed (in instances of the Flex and Live/Work Building Types, multiple frontages may be chosen for one building). Frontages provide guidelines for transparency, architecture, and composition that enable the building to engage and define the Public Realm. The table in this section illustrates what frontages are appropriate for each Building Type within each Context Area.

The following two pages are examples of frontage pages for the Storefront Frontage, one of ten different frontage options that are available for the various Building Types.

These pages will immediately follow each of the Building Type pages that have been described above and provide the applicable frontage choices for that Building Type.

- J.— Frontage Description: This paragraph describes the intent of the frontage and provides an image of a precedent example of the frontage, applied to the Building Type that it is associated with. This image will change throughout Section 2006, depending on the Building Type subsection that the frontage is described in.
- K.— Frontage Location Requirements: This subsection provides requirements of the frontage location relative the build-to-line, build-to-zone, or setback. These site placement requirements are defined in Section 2005, Context Areas. This subsection also provides the requirements for landscaping or paving of the ground area adjacent to the frontage.
- L.— Frontage Composition Requirements: This subsection provides the requirements for the composition of the frontage, including transparency, proportion, scale, vertical articulation, entry and details.

2006.05 STANDARDS FOR ALL BUILDING TYPES

The following standards apply to all Building Types:

- A. Front Street Building Wall: Front street facades of buildings represent the building front and are located at the public right-of-way lines along the street, public path, or civic space of address for the building.
- B. Side Street Building Wall: Side street walls of buildings represent the building sides that are located at the public right-of-way lines along all streets, public paths, or civic spaces that are not the street of address for the building. The side street build-to-line, build-to-zone, or setback for side streets shall apply to all

SECTION 2006 BUILDING TYPE STANDARDS

situations where side streets, public paths, or civic spaces occur at more than one side of a building (due to a parcel that is bound on more than two sides by right-of-way lines).

- C. Front Street Transparency Requirements at First Story: Each Building Type's first story transparency at the front street is per the frontage requirements for that Building Type. Side Street walls are required to have one (1) of the following standards:
 - 1. Transparency that is the same as what is required by the upper stories for the Building Type.
 - 2. Transparency that is the same as the frontage that has been applied to the front street.
- D. Percentage of Building Width at Street: Each Building Type indicates a building width percentage requirement along the front street. This percentage is the amount of a lot line adjoining the public right-of-way that is occupied by the front facade of the principal building. The front facade shall be parallel to the right-of-way, located in accordance with the required build-to-lines, build-to-zones, or setbacks.
- E. Frontages: Frontages define architecture and design components for the entrance(s) to the building and the area between the facade and the front and/or side street. Each Building Type identifies the appropriate frontage choices. The use of one of the frontages identified for the Building Type is required.
- F. Maximum Site Coverage: The maximum site coverage applies to all buildings on a lot, including accessory buildings.
- G. Building Height: Buildings shall comply with the overall maximum height regulations (as measured in number of stories) that are established by Context Area. Each Building Type has story height ~~requirements~~ (measured in feet and inches) ~~requirements~~.
- H. Side Yard Walls: Each building shall have separate walls to support all loads independently of any walls located on an adjacent lot. Buildings with side-facing windows shall provide necessary light and air shafts within their own lot, without relying on the side yard of the adjacent lot.
- I. ~~Off-Street Parking Requirements and Standards: Permitted P~~arking ~~requirements~~ for each Building Type ~~are is~~ based on use and Context Area. Refer to Section 2008 for ~~Off-Street P~~arking ~~requirements and~~ ~~s~~Standards.
- J. Sign Standards: Sign sizes and quantities for each Building Type are based on Context Area. Refer to Section 2009 for Sign Standards.

2006.06 BUILDING TYPE OVERVIEW[RESERVED]

~~Building types for the Muskegon Form Based Code are summarized as follows:~~

~~MIXED-USE BUILDING TYPE~~

~~This Building Type is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.~~

~~FRONTAGE OPTIONS: Storefront, Balcony, Terrace, Forecourt, Drive-through~~

~~RETAIL BUILDING TYPE~~

~~This Building Type is a medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.~~

~~FRONTAGE OPTIONS: Storefront, Terrace, Drive-through~~

~~FLEX BUILDING TYPE~~

SECTION 2006 BUILDING TYPE STANDARDS

This Building Type is a medium- to large-sized attached or detached structure, typically built on a large lot. It can be used to provide a vertical mix of uses with ground floor industrial, service, retail, or residential uses; or it may be a single-use building. This Type is a primary component in a variety of urban context areas that provide a mix of Building Types.

FRONTAGE OPTIONS: Storefront, Terrace, Forecourt, Dooryard

COTTAGE RETAIL BUILDING TYPE

This Building Type is a small- to medium-sized detached structure. It is intended to provide retail or service uses at the ground floor. This Type will typically have a residential mass, scale, and composition that allows it to integrate into adjacent residential areas.

FRONTAGE OPTIONS: Storefront, Dooryard, Stoop

LIVE/WORK BUILDING TYPE

This Building Type is a small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are owned by one entity. This Type is especially appropriate for incubating retail and service uses and allowing neighborhood retail to expand as the market demands.

FRONTAGE OPTIONS: Storefront, Dooryard, Lightwell, Stoop

LARGE MULTI-PLEX BUILDING TYPE

This Building Type is a medium- to large-sized structure that consists of 7 or more side-by-side and/or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in medium-density neighborhoods and enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

FRONTAGE OPTIONS: Forecourt, Dooryard, Stoop, Projecting Porch

SMALL MULTI-PLEX BUILDING TYPE

This Building Type is a medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a large single-family house and is appropriately scaled to fit in single-family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

FRONTAGE OPTIONS: Stoop, Projecting Porch, Engaged Porch

ROWHOUSE BUILDING TYPE

This Building Type is a small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

FRONTAGE OPTIONS: Lightwell, Stoop, Projecting Porch

DUPLEX BUILDING TYPE

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This Building Type is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a medium-sized single-family house and is appropriately scaled to fit in single-family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types.

FRONTAGE OPTIONS: Stoop, Projecting Porch, Engaged Porch

DETACHED HOUSE BUILDING TYPE

This Building Type is a small- to medium-sized detached structure that incorporates one dwelling unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types.

FRONTAGE OPTIONS: Stoop, Projecting Porch, Engaged Porch

CARRIAGE HOUSE BUILDING TYPE

This Building Type is an accessory structure typically located at the rear of a lot. It typically provides either a small residential unit or home-office space above the first floor garage. This Type is important for providing affordable housing choices that are integrated into diverse neighborhoods. This Type shall only be used in conjunction with the Detached House, Duplex, Rowhouse, or Live/Work Building Types.

FRONTAGE OPTIONS: Not applicable to this Building Type

CIVIC BUILDING TYPE

This Building Type is a small-, medium- or large-sized detached structure that incorporates uses of special public importance including, but not limited to municipal buildings, churches, libraries and schools. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form.

FRONTAGE OPTIONS: Not applicable to this Building Type

2006.07 SUMMARY OF BUILDING TYPES PERMITTED IN EACH CONTEXT AREA [RESERVED]

SECTION 2006 BUILDING TYPE STANDARDS

2006.08 MIXED-USE BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

This The Mixed-Use Building Type is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.

2.0 PRECEDENT OF MIXED-USE BUILDING TYPE

The following images represent precedent examples of the Mixed-Use Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

3.0 BUILDING SIZE AND MASSING

Refer to **Illustration 6.01** for Building Type size and massing graphic representation.

- A. Building width at front street: 150 feet maximum
- B. Building width at front street shall be built to a minimum of 90% of the overall width of the front street property line.
- C. Building width at side street: 100 feet maximum
- D. Building depth: 20 feet minimum
- E. Maximum site coverage: 100%

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to **Illustration 6.02** for Building Type ground floor activation and pedestrian access graphic representation.

- A. Entrances to ground floor unit(s) are required at the front street and shall be directly accessed from and face the front street.
- B. Entrances to ground floor unit(s) shall occur at intervals of not greater than 75 feet along the front street.
- C. Entrances to ground floor unit(s) at the side street (if provided) shall be directly accessed from and face the side street.
- D. Upper floor units shall be accessed by a common entry along the front or side street.
- E. Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Required total of 2 units minimum (1 unit at street level and 1 unit on upper level).

6.0 USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to **Illustration 6.03** for Building Type facade composition requirements.

- A. Building shall have a flat roof with parapet.

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Commented [JP64]: Add illustration.

Commented [JP65]: Add illustration.

Commented [JP66]: Add updated illustration removing C, D, and F.

SECTION 2006 BUILDING TYPE STANDARDS

- B. Building shall have a cornice expression line at roofline.
- ~~C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line.~~
- ~~D. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~
- ~~E. C. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~
- ~~F. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.~~

8.0 BUILDING TYPE STORY HEIGHT

Refer to [Illustration 6.04](#) for Building Type story height requirements.

- A. Ground floor ceiling shall be 14 feet minimum.
- B. Upper floor ceilings shall be ~~8-14~~ feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.
- D. Height of parapet wall shall be between 12" minimum and 4 feet maximum, measured from roof line.

9.0 BUILDING TYPE FRONTAGE OPTIONS

The Mixed-Use Building Type is required to have 1 of the following 5 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Frontage options for the Mixed-Use Building Type are provided in the table below and described on the following pages of this subsection.

9.01 BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

Description: The Storefront Frontage Type is applied to the ground level floor of a Building Type along the front and side streets. It is typically associated with retail and mixed-use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Location Requirements: Refer to [Illustration 6.05](#) for frontage location graphic reference.

- A. The building facade(s) are required to be placed at a build-to-line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

Storefront Composition Requirements: Refer to [Illustration 6.06](#) for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page.~~
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk, E~~ entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent sidewalk grade.

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Commented [JP68]: Add updated table including Lakeside Context Areas.

Commented [JP69]: Add illustration.

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SECTION 2006 BUILDING TYPE STANDARDS

- F. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.
- ~~J. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- ~~K. Transparency Upper Stories: Refer Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line. to Building Type for transparency requirements of upper stories.~~
- L. The storefront frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.
- ~~M. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to that meet the transparency requirements in item H. Refer to Image 6.05.~~

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9.02 BUILDING TYPE FRONTAGE OPTION 2: BALCONY

Description: The Balcony Frontage Type contains a recessed balcony that is applied to the upper level floor of a Building Type along the front street and a storefront that is applied to the ground level floor of a Building Type along the front and side streets. It is always associated with mixed-use buildings. The balcony-storefront frontage shall be designed to include an open-air space that is recessed into the building mass on the upper level(s) and a storefront that is designed to promote an attractive, convenient shopping experience and transparent wall along the sidewalk.

Balcony Location Requirements: Refer to [Illustration 6.07](#) for frontage location graphic reference.

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- A. The building facade(s) are required to be placed at a build-to-line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. Required upper story balcony shall be located within the mass of the building.
- C. Face of balcony shall align with facade of the building.
- D. Storefront is required at the ground level floor.
- E. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

Balcony Composition Requirements: Refer to [Illustration 6.08](#) for frontage composition graphic reference.

Commented [JP73]: Add updated illustration removing J and M.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page.~~
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk, E~~ entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.

SECTION 2006 BUILDING TYPE STANDARDS

- E. Entry door is required to be at adjacent sidewalk grade.
- F. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.
- J. ~~Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- K. J. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.~~
- L. K. _____ Required recessed open-air balcony located within the mass of the building.
- M. L. _____ Required balcony columns ~~spaced to match pilaster or wall surface of building (item J. above).~~
- N. M. _____ Building roof and/or parapet wall at balcony shall extend over balcony and align with building facade.
- O. N. _____ Required guardrail or knee wall shall align with building facade.
- P. O. _____ Storefront windows may be replaced with overhead doors. ~~Overhead doors that replace storefront windows are required to that meet the transparency requirements in item H. Refer to Image 6.07.~~

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9.03 BUILDING TYPE FRONTAGE OPTION 3: TERRACE

Description: In a Terrace Frontage Type, the facade of the building that faces the front street is set back from the right-of-way line to accommodate an elevated terrace. The terrace provides circulation along the facade. This Frontage Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This frontage may also be used in historic industrial areas to mimic historic loading docks.

Terrace Location Requirements: Refer to ~~Illustration 6.09~~ for frontage location graphic reference.

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- A. The terrace frontage is required to be placed at a build-to-line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. Building facades with the terrace frontage are exempt from the requirement of being placed at the build-to-line at the front property line. The leading edge of the terrace is required to be placed at the build-to-line, or as close as possible to the build-to-line in instances where conditions required in item ~~EC~~. on this page cannot be met with the terrace at build-to-line.
- C. ~~Terrace frontages are not permitted on side streets.~~
- D. ~~Terrace frontages shall not be permitted on more than 50% of the buildings on one block face.~~
- E. C. _____ Terrace placement shall provide a minimum of 10 feet for sidewalk, and pedestrian access, and sidewalk furnishing zone between terrace edge and line of curb. Clear pedestrian access shall be maintained at 5 feet minimum.
- F. D. _____ Low walls of the terrace that are designed for seating are encouraged.
- G. E. _____ Steps to access terrace shall occur at intervals of not greater than 50 feet. Steps may extend into the public right-of-way when the requirements of item ~~EC~~. are met.
- H. F. _____ Terrace depth shall be 5 feet minimum.

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~~I-G.~~ Terrace finish level above sidewalk shall be 42 inches maximum.

~~J-H.~~ Maximum length of terrace shall be 150 feet.

~~K-L.~~ Storefront is required at the ground level floor.

Terrace Composition Requirements: Refer to **Illustration 6.10** for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page.~~
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk,~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent terrace grade.
- F. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade of terrace.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.
- ~~J. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- ~~K-L.~~ Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.~~
- ~~L-K.~~ Storefront windows may be replaced with overhead doors. ~~Overhead doors that replace storefront windows are required to that meet the transparency requirements in item H. Refer to Image 6.09.~~
- ~~M-L.~~ Conditionally Permitting of Frontage: Terrace Frontage is permitted to be used on this Building Type only when adjacent sidewalk and Public Realm conditions present slopes that prevent consistent at-grade access.

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Commented [JP77]: Remove Image 6.09.

9.04 BUILDING TYPE FRONTAGE OPTION 4: FORECOURT

Description: In a Forecourt Frontage Type, the facade of the building that faces the front street is at or near the right-of-way line and a ~~small percentage~~ section of the facade is set back, creating a small courtyard space. In a storefront forecourt the courtyard space shall be used as an additional shopping space or restaurant seating area. The courtyard area is not covered ~~and extends the entire height of the building.~~

Forecourt Location Requirements: Refer to **Illustration 6.11** for frontage location graphic reference.

- A. A minimum of 30% of the building facade of the forecourt frontage is required to be placed at a build-to-line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. Required courtyard shall have a width ~~that is of~~ twelve (12) feet minimum.

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SECTION 2006 BUILDING TYPE STANDARDS

- C. Required courtyard shall have a depth of twelve (12) feet minimum.
- D. Courtyard shall not exceed 1,200 square feet in area and shall be paved. Landscape islands may be used within the space, but may not cover more than 40% of the courtyard's ground area (refer to Image 6.10 on this page).
- E. Storefront is required at the ground level floor on all sides of courtyard and on building facades facing streets, civic space, and rights-of-way.
- F. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of the encroachment section in Section 2003.02.

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Forecourt Composition Requirements: Refer to Illustration 6.12 for frontage composition graphic reference for building walls that face the courtyard and building walls that face the front and side streets.

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- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story and shall be interrupted by the required pilasters referenced in item J. on this page.
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk,~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.
- ~~J. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- ~~K. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.~~
- ~~L. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to that meet the transparency requirements in item H. Refer to Image 6.11.~~

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9.05 BUILDING TYPE FRONTAGE OPTION 5: DRIVE-THROUGH

Description: The Drive-through Frontage is identical to the Storefront Frontage, however it includes an automobile drive-through at the rear or non-street facing sides. The drive-through may include a covered structure at the service window location. This structure is designed to be a secondary element to the building and is consistent with the massing, scale, and design of the building. This frontage is typically associated with retail and mixed-use buildings and includes a storefront that is designed in a way that promotes an attractive and convenient shopping experience.

Drive-Through Composition Requirements: Refer to Illustration 6.13 for frontage composition graphic reference.

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SECTION 2006 BUILDING TYPE STANDARDS

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page.~~
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk,~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.
- ~~J. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- ~~K. J. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.~~
- ~~L. K. _____~~ The storefront frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.

Drive-Through Location Requirements: Refer to **Illustration 6.143** for frontage location graphic reference.

- A. The building facade(s) are required to be placed at a build-to-line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.
- C. Rear Drive-Through Zone: Drive-through locations at the rear of the building shall be placed within a rear drive-through zone that is located as follows:
 - 1. 0 to 45 feet, measured from rear building wall.
 - 2. 15 feet minimum, measured from building walls that face side streets.
- D. Side Drive-Through Zone: Drive-through locations at the non-street facing sides of the building shall be placed within a rear drive-through zone that is located as follows:
 - 1. 0 to 45 feet, measured from side building wall.
 - 2. 15 feet minimum, measured from building walls that face front streets.
- E. Drive-through locations shall comply with rear and side setbacks of the Context Area that the lot is in. Refer to Section 2005.
- F. Storefront is required at the ground level floor at building facades facing streets, civic space, and rights-of-way.

Commented [JP83]: Add illustration. All subsequent Illustration numbers are corrected from 6.13 to 6.113 due to a repeated number here.

2006.09 RETAIL BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

SECTION 2006 BUILDING TYPE STANDARDS

~~This~~**The** Retail Building Type is a medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.

2.0 PRECEDENT OF RETAIL BUILDING TYPE

The following images represent precedent examples of the Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

Commented [JP84]: Add images.

3.0 BUILDING SIZE AND MASSING

Refer to **Illustration 6.154** for Building Type size and massing graphic representation.

Commented [JP85]: Add illustration.

- A. Building width at front street: 150 feet maximum
- B. Building width at front street shall be built to a minimum of 90% of the overall width of the front street property line.
- C. Building width at side street: 100 feet maximum
- D. Building depth: 20 feet minimum
- E. Maximum site coverage: 100%

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to **Illustration 6.165** for Building Type ground floor activation and pedestrian access graphic representation.

Commented [JP86]: Add illustration.

- A. Entrances to ground floor unit(s) are required at the front street and shall be directly accessed from and face the front street.
- B. Entrances to ground floor unit(s) shall occur at intervals of not greater than 75 feet along the front street.
- C. Entrances to ground floor unit(s) at the side street (if provided) shall be directly accessed from and face the side street.
- D. Optional angled building corner with required entry door. Maximum length of angled wall shall be 8 feet.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Required total of 1 unit minimum (1 unit at street level).

6.0 USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to **Illustration 6.176** for Building Type facade composition requirements.

Commented [JP87]: Add updated illustration removing C and D.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- ~~C. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~
- ~~D. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.~~

SECTION 2006 BUILDING TYPE STANDARDS
8.0 BUILDING TYPE STORY HEIGHT

Refer to [Illustration 6.187](#) for Building Type story height requirements.

- A. Ground floor ceiling shall be 14 feet minimum.
- B. Overall height of Building Type is regulated by Context Area, refer to Section 2005.
- C. Height of parapet wall shall be between 12” minimum and 4 feet maximum, measured from roof line.

Commented [JP88]: Add illustration.

9.0 BUILDING TYPE FRONTAGE OPTIONS

The Retail Building Type is required to have 1 of the following 3 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Frontage options for the Retail Building Type are provided in the table below and described on the following pages of this subsection.

Commented [JP89]: Add updated table including Lakeside Context Areas.

9.01 BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

Description: The Storefront Frontage Type is applied to the ground level floor of a Building Type along the front and side streets. It is typically associated with retail and mixed-use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Location Requirements: Refer to [Illustration 6.198](#) for frontage location graphic reference.

- A. The building facade(s) are required to be placed at a build-to-line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. ~~Awnings, canopies, cornices, and projecting signs~~ **Architectural elements** may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

Commented [JP90]: Add illustration.

Storefront Composition Requirements: Refer to [Illustration 6.2049](#) for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story and shall be interrupted by the required pilasters referenced in item J. on this page.
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk, E~~ entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Optional 30” to 42” sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18” to 30” high storefront base.

Commented [JP91]: Add updated illustration removing J.

SECTION 2006 BUILDING TYPE STANDARDS

~~J.~~ Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.

~~K.~~J. Refer to Building Type for roof and cornice requirements.

~~L.~~K. The storefront frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.

~~M.~~L. Storefront windows may be replaced with overhead doors. ~~Overhead doors that replace storefront windows are required to that~~ meet the transparency requirements in item H. ~~Refer to Image 6.18.~~

Commented [JP92]: Remove Image 6.18.

9.02 BUILDING TYPE FRONTAGE OPTION 2: TERRACE

Description: In a Terrace Frontage Type, the facade of the building that faces the front street is set back from the right-of-way line to accommodate an elevated terrace. The terrace provides circulation along the facade. This Frontage Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This frontage may also be used in historic industrial areas to mimic historic loading docks.

Terrace Location Requirements: Refer to ~~Illustration 6.210~~ for frontage location graphic reference.

Commented [JP93]: Add updated illustration removing C and D.

- A. The terrace frontage is required to be placed at a build-to-line as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. Building facades with the terrace frontage are exempt from the requirement of being placed at the build-to-line at the front property line. The terrace is required to be placed at the build-to-line, or as close as possible to the build-to-line in instances where conditions required in item ~~CE~~ on this page cannot be met with the terrace at build-to-line.
- ~~C.~~ Terrace frontages are not permitted on side streets.
- ~~D.~~ Terrace frontages shall not be permitted on more than 50% of the buildings on one block face.
- ~~E.~~C. Terrace placement shall provide a minimum of 10 feet for sidewalk, and pedestrian access, and sidewalk furnishing zone between terrace edge and line of curb. Clear pedestrian access shall be maintained at 5 feet minimum.
- ~~F.~~D. Low walls of the terrace that are designed for seating are encouraged.
- ~~G.~~E. Steps to access terrace shall occur at intervals of not greater than 50 feet. Steps may extend into the public right-of-way when the requirements of item ~~EC~~ are met.
- ~~H.~~F. Terrace depth shall be 5 feet minimum.
- ~~I.~~G. Terrace finish level above sidewalk shall be 42 inches maximum.
- ~~J.~~H. Maximum length of terrace shall be 150 feet.
- ~~K.~~L. Storefront is required at the ground level floor.

Terrace Composition Requirements: Refer to ~~Illustration 6.224~~ for frontage composition graphic reference.

Commented [JP94]: Add updated illustration removing J.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story and shall be interrupted by the required pilasters referenced in item J. on this page.
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk, E~~entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.

SECTION 2006 BUILDING TYPE STANDARDS

- E. Entry door is required to be at adjacent terrace grade.
- F. Optional 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade of terrace.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.
- J. ~~Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- K-L. Refer to Building Type for roof and cornice requirements.
- L-K. ~~Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to that meet the transparency requirements in item H. Refer to Image 6.20.~~
- M-L. Conditionally Permitting of Frontage: Terrace Frontage is permitted to be used on this Building Type only when adjacent sidewalk and Public Realm conditions present slopes that prevent consistent at-grade access.

Commented [JP95]: Remove Image 6.20.

9.03 BUILDING TYPE FRONTAGE OPTION 3: DRIVE-THROUGH

Description: The Drive-through Frontage is identical to the Storefront Frontage, however it includes an automobile drive-through at the rear or non-street facing sides. The drive-through may include a covered structure at the service window location. This structure is designed to be a secondary element to the building and is consistent with the massing, scale, and design of the building. This frontage is typically associated with retail and mixed-use buildings and includes a storefront that is designed in a way that promotes an attractive and convenient shopping experience.

Drive-Through Composition Requirements: Refer to ~~Illustration 6.232~~ for frontage composition graphic reference.

Commented [JP96]: Add updated illustration removing J.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page.~~
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk, E~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.

SECTION 2006 BUILDING TYPE STANDARDS

~~J. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~

~~K.J.~~ Refer to Building Type for roof and cornice requirements.

~~L.K.~~ The storefront frontage may have an angled corner entry as permitted by the specific Building Type. The angled corner entry shall meet the transparency requirements of the storefront frontage and have an entry door.

Drive-Through Location Requirements: Refer to [Illustration 6.243](#) for frontage location graphic reference.

Commented [JP97]: Add illustration.

- A. The building facade(s) are required to be placed at a build-to-line or within a build-to-zone, depending on building site placement requirements in the ~~Public Realm~~ Context Area section. Refer to Section ~~20042005~~.
- B. ~~Awnings, canopies, cornices, and projecting signs~~ [Architectural elements](#) may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.
- C. Rear Drive-Through Zone: Drive-through locations at the rear of the building shall be placed within a rear drive-through zone that is located as follows:
 - 1. 0 to 45 feet, measured from rear building wall.
 - 2. 15 feet minimum, measured from building walls that face side streets.
- D. Side Drive-Through Zone: Drive-through locations at the non-street facing sides of the building shall be placed within a rear drive-through zone that is located as follows:
 - 1. 0 to 45 feet, measured from side building wall.
 - 2. 15 feet minimum, measured from building walls that face front streets.
- E. Drive-through locations shall comply with rear and side setbacks of the Context Area that the lot is in. Refer to Section 2005.
- F. Storefront is required at the ground level floor at building facades facing streets, civic space, and rights-of-way.

2006.10 FLEX BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Flex Building Type is a medium- to large-sized attached or detached structure, typically built on a large lot. It can be used to provide a vertical mix of uses with ground floor industrial, service, retail, or residential uses; or it may be a single-use building. This Type is a primary component in a variety of urban context areas that provide a mix of Building Types.

2.0 PRECEDENT OF FLEX BUILDING TYPE

The following images represent precedent examples of the Flex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

Commented [JP98]: Add images. Correct image of Muskegon Savings Bank.

3.0 BUILDING SIZE AND MASSING

Refer to [Illustration 6.254](#) for Building Type size and massing graphic representation.

Commented [JP99]: Add illustration.

- A. Building width at front street: 200 feet maximum
- B. Building width at front street shall be built to a minimum of 75% of the overall width of the front street property line.
- C. Building width at side street: 100 feet maximum

SECTION 2006 BUILDING TYPE STANDARDS

- D. Building depth: 20 feet minimum
- E. Maximum site coverage: 100%

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to **Illustration 6.265** for Building Type ground floor activation and pedestrian access graphic representation.

Commented [JP100]: Add illustration.

- A. Entrances to ground floor unit(s) are required at the front street and shall be directly accessed from and face the front street.
- B. Entrances to ground floor unit(s) shall occur at intervals of not greater than 100 feet along the front street.
- C. Entrances to ground floor unit(s) at the side street (if provided) shall be directly accessed from and face the side street.
- D. Upper floor units may be accessed by a common entry ~~or lobby~~ along the front or side street or at the rear of the building.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Required total of 1 unit minimum.

6.0 USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to **Illustration 6.276** for Building Type facade composition requirements.

Commented [JP101]: Add updated illustration removing C, D, and F.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- ~~C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line.~~
- ~~D. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~
- ~~E.C. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~
- ~~F. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.~~

8.0 BUILDING TYPE STORY HEIGHT

Refer to **Illustration 6.287** for Building Type story height requirements.

Commented [JP102]: Add illustration.

- A. Ground floor ceiling shall be 14 feet minimum.
- B. Upper floor ceilings shall be 8-14 feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.
- D. Height of parapet wall shall be between 12" minimum and 4 feet maximum, measured from roof line.

9.0 BUILDING TYPE FRONTAGE OPTIONS

Commented [JP103]: Add updated table including Lakeside Context Areas.

SECTION 2006 BUILDING TYPE STANDARDS

The Flex Building Type is required to have 1 of the following 4 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Combination of Frontages: For Flex Building Types, more than one frontage may be used on the same building at front and/or side streets.

Frontage options for the Flex Building Type are provided in the table below and described on the following pages of this subsection.

9.01 BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

Description: The Storefront Frontage Type is applied to the ground level floor of a Building Type along the front and side streets. It is typically associated with retail and mixed-use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Location Requirements: Refer to [Illustration 6.298](#) for frontage location graphic reference.

Commented [JP104]: Add illustration.

- A. The building facade(s) are required to be placed within a build-to-zone, as required by building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the building facade shall have one of the following treatments depending on distance from the property line:
 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.
 3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director ~~and/or Planning Commission~~.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

Storefront Composition Requirements: Refer to [Illustration 6.3029](#) for frontage composition graphic reference.

Commented [JP105]: Add updated illustration removing J.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page~~.
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk,~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Optional 30" to 42" sign band or horizontal expression line above storefront window or transom ~~Sign band or horizontal expression line~~ shall extend the entire width of the storefront ~~but may be interrupted by the required pilasters referenced in item J. on this page~~.
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.

SECTION 2006 BUILDING TYPE STANDARDS

H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.

I. Required 18" to 30" high storefront base.

~~J. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~

~~K. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.~~

~~L. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to that meet the transparency requirements in item H. Refer to Image 6.27.~~

Commented [JP106]: Remove Image 6.27.

9.02 BUILDING TYPE FRONTAGE OPTION 2: TERRACE

Description: In a Terrace Frontage Type, the facade of the building that faces the front street is set back from the right-of-way line to accommodate an elevated terrace. The terrace provides circulation along the facade. This Frontage Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This frontage may also be used in historic industrial areas to mimic historic loading docks.

Terrace Location Requirements: Refer to ~~Illustration 6.310~~ for frontage location graphic reference.

Commented [JP107]: Add updated illustration removing C.

- A. The terrace frontage is required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. Building facades with the terrace frontage are exempt from the requirement of being placed within the build-to-zone at the front and side property lines. The terrace is required to be placed within the build-to-zone.

~~C. Terrace frontages shall not be permitted on more than 50% of the buildings on one block face.~~

~~D. C.~~ The ground area between the front property lines and the front edge of the terrace shall be paved to match the public sidewalk. In cases where steps project beyond the front edge of the terrace, the area adjacent to and in line with the steps may be landscaped.

~~E. D.~~ Terrace placement shall provide a minimum of 10 feet for sidewalk, and pedestrian access, and sidewalk furnishing zone between terrace edge and line of curb. Clear pedestrian access shall be maintained at 5 feet minimum.

~~F. E.~~ Low walls of the terrace that are designed for seating are encouraged.

~~G. F.~~ Steps to access terrace shall occur at intervals of not greater than 50 feet. Steps may extend past the build-to-zone when the requirements of item ~~E. D.~~ are met.

~~H. G.~~ Terrace depth shall be 10 feet minimum.

~~I. H.~~ Terrace finish level above sidewalk shall be 42 inches maximum.

~~J. I.~~ Maximum length of terrace shall be 200 feet.

~~K. J.~~ Storefront is required at the ground level floor.

Commented [JP108]: Add updated illustration removing J.

Terrace Composition Requirements: Refer to ~~Illustration 6.324~~ for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story and shall be interrupted by the required pilasters referenced in item J. on this page.
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.

SECTION 2006 BUILDING TYPE STANDARDS

- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk, E~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent terrace grade.
- F. Optional 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade of terrace.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- I. Required 18" to 30" high storefront base.
- J. ~~Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- K. J. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.~~
- L. K. Storefront windows may be replaced with overhead doors. ~~Overhead doors that replace storefront windows are required to that meet the transparency requirements in item H. Refer to Image 6.29.~~
- M. L. Conditionally Permitting of Frontage: Terrace Frontage is permitted to be used on this Building Type only when adjacent sidewalk and Public Realm conditions present slopes that prevent consistent at-grade access.

Commented [JP109]: Remove Image 6.29.

9.03 BUILDING TYPE FRONTAGE OPTION 3: FORECOURT

Description: In a Forecourt Frontage Type, the facade of the building that faces the front street is at or near the right-of-way line and a ~~small percentages~~ section of the facade is set back, creating a small courtyard space. The courtyard space may be used as an entry court or shared garden space, or as an additional area for shopping or restaurant seating. The courtyard area is not covered and extends the entire height of the building.

Forecourt Location Requirements: Refer to ~~Illustration 6.332~~ for frontage location graphic reference.

Commented [JP110]: Add updated illustration removing B.

- A. A minimum of 30% of the building facade of the forecourt frontage is required to be placed within the build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. ~~The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:~~
 - 1. ~~Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.~~
 - 2. ~~Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.~~
- 3-A. ~~Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director and/or Planning Commission.~~

SECTION 2006 BUILDING TYPE STANDARDS

- ~~C.B.~~ Required courtyard shall have a width ~~that is of~~ twelve (12) feet minimum.
- ~~D.C.~~ Required courtyard shall have a depth of twelve (12) feet minimum.
- ~~E.D.~~ Courtyard ~~shall not exceed 1,200 square feet in area~~ and shall be paved. Landscape islands may be used within the space, but may not cover more than 40% of the courtyard's ground area.
- ~~F.E.~~ ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

Forecourt Composition Requirements: Refer to ~~Illustration 6.343~~ for frontage composition graphic reference for building walls that face the courtyard and building walls that face the front and side streets.

Commented [JP111]: Add updated illustration removing D.

- A. Entry door(s) shall have 25% minimum transparency.
- B. Entry door(s) may be at-grade or raised and accessed by steps.
 - 1. At-grade entry door (zero-step) shall have one of the following treatments:
 - i. Covered with a supported roof (as depicted ~~in the graphic~~). Roof shall be supported with columns.
 - ii. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - iii. Uncovered (with no canopy or supported roof).
 - iv. Recessed in building wall.
 - 2. Elevated entry door shall have one of the following treatments:
 - i. Covered with a supported roof. Roof shall be supported with columns.
 - ii. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - 3. Elevated entry doors shall have a stoop (landing at door) that is minimum 4 feet deep and minimum 4 feet wide.
- C. Transparency: Forecourt frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- ~~D. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.~~
- ~~E.D.~~ Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line~~ Refer to ~~Building Type for transparency requirements of upper stories.~~

9.04 BUILDING TYPE FRONTAGE OPTION 4: DOORYARD

Description: In a Dooryard Frontage Type, the facade of the building that faces the front street is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard may be raised or at-grade and is most often intended for ground floor residential.

Dooryard Location Requirements: Refer to ~~Illustration 6.354~~ for frontage location graphic reference.

Commented [JP112]: Add illustration.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:
 - 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.

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- 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.

Additionally, one of the following landscape elements is required to be placed at the property line when the distance between facade and property line is greater than ten (10) feet:

- i. A 24" to 42" high brick wall.
- ii. A decorative metal fence that is 42" high maximum.
- iii. A continuous hedge that is maintained at a 42" maximum height.

- 3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director ~~and/or Planning Commission~~.

C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way ~~and lightwells may extend in to required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.

~~D. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Dooryard Composition Requirements: Refer to ~~Illustration 6.365~~ for frontage composition graphic reference.

Commented [JP113]: Add updated illustration removing D.

- A. Entry door(s) shall have 25% minimum transparency.
- B. Entry door(s) may be at-grade or elevated and accessed by steps.
 - 1. At-grade entry door (zero-step) shall have one of the following treatments:
 - i. Covered with a supported roof (as depicted ~~in the graphic~~). Roof shall be supported with columns.
 - ii. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - iii. Uncovered (with no canopy or supported roof).
 - iv. Recessed in building wall.
 - 2. Elevated entry door shall have one of the following treatments:
 - i. Covered with a supported roof. Roof shall be supported with columns.
 - ii. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - 3. Elevated entry doors shall have a stoop (landing at door) that is minimum 4 feet deep and minimum 4 feet wide.
- C. Transparency: Dooryard frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.

~~D. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.~~

~~E.D. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.~~

2006.11 COTTAGE RETAIL BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Cottage Retail Building Type is a small- to medium-sized detached structure. It is intended to provide retail or service uses at the ground floor. This Type will typically have a residential mass, scale, and composition that allows it to integrate into adjacent residential areas.

2.0 PRECEDENT OF COTTAGE RETAIL BUILDING TYPE

Commented [JP114]: Add images.

SECTION 2006 BUILDING TYPE STANDARDS

The following images represent precedent examples of the Cottage Retail Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

3.0 BUILDING SIZE AND MASSING

Refer to [Illustration 6.376](#) for Building Type size and massing graphic representation.

Commented [JP115]: Add illustration.

- A. Building width at front street: 30 feet maximum
- B. Building depth: 20 feet minimum
- C. Maximum site coverage: 60%

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to [Illustration 6.387](#) for Building Type ground floor activation and pedestrian access graphic representation.

Commented [JP116]: Add illustration.

- A. Entrances to ground floor unit(s) are required at the front street and shall be directly accessed from and face the front street.
- B. Entrances to ground floor unit(s) at the side street (if provided) shall be directly accessed from and face the side street.
- C. Upper floor units may be accessed by a common entry along the front or side street or at the rear of the building.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Required total of 1 unit minimum.
- B. Cottage Retail Buildings per lot: 2 maximum.

6.0 USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to [Illustration 6.398](#) for Building Type facade composition requirements.

Commented [JP117]: Add updated illustration removing B and C.

- A. Building shall have a pitched (sloped) roof that is compatible with the surrounding residential architecture.
- ~~B. Transparency Upper Stories: Building facades facing streets shall have 10% to 35% of the facade be windows between the finish floor line of the second story and roof eave.~~
- ~~C. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~
- ~~D. B. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~

8.0 BUILDING TYPE STORY HEIGHT

Refer to [Illustration 6.4039](#) for Building Type story height requirements.

Commented [JP118]: Add illustration.

- A. Ground floor ceiling shall be ~~8-14~~ 12 feet ~~minimum~~.
- B. Upper floor ceilings shall be ~~8-14~~ 14 feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

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9.0 BUILDING TYPE FRONTAGE OPTIONS

The Cottage Retail Building Type is required to have 1 of the following 3 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Frontage options for the Cottage Retail Building Type are provided in the table below and described on the following pages of this subsection.

9.01 BUILDING TYPE FRONTAGE OPTION 1: STOREFRONT

Description: The Storefront Frontage Type is applied to the ground level floor of a Building Type along the front and side streets. It is typically associated with retail and mixed-use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Location Requirements: Refer to [Illustration 6.4.19](#) for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the building facade shall have one of the following treatments depending on distance from the property line:
 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.
 3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director ~~and/or Planning Commission~~.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

Storefront Composition Requirements: Refer to [Illustration 6.4.24](#) for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page.~~
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. Required entry door shall have fifty (50) percent minimum transparency.
- D. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk,~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- E. Entry door is required to be at adjacent sidewalk grade.
- F. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- G. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- H. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.

Commented [JP119]: Add updated table including Lakeside Context Areas.

Commented [JP120]: Add illustration.

Commented [JP121]: Add updated illustration removing J.

SECTION 2006 BUILDING TYPE STANDARDS

- I. Required 18" to 30" high storefront base.
- ~~J. Required 18" to 32" wide pilaster or wall surface spaced at 20 to 40 feet along building facades facing street. Pilaster or wall surface shall extend the full height of the storefront frontage and shall be terminated by the sign band or horizontal expression line.~~
- ~~K. Transparency Upper Stories: Building facades facing streets shall have 10% to 35% of the facade be windows between the finish floor line of the second story and roof eave. Refer to Building Type for transparency requirements of upper stories.~~

9.02 BUILDING TYPE FRONTAGE OPTION 2: DOORYARD

Description: In a Dooryard Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard is at-grade.

Dooryard Location Requirements: Refer to [Illustration 6.432](#) for frontage location graphic reference.

Commented [JP122]: Add updated illustration removing D.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:
 - 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.

Additionally, one of the following landscape elements is required to be placed at the property line when the distance between facade and property line is greater than ten (10) feet:

 - i. A 24" to 42" high brick wall.
 - ii. A decorative metal fence that is 42" high maximum.
 - iii. A continuous hedge that is maintained at a 42" maximum height.
 - 3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director ~~and/or Planning Commission~~.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way ~~and lightwells may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.
- ~~D. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Dooryard Composition Requirements: Refer to [Illustration 6.443](#) for frontage composition graphic reference.

Commented [JP123]: Add illustration.

- A. Entry door(s) shall have 25% minimum transparency.
- B. Entry door(s) are required to be at-grade. At-grade entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - 3. Uncovered (with no canopy or supported roof ~~as depicted in the graphic~~).
 - 4. Recessed in building wall.

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- C. Transparency: Dooryard frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- D. Transparency Upper Stories: Building facades facing streets shall have 10% to 35% of the facade be windows between the finish floor line of the second story and roof eave Refer to Building Type for transparency requirements of upper stories.

9.03 BUILDING TYPE FRONTAGE OPTION 3: STOOP

Description: In a Stoop Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Stoop Location Requirements: Refer to Illustration 6.454 for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a minimum 5 foot wide sidewalk connecting the entry door to the public sidewalk. ~~Sidewalk connecting stoop and public sidewalk shall be minimum 5 feet wide.~~
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way and stoops, lightwells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.02.
- D. ~~Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP124]: Add updated illustration replacing D with C.

Stoop Composition Requirements: Refer to Illustration 6.465 for frontage composition graphic reference.

- A. Entry door(s) shall have 25% minimum transparency.
- B. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
- C. Depth of stoop landing shall be 4 feet minimum.
- D. Width of stoop landing shall be 5 feet minimum.
- E. Stoop shall be 12" minimum above adjacent grade.
- F. Transparency: Stoop frontage shall have 40% to 60% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- G. Transparency Upper Stories: Building facades facing streets shall have 10% to 35% of the facade be windows between the finish floor line of the second story and roof eave Refer to Building Type for transparency requirements of upper stories.

Commented [JP125]: Add illustration.

2006.12 LIVE/WORK BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Live/Work Building Type is a small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are owned by one entity. This Type is especially appropriate for incubating retail and service uses and allowing neighborhood retail to expand as the market demands.

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2.0 PRECEDENT OF LIVE/WORK BUILDING TYPE

The following images represent precedent examples of the Live/Work Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

Commented [JP126]: Add images.

3.0 BUILDING SIZE AND MASSING

Refer to [Illustration 6.476](#) for Building Type size and massing graphic representation.

Commented [JP127]: Add illustration.

- A. Building width at front street: 18 feet minimum and 36 feet maximum
- B. Building depth: 20 feet minimum
- C. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. ~~Attached garage is not permitted if a Carriage House is included on the parcel.~~
- D. Building may have a ~~detached garage or a~~ Carriage House ~~in lieu of an attached garage~~. Refer to Carriage House Building Type in Section 2006.18 for requirements.
- E. Live/Works per run of attached units: 2 minimum, 8 maximum.
- F. Maximum site coverage: 80% including garage or Carriage House.

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to [Illustration 6.487](#) for Building Type ground floor activation and pedestrian access graphic representation.

Commented [JP128]: Add illustration.

- A. Entrances to ground floor unit(s) are required to be located at the front and/or side street and shall be directly accessed from and face the street.
- B. Entrances to upper floor unit(s) are required to be located at the front and/or side street and shall be directly accessed from and face the street.
- C. Ground floor and upper floor unit(s) are required to have separate entrances.
- D. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.18.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Total of 2 units maximum. Both units shall be used by the same occupant.
- B. Live/Work Buildings per lot: 2 maximum.
- C. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Live/Work Building.

6.0 USE

Building Type use:

- B. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to [Illustration 6.498](#) for Building Type facade composition requirements.

Commented [JP129]: Add updated illustration removing C, D, and F.

- A. Building may have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- C. ~~Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave.~~

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~~D. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~

~~E.C. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~

~~F. Building shall have an 18" to 32" pilaster or wall surface every 18 to 36 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.~~

8.0 BUILDING TYPE STORY HEIGHT

Refer to ~~Illustration 6.5049~~ for Building Type story height requirements.

- A. Ground floor ceiling shall be ~~12-8-14~~ feet ~~minimum~~.
- B. Upper floor ceilings shall be ~~8-14~~ feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.
- D. On Building Type with flat roof option, the height of parapet wall shall be between 12" minimum and 4 feet maximum, measured from roof line.

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9.0 BUILDING TYPE FRONTAGE OPTIONS

The Live/Work Building Type is required to have 1 of the following 4 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

~~Combination of Frontages: For Flex Building Types, more than one frontage may used on the same building at front and/or side streets.~~

Frontage options for the Live/Work Building Type are provided in the table below and described on the following pages of this subsection.

Commented [JP131]: Add updated table including Lakeside Context Areas.

9.01 Building Type Frontage Option 1: Storefront

Description: The Storefront Frontage Type is applied to the ground level floor of a Building Type along the front and side streets. It is typically associated with retail and mixed-use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Location Requirements: Refer to ~~Illustration 6.519~~ for frontage location graphic reference.

Commented [JP132]: Add illustration.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the building facade shall have one of the following treatments depending on distance from the property line:
 - 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.
 - 3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director ~~and/or Planning Commission~~.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

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Storefront Composition Requirements: Refer to [Illustration 6.524](#) for frontage composition graphic reference.

- A. Storefronts shall extend across eighty (80) percent of the overall length of the first story ~~and shall be interrupted by the required pilasters referenced in item J. on this page.~~
- B. Optional transom window may extend over entry recess (as depicted) or follow entry recess.
- C. ~~When the facade wall of the building is set back less than three (3) feet from the sidewalk,~~ Entry door is required to be recessed three (3) feet to eight (8) feet from the facade wall of the building. The angled wall (the wall that connects the storefront to the door) in the recess area shall match the main storefront window.
- D. Entry door is required to be at adjacent sidewalk grade.
- E. Required 30" to 42" sign band or horizontal expression line above storefront window or transom. ~~Sign band or horizontal expression line shall extend the entire width of the storefront but may be interrupted by the required pilasters referenced in item J. on this page.~~
- F. Storefront window glass shall be eight (8) feet high minimum, measured from the adjacent grade.
- G. Transparency: Storefront frontage shall have 60% to 80% of the facade be windows between the top of the storefront base and bottom of sign band (or horizontal expression line). Entry door transparency shall be included as part of the required transparency calculation.
- H. Required 18" to 30" high storefront base.
- ~~I. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type. Pilaster or wall surface shall extend the full height of the storefront frontage, by may be interrupted by the sign band or horizontal expression line.~~
- ~~J. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave. Refer to Building Type for transparency requirements of upper stories.~~
- ~~K. Storefront windows may be replaced with overhead doors. Overhead doors that replace storefront windows are required to that meet the transparency requirements in item G. Refer to Image 6.44.~~

Commented [JP133]: Add updated illustration removing I.

9.02 Building Type Frontage Option 2: Dooryard

Description: In a Dooryard Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard is at-grade.

Dooryard Location Requirements: Refer to [Illustration 6.532](#) for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:
 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.

Additionally, one of the following landscape elements is required to be placed at the property line when the distance between facade and property line is greater than ten (10) feet:

 - i. A 24" to 42" high brick wall.

Commented [JP134]: Remove Image 6.44.

Commented [JP135]: Add updated illustration combining C and D.

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- ii. A decorative metal fence that is 42" high maximum.
- iii. A continuous hedge that is maintained at a 42" maximum height.
- C. Balconies, awnings, canopies, cornices, upper bays, and projecting signs may extend into the public right-of-way and lightwells may extend into required setbacks per the requirements of ~~the encroachment section in~~ Section 2003.02.
- ~~D. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Dooryard Composition Requirements: Refer to Illustration 6.543 for frontage composition graphic reference.

Commented [JP136]: Add illustration.

- A. Entry door(s) are required to be at-grade. At-grade entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - 3. Uncovered (with no canopy or supported roof.) ~~A as depicted~~ in the graphic.
- B. Transparency: Dooryard frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave Refer to Building Type for transparency requirements of upper stories.

9.03 Building Type Frontage Option 3: Lightwell

Description: In a Lightwell Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. This frontage has a combined elevated terrace and sunken lightwell between the building wall and property line. This frontage type buffers residential, retail, and service uses from urban sidewalks and removes the private yard from public encroachment.

Lightwell Location Requirements: Refer to Illustration 6.554 for frontage location graphic reference.

Commented [JP137]: Add updated illustration replacing F with E.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:
 - 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. Required exterior stair from adjacent sidewalk grade down to sunken lightwell.
- D. Required exterior stair from adjacent sidewalk grade to elevated terrace.
- E. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way and stoops, lightwells, and/or steps may extend into required setbacks per the requirements of ~~the encroachment section in~~ Section 2003.02.
- ~~F. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Lightwell Composition Requirements: Refer to Illustration 6.565 for frontage composition graphic reference.

Commented [JP138]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

- A. Entry door(s) are required to be elevated. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables (as depicted ~~in the graphic~~).
 - 2. Uncovered (with no canopy or supported roof).
- B. Depth of required terrace shall be 4 feet minimum and 8 feet maximum.
- C. Terrace shall be 3 feet minimum above adjacent grade.
- D. Depth of required lightwell shall be 6 feet minimum and 10 feet maximum.
- E. Transparency First Floor: Lightwell frontage shall have 10% to 50% of the facade be windows between the finish floor line of the first story and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- F. Transparency Lightwell: Lightwell frontage shall have 10% to 30% of the facade be windows between the finish floor line of the first story and the finish floor line of the lightwell (basement).
- G. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave. Refer to Building Type for transparency requirements of upper stories.~~
- ~~H. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.~~

9.04 Building Type Frontage Option 4: Stoop

Description: In a Stoop Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Stoop Location Requirements: Refer to ~~Illustration 6.576~~ for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:
 - 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a ~~minimum 5 foot wide~~ sidewalk connecting the entry door to the public sidewalk. ~~Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.~~
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP139]: Add updated illustration replacing D with C.

Stoop Composition Requirements: Refer to ~~Illustration 6.587~~ for frontage composition graphic reference.

- A. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
- B. Depth of stoop landing shall be 4 feet minimum.
- C. Width of stoop landing shall be 5 feet minimum.

Commented [JP140]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

- D. Stoop shall be 12" minimum above adjacent grade.
- E. Transparency: Stoop frontage shall have 40% to 60% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- F. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave Refer to Building Type for transparency requirements of upper stories.

2006.13 LARGE MULTI-PLEX BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Large Multi-Plex Building Type is a medium- to large-sized structure that consists of 7 or more side-by-side and/or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in medium-density neighborhoods and enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

2.0 PRECEDENT OF LARGE MULTI-PLEX BUILDING TYPE

The following images represent precedent examples of the Large Multi-Plex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

3.0 BUILDING SIZE AND MASSING

Refer to Illustration 6.598 for Building Type size and massing graphic representation.

- A. Building width at front street: 80 feet maximum
- B. Building width at side street: 80 feet maximum
- C. Building depth: 75 feet maximum
- D. Maximum site coverage: 70%

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to Illustration 6.605 for Building Type ground floor activation and pedestrian access graphic representation.

- A. Main entrances shall be located along front street.
- B. Units shall be accessed by a common entry along the front street.
- C. On corner lots, units may enter from a secondary side street common entry.
- D. Units may enter from a secondary common entry in the rear of the building.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Total of 7 or more units per building.
- B. Large Multi-Plex Buildings per lot: 1 maximum.

6.0 USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Commented [JP141]: Add images.

Commented [JP142]: Add illustration.

Commented [JP143]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

Refer to [Illustration 6.619](#) for Building Type facade composition requirements.

- A. Building shall have a flat roof with parapet.
- B. Building shall have a cornice expression line at roofline.
- ~~C. Transparency Upper Stories: Building facades facing streets shall have 10% to 40% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line.~~
- ~~D. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~
- ~~E.C. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~
- ~~F. Building shall have an 18" to 32" pilaster or wall surface every 20 to 40 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.~~

Commented [JP144]: Add updated illustration removing C, D, and F.

8.0 BUILDING TYPE STORY HEIGHT

Refer to [Illustration 6.621](#) for Building Type story height requirements.

- A. Ground floor ceiling shall be ~~8-14~~10 feet ~~minimum~~.
- B. Upper floor ceilings shall be 8-~~10~~ feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.
- D. Height of parapet wall shall be between 12" minimum and 4 feet maximum, measured from roof line.

Commented [JP145]: Add illustration.

9.0 BUILDING TYPE FRONTAGE OPTIONS

The Large Multi-Plex Building Type is required to have 1 of the following 4 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Frontage options for the Large Multi-Plex Building Type are provided in the table below and described on the following pages of this subsection.

9.01 Building Type Frontage Option 1: Forecourt

Description: In a Forecourt Frontage Type, the facade of the building that faces the front street is at or near the right-of-way line and a small percentage of the facade is set back, creating a small courtyard space. The courtyard space may be used as an entry court or shared garden space. The courtyard area is not covered and extends the entire height of the building.

Forecourt Location Requirements: Refer to [Illustration 6.632](#) for frontage location graphic reference.

- A. A minimum of 30% of the building facade of the forecourt frontage is required to be placed within the build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk(s) connecting entry door(s) to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. Required courtyard shall have a width ~~that is of~~ twelve (12) feet minimum.
- D. Required courtyard shall have a depth of twelve (12) feet minimum.
- E. Courtyard ~~shall not exceed 1,200 square feet in area~~ and shall be landscaped, with sidewalks connecting entry doors. Landscape shall cover 70% minimum of the courtyard's ground area.
- F. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way per the requirements of ~~the encroachment section in~~ Section 2003.02.

Commented [JP146]: Add updated table including Lakeside Context Areas.

Commented [JP147]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

Forecourt Composition Requirements: Refer to [Illustration 6.643](#) for frontage composition graphic reference for building walls that face the courtyard and building walls that face the front and side streets.

Commented [JP148]: Add illustration.

- A. Entry door(s) shall have 25% minimum transparency.
- B. Entry door(s) may be at-grade or elevated and accessed by steps.
 - 1. At-grade entry door (zero-step) shall have one of the following treatments:
 - i. Covered with a supported roof (as depicted ~~in the graphic~~). Roof shall be supported with columns.
 - ii. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - iii. Uncovered (with no canopy or supported roof).
 - iv. Recessed in building wall.
 - 2. Elevated entry door shall have one of the following treatments:
 - i. Covered with a supported roof. Roof shall be supported with columns.
 - ii. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - 3. Elevated entry doors shall have a stoop (landing at door) that is minimum 4 feet deep and minimum 4 feet wide.
- C. Transparency: Forecourt frontage shall have 10% to 40% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.

~~D. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.~~

~~E.D. Transparency Upper Stories: Building facades facing streets shall have 10% to 40% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line. Refer to Building Type for transparency requirements of upper stories.~~

9.02 Building Type Frontage Option 2: Dooryard

Description: In a Dooryard Frontage Type, the facade of the building that faces the front street is setback a small distance from the front and side streets, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard may be raised or at-grade and is most often intended for ground floor residential.

Dooryard Location Requirements: Refer to [Illustration 6.654](#) for frontage location graphic reference.

Commented [JP149]: Add updated illustration replacing D with C.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:
 - 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width that is equal to the width of the widest part of the entry door recess.Additionally, one of the following landscape elements is required to be placed at the property line when the distance between facade and property line is greater than ten (10) feet:
 - i. A 24" to 42" high brick wall.
 - ii. A decorative metal fence that is 42" high maximum.
 - iii. A continuous hedge that is maintained at a 42" maximum height.

SECTION 2006 BUILDING TYPE STANDARDS

3. Ground area may be paved at distances greater than ten (10) feet when outdoor seating is proposed per approval of Planning Director ~~and/or Planning Commission.~~

C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~Architectural elements may extend into the public right-of-way ~~and lightwells may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.

~~D. Wells may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Dooryard Composition Requirements: Refer to ~~Illustration 6.665~~ for frontage composition graphic reference.

Commented [JP150]: Add illustration.

- A. Entry door(s) shall have 25% minimum transparency.
- B. Entry door(s) shall be at-grade (zero-step) and shall have one of the following treatments:
 - 1. Covered with a supported roof (as depicted ~~in the graphic~~). Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - 3. Uncovered (with no canopy or supported roof).
 - 4. Recessed in building wall.
- C. Transparency: Dooryard frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.

~~D. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.~~

~~E.D. Transparency Upper Stories: Building facades facing streets shall have 10% to 40% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line~~Refer to Building Type for transparency requirements of upper stories.

9.03 Building Type Frontage Option 3: Stoop

Description: In a Stoop Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Stoop Location Requirements: Refer to ~~Illustration 6.676~~ for frontage location graphic reference.

Commented [JP151]: Add updated illustration replacing D with C.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:
 - 1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk.
 - 2. Distance between building facade and property line is greater than ten (10) feet: Ground area shall be landscaped with a minimum 5 foot wide sidewalk connecting the entry door to the public sidewalk. ~~Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.~~

C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.

~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Stoop Composition Requirements: Refer to ~~Illustration 6.687~~ for frontage composition graphic reference.

Commented [JP152]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

- A. Entry door(s) shall have 25% minimum transparency.
- B. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
- C. Depth of stoop landing shall be 4 feet minimum.
- D. Width of stoop landing shall be 5 feet minimum.
- E. Stoop shall be 18" minimum above adjacent grade.
- F. Transparency: Stoop frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- G. Transparency Upper Stories: **Building facades facing streets shall have 10% to 40% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line** Refer to **Building Type for transparency requirements of upper stories.**

9.04 Building Type Frontage Option 4: Projecting Porch

Description: In a Projecting Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Projecting Porch Location Requirements: Refer to **Illustration 6.698** for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ **Architectural elements** may extend into the public right-of-way **and stoops, lightwells, and/or steps may extend into required setbacks** per the requirements of **the encroachment section in Section 2003.02.**
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP153]: Add updated illustration replacing D with C.

Projecting Porch Composition Requirements: Refer to **Illustration 6.7069** for frontage composition graphic reference.

Commented [JP154]: Add illustration.

- A. Entry door(s) shall have 25% minimum transparency.
- B. Depth of porch shall be 6 feet minimum.
- C. Width of porch shall be 8 feet minimum.
- D. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- E. Porch shall be 18" minimum above adjacent grade.
- F. Projecting porches shall be open on three sides (no walls on three sides).
- G. Furniture area shall be 4 feet x 6 feet minimum clear area.

SECTION 2006 BUILDING TYPE STANDARDS

- H. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- I. Transparency Upper Stories: Building facades facing streets shall have 10% to 40% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line Refer to Building Type for transparency requirements of upper stories.

2006.14 SMALL MULTI-PLEX BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Small Multi-Plex Building Type is a medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a large single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

2.0 PRECEDENT OF SMALL MULTI-PLEX BUILDING TYPE

The following images represent precedent examples of the Small Multi-Plex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

3.0 BUILDING SIZE AND MASSING

Refer to Illustration 6.719 for Building Type size and massing graphic representation.

- A. Building width at front street: 48 feet maximum.
- ~~B.~~ Building depth: ~~48 feet maximum~~ 20 feet minimum.
- ~~C.~~ Building secondary wing depth (if secondary wing is used): 30 feet maximum.
- ~~D.~~ ~~B.~~ Building secondary wing width (if secondary wing is used): 30 feet maximum.
- ~~C.~~ Building may have an attached garage located in the rear of the building and accessed from an alley or side street.
- ~~D.~~ Building may have a detached garage or a Carriage House. Refer to Carriage House Building Type in Section 2006.18 for requirements.
- E. Maximum site coverage: 70% including garage or Carriage House.

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to Illustration 6.724 for Building Type ground floor activation and pedestrian access graphic representation.

- A. Main entrances shall be located along front street.
- B. Each unit may have an individual entry or units may be accessed from a common entrance ~~and lobby~~.
- C. On corner lots, units may enter from a secondary side street individual entry or common entry.
- ~~D.~~ Units may enter from a secondary common entry or individual entry in the rear of the building.
- ~~D.~~ ~~E.~~ Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.18.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. 3 units minimum, 6 units maximum per building.

Commented [JP155]: Add images.

Commented [JP156]: Add updated illustration removing secondary wing and relabeling with correct letters.

Commented [JP157]: Add updated illustration adding E.

SECTION 2006 BUILDING TYPE STANDARDS

~~B.~~ Small Multi-plex Buildings per lot: 1 maximum.

~~B-C.~~ ~~An additional unit is permitted if Carriage House Building Type is used in conjunction with the Small Multi-plex Building.~~

6.0 USE

Building Type use:

A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to ~~Illustration 6.732~~ for Building Type facade composition requirements.

A. Building may have a flat roof with parapet or a pitched (sloped) roof.

B. Buildings with flat roof shall have a cornice expression line at roofline.

~~C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave.~~

~~D. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~

~~E-C.~~ Upper windows shall be square or vertically proportioned ~~with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~

Commented [JP158]: Add updated illustration removing C and D.

8.0 BUILDING TYPE STORY HEIGHT

Refer to ~~Illustration 6.743~~ for Building Type story height requirements.

A. Ground floor ceiling shall be ~~8-109~~ feet ~~minimum~~.

B. Upper floor ceilings shall be ~~8-10~~ feet ~~minimum~~.

C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

D. On Building Type with flat roof option, the height of parapet wall shall be between 12" minimum and 4 feet maximum, measured from roof line.

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9.0 BUILDING TYPE FRONTAGE OPTIONS

The Small Multi-Plex Building Type is required to have 1 of the following 3 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Frontage options for the Small Multi-Plex Building Type are provided in the table below and described on the following pages of this subsection.

9.01 Building Type Frontage Option 1: Stoop

Description: In a Stoop Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Stoop Location Requirements: Refer to ~~Illustration 6.754~~ for frontage location graphic reference.

A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.

B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a ~~minimum 5 foot wide~~ sidewalk connecting the entry door to the public sidewalk.

~~Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.~~

Commented [JP160]: Add updated table including Lakeside Context Areas.

Commented [JP161]: Add updated illustration replacing D with C.

SECTION 2006 BUILDING TYPE STANDARDS

- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in Section 2003.02.~~
- D. ~~Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Stoop Composition Requirements: Refer to ~~Illustration 6.765~~ for frontage composition graphic reference.

Commented [JP162]: Add illustration.

- A. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables.
 - 3. Uncovered (with no canopy or supported roof).
- B. Depth of stoop landing shall be 4 feet minimum.
- C. Width of stoop landing shall be 5 feet minimum.
- D. Stoop shall be 12" minimum above adjacent grade.
- E. Transparency: Stoop frontage shall have 10% to 60% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- F. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave~~Refer to Building Type for transparency requirements of upper stories.

9.02 Building Type Frontage Option 2: Projecting Porch

Description: In a Projecting Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Projecting Porch Location Requirements: Refer to ~~Illustration 6.776~~ for frontage location graphic reference.

Commented [JP163]: Add updated illustration replacing D with C.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in Section 2003.02.~~
- D. ~~Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Projecting Porch Composition Requirements: Refer to ~~Illustration 6.787~~ for frontage composition graphic reference.

Commented [JP164]: Add illustration.

- A. Depth of porch shall be 6 feet minimum.
- B. Width of porch shall be 8 feet minimum.

SECTION 2006 BUILDING TYPE STANDARDS

- C. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- D. Porch shall be 18" minimum above adjacent grade.
- E. Projecting porches shall be open on three sides (no walls on three sides).
- F. Furniture area shall be 4 feet x 6 feet minimum clear area.
- G. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- H. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave~~Refer to Building Type for transparency requirements of upper stories.~~

9.03 Building Type Frontage Option 3: Engaged Porch

Description: In an Engaged Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Engaged Porch Location Requirements: Refer to Illustration 6.798 for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~Architectural elements may extend into the public right-of-way and stoops, lightwells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.02.
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP165]: Add updated illustration replacing D with C.

Engaged Porch Composition Requirements: Refer to Illustration 6.8079 for frontage composition graphic reference.

Commented [JP166]: Add illustration.

- A. Depth of porch shall be 6 feet minimum.
- B. Width of porch shall be 8 feet minimum.
- C. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- D. Porch shall be 18" minimum above adjacent grade.
- E. Engaged porches shall be open on two sides (no walls on two sides).
- F. Engaged porches shall have building walls on two sides.
- G. A minimum of 33% of the building facade shall project either beyond the line of the porch columns or flush with the porch columns.
- H. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.

SECTION 2006 BUILDING TYPE STANDARDS

- I. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave Refer to Building Type for transparency requirements of upper stories.

2006.15 ROWHOUSE BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Rowhouse Building Type is a small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

2.0 PRECEDENT OF ROWHOUSE BUILDING TYPE

The following images represent precedent examples of the Rowhouse Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

3.0 BUILDING SIZE AND MASSING

Refer to Illustration 6.819 for Building Type size and massing graphic representation.

- A. Building width at front street: 18 feet minimum and 36 feet maximum.
- B. Building depth: 20 feet minimum.
- C. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. Attached garage is not permitted if a Carriage House is included on the parcel.
- D. Building may have a detached garage or a Carriage House in lieu of an attached garage. Refer to Carriage House Building Type in Section 2006.18 for requirements.
- E. Rowhouses per run of attached units: 2 minimum, 8 maximum.
- F. Maximum site coverage: 80% including garage or Carriage House.

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to Illustration 6.824 for Building Type ground floor activation and pedestrian access graphic representation.

- A. Entrances to ground floor unit(s) are required to be located at the front and/or side street and shall be directly accessed from and face the street.
- B. Entrances to upper floor unit(s) are required to be located at the front and/or side street and shall be directly accessed from and face the street.
- C. Ground floor and upper floor unit(s) are required to have separate entrances.
- D. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.18.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Total of 1 unit per building.
- B. Rowhouse Buildings per lot: 1 maximum.
- C. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Rowhouse Building.

6.0 USE

Commented [JP167]: Add images.

Commented [JP168]: Add illustration.

Commented [JP169]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to [Illustration 6.832](#) for Building Type facade composition requirements.

- A. Building shall have a flat roof with parapet or a pitched (sloped) roof.
- B. Buildings with flat roof shall have a cornice expression line at roofline.
- ~~C. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave.~~
- ~~D. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~
- ~~E.C. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~
- ~~F. Building shall have an 18" to 32" pilaster or wall surface every 18 to 36 feet along building facades facing streets. Pilasters shall extend vertically from grade to cornice expression line.~~

Commented [JP170]: Add updated illustration removing C, D, and F.

8.0 BUILDING TYPE STORY HEIGHT

Refer to [Illustration 6.843](#) for Building Type story height requirements.

- A. Ground floor ceiling shall be ~~8-14~~10 feet ~~minimum~~.
- B. Upper floor ceilings shall be ~~8-10~~ feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.
- D. On Building Type with flat roof option, the height of parapet wall shall be between 12" minimum and 4 feet maximum, measured from roof line.

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9.0 BUILDING TYPE FRONTAGE OPTIONS

The Rowhouse Building Type is required to have 1 of the following 3 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Combination of Frontages: For Rowhouse Building Types, each individual rowhouse within a run, may have a different frontage than its neighbor. All rowhouses within a run are not required to have the same frontage.

Frontage options for the Rowhouse Building Type are provided in the table below and described on the following pages of this subsection.

9.01 Building Type Frontage Option 1: Lightwell

Description: In a Lightwell Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. This frontage has a combined elevated terrace and sunken lightwell between the building wall and property line. This frontage type buffers residential uses from urban sidewalks and removes the private yard from public encroachment.

Lightwell Location Requirements: Refer to [Illustration 6.854](#) for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- ~~B. The ground area between the front and side street property lines and the main building facade shall have one of the following treatments depending on distance from the property line:~~

Commented [JP172]: Add updated table including Lakeside Context Areas.

Commented [JP173]: Add updated illustration replacing F with E.

SECTION 2006 BUILDING TYPE STANDARDS

- ~~1. Distance between building facade and property line is zero (0) to ten (10) feet: Ground area shall be paved to match public sidewalk. Unless the~~
- ~~2.B. Distance between the building facade and property line is greater than ten (10) feet: in which case the G ground area shall be landscaped with a minimum 5 foot wide sidewalk connecting the entry door to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.~~
- C. Required exterior stair from adjacent sidewalk grade down to sunken lightwell.
- D. Required exterior stair from adjacent sidewalk grade to elevated terrace.
- E. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.
- ~~F. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Lightwell Composition Requirements: Refer to ~~Illustration 6.865~~ for frontage composition graphic reference.

- A. Entry door(s) are required to be elevated. Elevated entry doors shall have one of the following treatments:
 1. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables. (As depicted ~~in the graphic~~).
 2. Uncovered (with no canopy or supported roof).
- B. Depth of required terrace shall be 4 feet minimum and 8 feet maximum.
- C. Terrace shall be 3 feet minimum above adjacent grade.
- D. Depth of required lightwell shall be 6 feet minimum and 10 feet maximum.
- E. Transparency First Floor: Lightwell frontage shall have 10% to 50% of the facade be windows between the finish floor line of the first story and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- F. Transparency Lightwell: Lightwell frontage shall have 10% to 30% of the facade be windows between the finish floor line of the first story and the finish floor line of the lightwell (basement).
- G. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave~~Refer to Building Type for transparency requirements of upper stories.
- ~~H. Required 18" to 32" wide pilaster or wall surface spaced as indicated by Building Type.~~

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9.02 Building Type Frontage Option 2: Stoop

Description: In a Stoop Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Stoop Location Requirements: Refer to ~~Illustration 6.876~~ for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a ~~minimum 5 foot wide~~ sidewalk connecting the entry door to the public sidewalk. ~~Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.~~
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.

Commented [JP175]: Add updated illustration replacing D with C.

SECTION 2006 BUILDING TYPE STANDARDS

~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Stoop Composition Requirements: Refer to ~~Illustration 6.887~~ for frontage composition graphic reference.

Commented [JP176]: Add illustration.

- A. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns.
 - 2. Covered with a canopy. Canopy shall be cantilevered or supported by brackets or cables (as depicted ~~in graphic~~).
 - 3. Uncovered (with no canopy or supported roof).
- B. Depth of stoop landing shall be 4 feet minimum.
- C. Width of stoop landing shall be 5 feet minimum.
- D. Stoop shall be 18" minimum above adjacent grade.
- E. Transparency: Stoop frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- F. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave~~ Refer to Building Type for transparency requirements of upper stories.

9.03 Building Type Frontage Option 3: Projecting Porch

Description: In a Projecting Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Projecting Porch Location Requirements: Refer to ~~Illustration 6.898~~ for frontage location graphic reference.

Commented [JP177]: Add updated illustration replacing D with C.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Projecting Porch Composition Requirements: Refer to ~~Illustration 6.9089~~ for frontage composition graphic reference.

Commented [JP178]: Add illustration.

- A. Depth of porch shall be 6 feet minimum.
- B. Width of porch shall be 8 feet minimum.
- C. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- D. Porch shall be 18" minimum above adjacent grade.

SECTION 2006 BUILDING TYPE STANDARDS

- E. Projecting porches shall be open on three sides (no walls on three sides).
- F. Furniture area shall be 4 feet x 6 feet minimum clear area.
- G. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- H. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of cornice expression line or eave Refer to Building Type for transparency requirements of upper stories.

2006.16 DUPLEX BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Duplex Building Type is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a medium-sized single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types.

2.0 PRECEDENT OF DUPLEX BUILDING TYPE

The following images represent precedent examples of the Duplex Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

3.0 BUILDING SIZE AND MASSING

Refer to Illustration 6.919 for Building Type size and massing graphic representation.

- A. Building width at front street: 48 feet maximum.
- B. Building depth: 20 feet minimum.
- C. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. ~~Attached garage is not permitted if a Carriage House is included on the parcel.~~
- D. Building may have a detached garage or a Carriage House in lieu of an attached garage. Refer to Carriage House Building Type in Section 2006.18 for requirements.
- E. Maximum site coverage: 50% including garage or Carriage House.

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to Illustration 6.924 for Building Type ground floor activation and pedestrian access graphic representation.

- A. Entrances to ground floor unit(s) are required to be located at the front and/or side street and shall be directly accessed from and face the street.
- B. Entrances to upper floor unit(s) are required to be located at the front and/or side street and shall be directly accessed from and face the street. Existing Detached House Buildings may add an additional unit without meeting this requirement.
- C. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.18.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Total of 2 units per building.

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Commented [JP181]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

- B. Duplex Buildings per lot: 1 maximum.
- C. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Duplex Building.

6.0 USE

Building Type use:

- B. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to [Illustration 6.932](#) for Building Type facade composition requirements.

- A. Building shall have a pitched (sloped) roof that is compatible to the surrounding residential architecture.
- ~~B. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave.~~
- ~~C. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~
- ~~D. B. Upper windows shall be square or vertically proportioned with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~

Commented [JP182]: Add updated illustration removing B and C.

8.0 BUILDING TYPE STORY HEIGHT

Refer to [Illustration 6.943](#) for Building Type story height requirements.

- A. Ground floor ceiling shall be ~~8-109~~ feet ~~minimum~~.
- B. Upper floor ceilings shall be ~~8-10~~ feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

Commented [JP183]: Add illustration.

9.0 BUILDING TYPE FRONTAGE OPTIONS

The Duplex Building Type is required to have 1 of the following 3 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Frontage options for the Duplex Building Type are provided in the table below and described on the following pages of this subsection.

9.01 Building Type Frontage Option 1: Stoop

Description: In a Stoop Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Stoop Location Requirements: Refer to [Illustration 6.954](#) for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a ~~minimum 5 foot wide~~ sidewalk connecting the entry door to the public sidewalk. ~~Sidewalk connecting stoop and public sidewalk shall be minimum 5 feet wide.~~
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in~~ Section 2003.02.

Commented [JP185]: Add updated illustration replacing D with C.

Commented [JP184]: Add updated table including Lakeside Context Areas.

SECTION 2006 BUILDING TYPE STANDARDS

~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Stoop Composition Requirements: Refer to ~~Illustration 6.965~~ for frontage composition graphic reference.

Commented [JP186]: Add illustration.

- A. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns (as depicted ~~in the graphic~~).
 - 2. Uncovered (with no canopy or supported roof).
- B. Depth of stoop landing shall be 4 feet minimum.
- C. Width of stoop landing shall be 5 feet minimum.
- D. Stoop shall be 12" minimum above adjacent grade.
- E. Transparency: Stoop frontage shall have 40% to 60% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- F. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave~~ Refer to Building Type for transparency requirements of upper stories.

9.02 Building Type Frontage Option 2: Projecting Porch

Description: In a Projecting Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Projecting Porch Location Requirements: Refer to ~~Illustration 6.976~~ for frontage location graphic reference.

Commented [JP187]: Add updated illustration replacing D with C.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way ~~and stoops, lightwells, and/or steps may extend into required setbacks~~ per the requirements of ~~the encroachment section in Section 2003.02.~~
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Projecting Porch Composition Requirements: Refer to ~~Illustration 6.987~~ for frontage composition graphic reference.

Commented [JP188]: Add illustration.

- A. Depth of porch shall be 6 feet minimum.
- B. Width of porch shall be 8 feet minimum.
- C. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- D. Porch shall be 18" minimum above adjacent grade.
- E. Projecting porches shall be open on three sides (no walls on three sides).
- F. Furniture area shall be 4 feet x 6 feet minimum clear area.

SECTION 2006 BUILDING TYPE STANDARDS

- G. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- H. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave~~ Refer to Building Type for transparency requirements of upper stories.

9.03 Building Type Frontage Option 3: Engaged Porch

Description: In an Engaged Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Engaged Porch Location Requirements: Refer to ~~Illustration 6.998~~ for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way and stoops, lightwells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.02.
- D. ~~Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP189]: Add updated illustration replacing D with C.

Engaged Porch Composition Requirements: Refer to ~~Illustration 6.10099~~ for frontage composition graphic reference.

- A. Depth of porch shall be 6 feet minimum.
- B. Width of porch shall be 8 feet minimum.
- C. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- D. Porch shall be 18" minimum above adjacent grade.
- E. Engaged porches shall be open on two sides (no walls on two sides).
- F. Engaged porches shall have building walls on two sides.
- G. A minimum of 33% of the building facade shall project either beyond the line of the porch columns or flush with the porch columns.
- H. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- I. Transparency Upper Stories: ~~Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave~~ Refer to Building Type for transparency requirements of upper stories.

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2006.17 DETACHED HOUSE BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

SECTION 2006 BUILDING TYPE STANDARDS

The Detached House Building Type is a small- to medium-sized detached structure that incorporates one dwelling unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types.

2.0 PRECEDENT OF DETACHED HOUSE BUILDING TYPE

The following images represent precedent examples of the Detached House Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

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3.0 BUILDING SIZE AND MASSING

Refer to [Illustration 6.1010](#) for Building Type size and massing graphic representation.

Commented [JP192]: Add illustration.

- A. Building width at front street: 36 feet maximum.
- B. Building depth: 20 feet minimum.
- C. Building may have an attached garage located in the rear of the building and accessed from an alley or side street. ~~Attached garage is not permitted if a Carriage House is included on the parcel.~~
- D. Building may have a ~~detached garage or a~~ Carriage House ~~in lieu of an attached garage~~. Refer to Carriage House Building Type in Section 2006.18 for requirements.
- E. Maximum site coverage: 50% including garage or Carriage House.

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to [Illustration 6.1024](#) for Building Type ground floor activation and pedestrian access graphic representation.

Commented [JP193]: Add illustration.

- A. Main entrance is required to be located at the front and shall be directly accessed from and face the street.
- B. Carriage House entrances shall be as required by the Carriage House Building Type in Section 2006.18.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Total of 1 unit per building.
- B. Detached House Buildings per lot: 1 maximum.
- C. An additional unit is permitted if Carriage House Building Type is used in conjunction with the Detached House Building.

6.0 USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to [Illustration 6.1032](#) for Building Type facade composition requirements.

Commented [JP194]: Add illustration.

- A. Building shall have a pitched (sloped) roof that is compatible to the surrounding residential architecture.
- ~~B. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave.~~
- ~~C. Transparency Street/Sidewalk Level: Refer to Building Frontage options for transparency requirements at the street and sidewalk level.~~

SECTION 2006 BUILDING TYPE STANDARDS

~~D.B.~~ Upper windows shall be square or vertically proportioned ~~with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~

8.0 BUILDING TYPE STORY HEIGHT

Refer to ~~Illustration 6.1043~~ for Building Type story height requirements.

- A. Ground floor ceiling shall be ~~8-109~~ feet ~~minimum~~.
- B. Upper floor ceilings shall be ~~8-10~~ feet ~~minimum~~.
- C. Overall height of Building Type is regulated by Context Area, refer to Section 2005.

Commented [JP195]: Add illustration.

9.0 BUILDING TYPE FRONTAGE OPTIONS

The Detached House Building Type is required to have 1 of the following 3 frontage configurations applied to the ground level floor where it abuts front and side streets, civic space, and/or public rights-of-way.

Frontage options for the Detached House Building Type are provided in the table below and described on the following pages of this subsection.

9.01 Building Type Frontage Option 1: Stoop

Description: In a Stoop Frontage Type, the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Commented [JP196]: Add updated table including Lakeside Context Areas.

Stoop Location Requirements: Refer to ~~Illustration 6.1054~~ for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a minimum 5 foot wide sidewalk connecting the entry door to the public sidewalk. ~~Sidewalk connecting stoop and public sidewalk shall be minimum 5 feet wide.~~
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ Architectural elements may extend into the public right-of-way and stoops, lightwells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.02.
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP197]: Add updated illustration replacing D with C.

Stoop Composition Requirements: Refer to ~~Illustration 6.1065~~ for frontage composition graphic reference.

Commented [JP198]: Add illustration.

- A. Entry door(s) are required to be elevated above adjacent grade. Elevated entry doors shall have one of the following treatments:
 - 1. Covered with a supported roof. Roof shall be supported with columns (as depicted ~~in the graphic~~).
 - 2. Uncovered (with no canopy or supported roof).
- B. Depth of stoop landing shall be 4 feet minimum.
- C. Width of stoop landing shall be 5 feet minimum.
- D. Stoop shall be 12" minimum above adjacent grade.
- E. Transparency: Stoop frontage shall have 40% to 60% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.

SECTION 2006 BUILDING TYPE STANDARDS

- F. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave Refer to Building Type for transparency requirements of upper stories.

9.02 Building Type Frontage Option 2: Projecting Porch

Description: In a Projecting Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Projecting Porch Location Requirements: Refer to Illustration 6.1076 for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. Balconies, awnings, canopies, cornices, upper bays, and projecting signs Architectural elements may extend into the public right-of-way and stoops, lightwells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.02.
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP199]: Add updated illustration replacing D with C.

Projecting Porch Composition Requirements: Refer to Illustration 6.1087 for frontage composition graphic reference.

- A. Depth of porch shall be 6 feet minimum.
- B. Width of porch shall be 8 feet minimum.
- C. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- D. Porch shall be 18" minimum above adjacent grade.
- E. Projecting porches shall be open on three sides (no walls on three sides).
- F. Furniture area shall be 4 feet x 6 feet minimum clear area.
- G. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- H. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave Refer to Building Type for transparency requirements of upper stories.

Commented [JP200]: Add illustration.

9.03 Building Type Frontage Option 3: Engaged Porch

Description: In an Engaged Porch Frontage Type, the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

SECTION 2006 BUILDING TYPE STANDARDS

Engaged Porch Location Requirements: Refer to [Illustration 6.1098](#) for frontage location graphic reference.

- A. The building facade(s) are required to be placed within a build-to-zone as required by the building site placement requirements in the Context Area section. Refer to Section 2005.
- B. The ground area between the front and side street property lines and the main building facade shall be landscaped with a sidewalk connecting the porch steps to the public sidewalk. Sidewalk connecting entry door and public sidewalk shall have a width of 5 feet minimum.
- C. ~~Balconies, awnings, canopies, cornices, upper bays, and projecting signs~~ **Architectural elements** may extend into the public right-of-way **and stoops, lightwells, and/or steps may extend into required setbacks** per the requirements of **the encroachment section in Section 2003.02**.
- ~~D. Stoops, wells, and/or steps may extend into required setbacks per the requirements of the encroachment section in Section 2003.~~

Commented [JP201]: Add updated illustration replacing D with C.

Engaged Porch Composition Requirements: Refer to [Illustration 6.1109](#) for frontage composition graphic reference.

- A. Depth of porch shall be 6 feet minimum.
- B. Width of porch shall be 8 feet minimum.
- C. Height of porch ceiling, measured from porch floor shall be 8 feet minimum.
- D. Porch shall be 18" minimum above adjacent grade.
- E. Engaged porches shall be open on two sides (no walls on two sides).
- F. Engaged porches shall have building walls on two sides.
- G. A minimum of 33% of the building facade shall project either beyond the line of the porch columns or flush with the porch columns.
- H. Transparency: Porch frontage shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story. Entry door transparency shall be included as part of the required transparency calculation.
- I. Transparency Upper Stories: **Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the eave** ~~Refer to Building Type for transparency requirements of upper stories.~~

Commented [JP202]: Add illustration.

2006.18 CARRIAGE HOUSE BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Carriage House Building Type is an accessory structure typically located at the rear of a lot. It typically provides either a small residential unit or home office space which could be located at ground-level, above, or adjacent to a first floor garage. This Type is important for providing affordable housing choices that are integrated into diverse neighborhoods. This Type shall only be used in conjunction with the Detached House, Duplex, Rowhouse, Live/Work, or Small Multi-plex Building Types.

2.0 PRECEDENT OF CARRIAGE HOUSE BUILDING TYPE

The following images represent precedent examples of the Carriage House Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

Commented [JP203]: Add images.

3.0 BUILDING SIZE AND MASSING

Refer to [Illustration 6.1110](#) for Building Type size and massing graphic representation.

- A. Building width (side facing street): 36 feet maximum.

Commented [JP204]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

- B. Building depth: 20 feet minimum.
- C. Separation from main building: ~~10-6~~ feet minimum. ~~Carriage house may be connected to the main building with an uninhabitable space such as a breezeway.~~
- D. Carriage House Building Type is only allowed on lots where the main building has a residential use and is one of the following building types:
 - 1. Small Multi-plex Building Type
 - 2. Live/Work Building Type
 - 3. Rowhouse Building Type
 - 4. Duplex Building Type
 - 5. Detached House Building Type
- E. Maximum site coverage: Lot coverage of Carriage House shall be included in the lot coverage requirements of the main building.
- F. Building footprint shall not exceed the footprint of the main building on the lot.

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Refer to ~~Illustration 6.1124~~ for Building Type ground floor activation and pedestrian access graphic representation.

Commented [JP205]: Add illustration.

- A. Main entrance is required to be accessed from the alley, side street, or internal to the lot.
- B. Main entrance shall not be through a garage.
- C. Parking may be accessed from the alley, side street, or front street.
- D. Parking may be accessed from the front street only when there is no adjacent alley or side street.

5.0 NUMBER OF UNITS

Number of units per Building Type:

- A. Total of 1 unit per building.
- B. Carriage House Buildings per lot: 1 maximum.

6.0 USE

Building Type use:

- A. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Refer to ~~Illustration 6.1132~~ for Building Type facade composition requirements.

Commented [JP206]: Add illustration.

- A. Building shall have a flat roof with cornice expression line or pitched (sloped) roof that is compatible with the architecture of the main building.
- B. Transparency Upper Stories: Building facades facing streets shall have 10% to 50% of the facade be windows between the finish floor line of the second story and bottom of the cornice expression line or eave.
- C. Transparency Street/Sidewalk Level: Building facades facing streets shall have 10% to 50% of the facade be windows between the adjacent grade and the finish floor line of the second story.
- D. Upper windows shall be square or vertically proportioned ~~with clear glass. Refer to definitions in Division 11 for clear glass requirements.~~

8.0 BUILDING TYPE STORY HEIGHT

Refer to ~~Illustration 6.1143~~ for Building Type story height requirements.

Commented [JP207]: Add illustration.

SECTION 2006 BUILDING TYPE STANDARDS

- A. Ground floor ceiling shall be 8-10 feet ~~minimum~~.
- B. Upper floor ceilings shall be 8-10 feet ~~minimum~~.
- C. Overall height of Building Type shall not exceed the height of the main building on the lot.

9.0 BUILDING TYPE FRONTAGE OPTIONS

The Carriage House Building Type is not required to have a frontage type.

2006.19 CIVIC BUILDING TYPE

1.0 BUILDING TYPE DESCRIPTION

The Civic Building Type is a small-, medium- or large-sized detached structure that incorporates uses of special public importance including, but not limited to municipal buildings, churches, libraries and schools. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form.

2.0 PRECEDENT OF CIVIC BUILDING TYPE

The following images represent precedent examples of the Civic Building Type. They are intended as examples only and should be used for inspiration in the creation of this Building Type for projects within the Muskegon Form Based Code area.

3.0 BUILDING SIZE AND MASSING

Civic Building size and massing is not regulated by this Form Based Code. Generally Civic Buildings shall have a significant presence within the community.

4.0 GROUND FLOOR ACTIVATION AND PEDESTRIAN ACCESS

Civic Building ground floor activation is not regulated by this Form Based Code. Generally Civic Buildings shall have an activated ground floor with pedestrian entrances and windows facing street, rights-of-way, and civic space.

5.0 NUMBER OF UNITS

Number of units is not applicable to this Building Type.

6.0 USE

Building Type use:

- B. Uses are regulated by Context Area. Refer to Section 2005 for permitted uses in each Context Area.

7.0 FACADE COMPOSITION REQUIREMENTS

Civic Building facade composition is not regulated by this Form Based Code. Generally Civic Buildings shall have a design elements and materials that represent their significant presence within the community.

Facade composition should be respectful and compatible with the surrounding context.

8.0 BUILDING TYPE STORY HEIGHT

Overall height of Building Type is regulated by Context Area, refer to Section 2005.

9.0 BUILDING TYPE FRONTAGE OPTIONS

Commented [JP208]: Add images.

SECTION 2006 BUILDING TYPE STANDARDS

Civic Building frontages are not regulated by this Form Based Code. Generally Civic Buildings shall have a frontage that allows for pedestrian access and transparency that represent their significant presence within the community.

SECTION 2007 PUBLIC REALM TYPE STANDARDS

SECTION 2007 PUBLIC REALM TYPE STANDARDS [RESERVED]

2007.00 PURPOSE

Section 2007 identifies Public Realm Type Standards established for each of the Context Areas within the City of Muskegon Form Based Code. Each of the Public Realm Types is defined by a Public Realm Assembly which includes the attributes which may occur within the public right-of-way for specific Public Realms.

Attributes for each Public Realm Type include standards for sidewalks, street tree planting, thoroughfares (vehicular zones), on-street parking, streetscapes, and bike lanes. These standards ensure that the Public Realm is consistent with the desires and outcomes of the 2003 Imagine Muskegon Plan, the 2008 Downtown and Lakeshore Redevelopment Plan, and the 2015 City of Muskegon Parking Strategy.

Public Realm Standards support the urban form that is required by the Muskegon Form Based Code and should be considered when streets and sidewalks are reconstructed within the Form Based Code District.

2007.01 APPLICABILITY

The City of Muskegon will configure and adjust the Public Realm Types as necessary for specific conditions. In instances where private development participates with the City for public realm improvements, these standards shall be coordinated with the City of Muskegon.

2007.02 PUBLIC REALM MOBILITY CHOICE

The Public Realm and the thoroughfares that they represent are intended to balance the needs of all types of traffic—auto, bicycle, and pedestrian—to maximize mobility and convenience for all the citizens and users of the respective Context Areas within the Muskegon Form Based Code District.

While the thoroughfares of all Public Realms will appropriately balance pedestrian and automobile needs, their character will vary by specific location. Some thoroughfares will carry a large volume of both automobile and pedestrian traffic and provide a more intense urban experience while others will provide more intimately scaled streets and public space.

The Public Realm Type Standards illustrate typical configurations for the rights-of-way within the Form Based Code District. The City will configure and adjust these as necessary for specific conditions with the intent of balancing access and mobility for all users.

When balancing this mobility choice, street design shall consider the safety, comfort, and convenience of pedestrians, bicyclists, transit users, and motor vehicle drivers. Balance in all types of transportation and development of transportation infrastructure shall accommodate all users, so that even the most vulnerable—children, elderly, and persons with disabilities—can use and travel safely within the public rights-of-way.

SECTION 2007 PUBLIC REALM TYPE STANDARDS

~~To create these balanced streets, a pedestrian-first policy should establish modal hierarchy. This modal hierarchy (refer to figure below) inverts the dominant, auto-based paradigm so that downtown Muskegon's transportation network can grow safely, sustainably, and equitably into the 21st Century.~~

~~When considering public realm improvements within the Form Based Code District, transportation projects and programs, from design to implementation to maintenance, should favor pedestrians first, then transit riders, cyclists, and finally, vehicular traffic.~~

~~PEDESTRIAN-FIRST MODAL HIERARCHY~~

~~2007.03 STANDARDS FOR ALL PUBLIC REALM TYPES~~

~~The following standards apply to all Public Realm Types:~~

- ~~A. — Public Realm Assemblies are intended for use by vehicular, bike, and pedestrian traffic and to provide access to lots and civic spaces. Public Realm Assemblies shall generally consist of vehicular lanes (the thoroughfare) and public spaces that include sidewalks (the people zone).~~
- ~~B. — Public Realm Assemblies shall be designed in context with the physical form of the Context Areas that they pass through.~~
- ~~C. — All Public Realm Assemblies shall intersect with other Public Realm Assemblies, forming a complete network. Where topographical or natural features exist that restrict the ability to form a network, a pedestrian connection shall be made, whenever technically feasible. Cul-de-sacs shall be subject to approval to accommodate specific site conditions only.~~
- ~~D. — Public Realm Assemblies may include vehicular lanes, parking lanes, medians, access, and transportation provisions such as bicycle and transit facilities. The suggested standards for vehicular lanes, parking lanes, medians, and other transportation provisions are provided in each Public Realm Assembly.~~
- ~~E. — Pedestrian comfort shall be a primary consideration of the Public Realm Assembly (refer to 2007.02 of this Section). Design conflict between vehicular and pedestrian movement generally shall be decided in favor of the pedestrian.~~
- ~~F. — All Public Realm Sidewalk Walking Zones and Sidewalk Furnishing and Tree Zones shall be maintained by the adjacent property owner, Property Owners Association, or Business Owners Association.~~
- ~~G. — Private trash containers and garbage cans (not including public sidewalk waste bins), may not be stored or located within any Public Realm.~~
- ~~H. — Bicycle racks, public art, public waste bins, benches, and other street furnishings shall be placed in the Sidewalk Furnishing and Tree Zone and shall not interfere with pedestrian movement or access.~~

SECTION 2007 PUBLIC REALM TYPE STANDARDS

- I. ~~Transit facilities, when placed on a street shall be placed in the Sidewalk Furnishing and Tree Zone and shall not interfere with pedestrian movement or access.~~

- J. ~~Green infrastructure should be placed in The Sidewalk Furnishing and Tree Zone whenever possible to manage storm water, mitigate heat island effect, provide small green spaces, improve air quality, and provide habitats for birds and animals.~~

- K. ~~Temporary sandwich board signs shall be placed in the Sidewalk Furnishing and Tree Zone and shall not interfere with pedestrian movement or access.~~

- L. ~~Mechanical, electrical, and phone equipment may not be located or stored within the Public Realm.~~
 - 1. ~~In instances where mechanical, electrical, or phone equipment cannot be placed in non-Public Realm locations (such as parking lots, alleys, or behind buildings), the equipment shall be placed as follows:~~
 - i. ~~Equipment shall be placed in the Sidewalk Furnishing and Tree Zone within a curbed landscaped area.~~
 - ii. ~~Equipment shall be screened with landscape material to buffer it from the public realm.~~

- M. ~~Street lighting shall be placed in the Sidewalk Furnishing and Tree Zone.~~
 - 1. ~~Street lighting shall be pedestrian-scaled decorative fixtures whenever practical. The use of cobra head lights should be avoided.~~
 - 2. ~~Street lights shall meet the requirements of Section 2003.09 of the Muskegon Form Based Code.~~

- N. ~~Except for tree trunks, street lights, public art, monuments, or excepted mechanical/electrical/phone equipment (per item J, above) there shall be a clear view between two and seven feet above grade in all Public Realm Assemblies. The foliage of newly planted trees may intrude into this area until the tree has sufficient growth to allow such a clear trunk height.~~

- O. ~~Street Tree Requirements:~~
 - 1. ~~Street trees shall be a minimum of 2 inch caliper when planted.~~
 - 2. ~~In Public Realm Assemblies that indicate a regular spacing, trees shall be planted within the Sidewalk Furnishing and Tree Zone at an average spacing not greater than 30 feet on center (per block face).~~
 - 3. ~~In Public Realm Assemblies that have a paved Sidewalk Furnishing and Tree Zone, street trees shall be placed in a tree pit with structural soil and/or expanded tree pit whenever technically feasible.~~

- P. ~~All plant material (including street trees) shall conform to the standards of the American Association of Nurserymen and shall have passed any inspections required under local or state regulations.~~

SECTION 2007 PUBLIC REALM TYPE STANDARDS

Q. ~~Turf and Groundcover in the Public Realm (and visible from the Public Realm) shall meet the following requirements:~~

1. ~~All turf grass must be solidly sodded at installation—not seeded, sprigged, or plugged.~~
2. ~~Vegetative groundcovers may be used in place of turf grass.~~
3. ~~In addition to the lot, the owner must maintain the portion of the Public Realm Assembly between their lot line and the back of curb and the portion of any alley between the lot line(s) and the edge of pavement.~~

R. ~~On-Street Parking Requirements:~~

1. ~~The parking space/tree planting pattern may be interrupted by existing or new driveways and transit stops/stations.~~
2. ~~Parking spaces may be interrupted by bulb-outs at street crossing locations.~~

S. ~~A bicycle network consisting of protected bicycle lanes, dedicated bicycle lanes, sharrows (shared lanes) or other bicycle routes should be provided throughout the community. The community bicycle network shall be connected to existing or proposed regional networks wherever possible. The City of Muskegon will coordinate bike facilities for each assembly. Refer to Section 2007.04 for bicycle facilities.~~

2007.04 BICYCLE FACILITIES

~~Many of the Public Realm Assemblies within the Muskegon Form Based Code are intended to accommodate bicycles in the thoroughfare (vehicular lanes). While not all Public Realm Assemblies will have bike facilities, a connected network should be considered when redesigning or reconfiguring the downtown streets.~~

~~The Public Realm Types described in this section indicate three different levels of bicycle facilities for the thoroughfare.~~

~~These facilities are as follows and will be coordinated by the City of Muskegon when practically and technically feasible:~~

~~Protected Bike Lane: Protected bike lanes have a physical barrier or vertical separation between moving motor vehicle traffic and bicyclists. Examples of a physical barrier or vertical separation include plastic posts, bollards, curbs, planters, raised bumps or parked cars.~~

~~Dedicated Bike Lane: A bicycle lane is a portion of the roadway that has been designated by striping, signing, and pavement markings for the preferential use of bicyclists.~~

~~Sharrow (Shared Lane): A shared lane marking within a vehicular travel lane of a street's surface that indicates that bicyclists may use any portion of the full width of the travel lane.~~

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2007.05 PUBLIC REALM TYPE OVERVIEW

Public Realm Types for the Muskegon Form Based Code are summarized as follows:

Boulevard: A local, slow movement thoroughfare suitable for high intensity urban areas. Boulevards are urban in character, with angled or parallel parking on both sides, a center median, and narrow vehicle travel lanes that support an urban commercial environment. Bikes may be accommodated with protected bike lanes, dedicated bike lanes, and/or sharrows (shared lane with cars). Transit may also be accommodated along these thoroughfares.

Commercial Street: A local, slow movement thoroughfare suitable for high intensity urban areas. Commercial Streets are urban in character, supporting parallel parking on both sides with narrow vehicle travel lanes that support an urban commercial environment. Bikes may be accommodated with protected bike lanes, dedicated bike lanes, and/or sharrows (shared lane with cars). Transit may also be accommodated along these thoroughfares.

Transitional Street: A local, slow movement thoroughfare suitable for medium to high intensity urban areas. Transitional Streets are urban in character, supporting parallel parking on both sides with narrow vehicle travel lanes that support an urban commercial or high density residential environment.

Parkway Street: A local, slow movement thoroughfare suitable for general urban areas. Parkway Streets are urban in character, supporting parallel parking on one or both sides with narrow vehicle travel lanes that support a variety of different frontages and uses. Bikes are accommodated with dedicated bike lanes and/or sharrows (shared lane with cars).

Arterial: A thoroughfare suitable for general urban areas that connects to a regional transportation system. The Arterial is less urban in character than other thoroughfares in the Muskegon Form Based Code District. Medium to large width vehicle travel lanes support a variety of frontages and uses. The Arterial Public Realm supports vehicular movement as a first priority and should be used only in instances where other Public Realm Types cannot support a high level of service for vehicular traffic.

Waterfront Edge: In Section 2007, Muskegon's downtown waterfront is considered a public realm and acts as both a thoroughfare for bikes and pedestrians and as a public space for commercial, residential, and recreational activity. The space is urban in character with fronts of buildings and active frontages facing the waterfront. Bikes are accommodated with a dedicated bike lane that connects to the city's existing and proposed bike network.

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2007.06 BOULEVARD

1.0 Boulevard Description: A local, slow movement thoroughfare suitable for high-intensity urban areas. Boulevards are urban in character, with angled or parallel parking on both sides, a center median, and narrow vehicle travel lanes that support an urban commercial environment. Bikes may be accommodated with protected bike lanes, dedicated bike lanes, and/or sharrows (shared lane with cars). Transit may also be accommodated along these thoroughfares.

2.0 Boulevard Assembly: The following cross-section illustrates a typical configuration for the BOULEVARD Public Realm Type. The City of Muskegon will configure and adjust this assembly as necessary for specific conditions. This assembly addresses sidewalks, furnishing zones, street tree planting, on-street parking configurations, vehicular traffic lanes, and bike facilities.

3.0 Boulevard Assembly Key: The following information provides a description and recommended dimensional range for attributes of the Public Realm Configuration on the facing page. The City of Muskegon will configure and adjust these dimensions as necessary for specific conditions.

A. — Building Type and Frontage Zone: The portion of the Public Realm Type that is defined by the building wall at the sidewalk.

1. — Refer to Section 2005 for Context Zone of parcel
2. — Refer to Section 2006 for Building Type requirements
3. — Building Type will indicate frontage options for building wall facing the street and sidewalk

B. — Sidewalk Walking Zone: The portion of the Public Realm Type dedicated exclusively to pedestrian activity. The following are typical attributes of the Sidewalk Walking Zone:

1. — Minimum Width of Sidewalk: 5 feet
2. — Ideal Width of Sidewalk: Between 10 to 15 feet
3. — Paving Material for Sidewalk: Concrete, stamped concrete, or brick pavers

C. — Sidewalk Furnishing and Tree Zone: The portion of the Public Realm Type dedicated to accommodating street trees, planters, street lighting, sidewalk signs, and seating. The following are typical attributes of the Sidewalk Furnishing and Tree Zone:

1. — Minimum Recommended Width of Furnishing Zone: 5 feet
2. — Ideal Width of Furnishing Zone: Between 10 to 15 feet

SECTION 2007 PUBLIC REALM TYPE STANDARDS

3. — **Street Tree Planter Type:** Required tree pit with structural soil and/or expanded tree pit recommended
 4. — **Street Tree Planting Arrangement:** Formal with regular spaced canopy and/or understory trees
 5. — **Paving Material for Furnishing Zone:** Concrete, stamped concrete, or brick pavers
- D. — **Curb and Gutter Zone:** The portion of the Public Realm Type that vertically separates the thoroughfare (vehicular zone) from the pedestrian zones while providing stormwater management and drainage.
1. — **Typical Width of Curb and Gutter Zone:** 2 feet
 2. — **Curb Type:** Raised
 3. — **Ideal Curb Radius:** Small as possible to promote slower speeds and encourage walkability
- E. — **On-street Parking Zone:** The portion of the Public Realm Type dedicated to on-street automobile parking. It is the zone that separates people from vehicular traffic. The following are typical attributes of the On-street Parking Zone:
1. — **Parking Lane Configuration:** Diagonal and/or parallel on both sides of street, when possible
 2. — **Parking Lane Minimum Width:** 17 feet for diagonal and 7 feet for parallel
 3. — **Bulb-outs within the Parking Zone** are encouraged at intersections and/or at mid-block crossings
- F. — **Vehicle Travel Zone:** The portion of the Public Realm Type dedicated to vehicular travel. The following are typical attributes of the Vehicle Travel Zone:
1. — **Movement Type:** Slow
 2. — **Ideal Travel Lane Width:** 10 feet
 3. — **Target Speed:** 25 to 30 MPH
 4. — **Ideal Number of Travel Lanes:** One in each direction
- G. — **Bike Lane Zone:** The portion of the Public Realm Type dedicated to accommodating bicycle traffic. The following are typical attributes of the Bike Lane Zone:
1. — **Accommodation for Bicycle Traffic (when possible):** Shared lane with automobile traffic (Sharrow) (as depicted in the facing page graphic). May also be protected or dedicated bike lane.

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2. ~~Bike Lane Designation: Pavement markings and signage~~

H. ~~Median Furnishing and Tree Zone: The portion of the Public Realm Type dedicated to accommodating street trees, planters, and street lighting, specific to the Boulevard Type. The following are typical attributes of the Median Furnishing and Tree Zone:~~

1. ~~Minimum Recommended Width: 5 feet~~

2. ~~Ideal Width: Between 10 to 25 feet~~

3. ~~Street Tree Planter: Continuous landscaped area (no tree pits)~~

4. ~~Street Tree Planting Arrangement: Formal with regular spaced canopy and/or understory trees~~

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2007.07 COMMERCIAL STREET

1.0 Commercial Street Description: A local, slow movement thoroughfare suitable for high-intensity urban areas. Commercial Streets are urban in character, supporting parallel parking on both sides with narrow vehicle travel lanes that support an urban commercial environment. Bikes may be accommodated with protected bike lanes, dedicated bike lanes, and/or sharrows (shared lane with cars). Transit may also be accommodated along these thoroughfares.

2.0 Commercial Street Assembly: The following cross-section illustrates a typical configuration for the COMMERCIAL STREET Public Realm Type. The City of Muskegon will configure and adjust this assembly as necessary for specific conditions. This assembly addresses sidewalks, furnishing zones, street tree planting, on-street parking configurations, vehicular traffic lanes, and bike facilities.

3.0 Commercial Street Assembly Key: The following information provides a description and recommended dimensional range for attributes of the Public Realm Configuration on the facing page. The City of Muskegon will configure and adjust these dimensions as necessary for specific conditions.

A. — Building Type and Frontage Zone: The portion of the Public Realm Type that is defined by the building wall at the sidewalk.

1. — Refer to Section 2005 for Context Zone of parcel
2. — Refer to Section 2006 for Building Type requirements
3. — Building Type will indicate frontage options for building wall facing the street and sidewalk

B. — Sidewalk Walking Zone: The portion of the Public Realm Type dedicated exclusively to pedestrian activity. The following are typical attributes of the Sidewalk Walking Zone:

1. — Minimum Width of Sidewalk: 5 feet
2. — Ideal Width of Sidewalk: Between 10 to 12 feet
3. — Paving Material for Sidewalk: Concrete, stamped concrete, or brick pavers

C. — Sidewalk Furnishing and Tree Zone: The portion of the Public Realm Type dedicated to accommodating street trees, planters, street lighting, sidewalk signs, and seating. The following are typical attributes of the Sidewalk Furnishing and Tree Zone:

1. — Minimum Recommended Width of Furnishing Zone: 5 feet
2. — Ideal Width of Furnishing Zone: Between 10 to 12 feet

SECTION 2007 PUBLIC REALM TYPE STANDARDS

3. — **Street Tree Planter Type:** Required tree pit with structural soil and/or expanded tree pit recommended

4. — **Street Tree Planting Arrangement:** Formal with regular spaced canopy and/or understory trees

5. — **Paving Material for Furnishing Zone:** Concrete, stamped concrete, or brick pavers

D. — **Curb and Gutter Zone:** The portion of the Public Realm Type that vertically separates the thoroughfare (vehicular zone) from the pedestrian zones while providing stormwater management and drainage.

1. — **Typical Width of Curb and Gutter Zone:** 2 feet

2. — **Curb Type:** Raised

3. — **Ideal Curb Radius:** Small as possible to promote slower speeds and encourage walkability

E. — **On-street Parking Zone:** The portion of the Public Realm Type dedicated to on-street automobile parking. It is the zone that separates people from vehicular traffic. The following are typical attributes of the On-street Parking Zone:

1. — **Parking Lane Configuration:** Diagonal and/or parallel on both sides of street, when possible

2. — **Parking Lane Minimum Width:** 7 feet

3. — **Bulb-outs within the Parking Zone** are encouraged at intersections and/or at mid-block crossings

F. — **Bike Lane Zone:** The portion of the Public Realm Type dedicated to accommodating bicycle traffic. The following are typical attributes of the Bike Lane Zone:

1. — **Accommodation for Bicycle Traffic (when possible):** Dedicated bike lane (as depicted in the facing page graphic). May also be a shared lane with automobile traffic (Sharrow) sharrow or protected bike lane.

2. — **Bike Lane Designation:** Pavement markings and signage

G. — **Vehicle Travel Zone:** The portion of the Public Realm Type dedicated to vehicular travel. The following are typical attributes of the Vehicle Travel Zone:

1. — **Movement Type:** Slow

2. — **Ideal Travel Lane Width:** 10 feet

3. — **Target Speed:** 25 to 30 MPH

SECTION 2007 PUBLIC REALM TYPE STANDARDS

4. ~~Ideal Number of Travel Lanes: One in each direction~~

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2007.08 TRANSITIONAL STREET

1.0 Transitional Street Description: A local, slow movement thoroughfare suitable for medium to high intensity urban areas. Transitional Streets are urban in character, supporting parallel parking on both sides with narrow vehicle travel lanes that support an urban commercial or high density residential environment. The Sidewalk Furnishing and Tree Zone within Transitional Streets is may either be paved or landscaped, depending on the adjacent frontages, Building Types, and uses and the Context Area that the Public Realm is located in.

2.0 Transitional Street Assembly: The following cross-section illustrates a typical configuration for the TRANSITIONAL STREET Public Realm Type. The City of Muskegon will configure and adjust this assembly as necessary for specific conditions. This assembly addresses sidewalks, furnishing zones, street tree planting, on-street parking configurations, vehicular traffic lanes, and bike facilities.

3.0 Transitional Street Assembly Key: The following information provides a description and recommended dimensional range for attributes of the Public Realm Configuration on the facing page. The City of Muskegon will configure and adjust these dimensions as necessary for specific conditions.

A. — Building Type and Frontage Zone: The portion of the Public Realm Type that is defined by the building wall at the sidewalk.

1. — Refer to Section 2005 for Context Zone of parcel
2. — Refer to Section 2006 for Building Type requirements
3. — Building Type will indicate frontage options for building wall facing the street and sidewalk

B. — Sidewalk Walking Zone: The portion of the Public Realm Type dedicated exclusively to pedestrian activity. The following are typical attributes of the Sidewalk Walking Zone:

1. — Minimum Width of Sidewalk: 5 feet
2. — Ideal Width of Sidewalk: Between 10 to 12 feet
3. — Paving Material for Sidewalk: Concrete, stamped concrete, or brick pavers

C. — Sidewalk Furnishing and Tree Zone: The portion of the Public Realm Type dedicated to accommodating street trees, planters, street lighting, sidewalk signs, and seating. The following are typical attributes of the Sidewalk Furnishing and Tree Zone:

1. — Minimum Recommended Width of Furnishing Zone: 5 feet
2. — Ideal Width of Furnishing Zone: Between 10 to 12 feet

SECTION 2007 PUBLIC REALM TYPE STANDARDS

3. — **Street Tree Planter Type: (At blocks with primarily commercial or institutional uses at the ground floor):**

i. — **Required tree pit with structural soil and/or expanded tree pit recommended**

4. — **Street Tree Planter Type (At blocks with primarily residential uses at the ground floor):**

i. — **Parkway consisting of a continuous landscaped area (no tree pits)**

5. — **Street Tree Planter Types of either paved surfaces or landscaped parkways may change from block to block along this Public Realm Type and may be different on opposite sides of the street, depending on predominate ground floor use.**

6. — **City of Muskegon will determine where to place paved surfaces or landscaped parkways depending on existing conditions and Context Area.**

7. — **Street Tree Planting Arrangement: Formal with regular spaced canopy and/or understory trees**

8. — **Paving Material for Furnishing Zone: Concrete, stamped concrete, or brick pavers when primarily commercial or institutional uses are at the ground floor**

D. — **Curb and Gutter Zone: The portion of the Public Realm Type that vertically separates the thoroughfare (vehicular zone) from the pedestrian zones while providing stormwater management and drainage.**

1. — **Typical Width of Curb and Gutter Zone: 2 feet**

2. — **Curb Type: Raised**

3. — **Ideal Curb Radius: Small as possible to promote slower speeds and encourage walkability**

E. — **On-street Parking Zone: The portion of the Public Realm Type dedicated to on-street automobile parking. It is the zone that separates people from vehicular traffic. The following are typical attributes of the On-street Parking Zone:**

1. — **Parking Lane Configuration: Parallel on both sides of street, when possible**

2. — **Parking Lane Minimum Width: 7 feet**

3. — **Bulb-outs within the Parking Zone are encouraged at intersections and/or at mid-block crossings**

F. — **Vehicle Travel Zone: The portion of the Public Realm Type dedicated to vehicular travel. The following are typical attributes of the Vehicle Travel Zone:**

SECTION 2007 PUBLIC REALM TYPE STANDARDS

1. — **Movement Type: Slow**
2. — **Ideal Travel Lane Width: 10 feet**
3. — **Target Speed: 20 to 25 MPH**
4. — **Ideal Number of Travel Lanes: One in each direction**

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2007.09 PARKWAY STREET

1.0 Parkway Street Description: A local, slow movement thoroughfare suitable for general urban areas. Parkway Streets are urban in character, supporting parallel parking on one or both sides with narrow vehicle travel lanes that support a variety of different frontages and uses. Bikes are accommodated with dedicated bike lanes and/or sharrows (shared lane with cars).

2.0 Parkway Street Assembly: The following cross-section illustrates a typical configuration for the PARKWAY STREET Public Realm Type. The City of Muskegon will configure and adjust this assembly as necessary for specific conditions. This assembly addresses sidewalks, furnishing zones, street tree planting, on-street parking configurations, vehicular traffic lanes, and bike facilities.

3.0 Parkway Street Assembly Key: The following information provides a description and recommended dimensional range for attributes of the Public Realm Configuration on the facing page. The City of Muskegon will configure and adjust these dimensions as necessary for specific conditions.

A. Building Type and Frontage Zone: The portion of the Public Realm Type that is defined by the building wall at the sidewalk.

1. Refer to Section 2005 for Context Zone of parcel
2. Refer to Section 2006 for Building Type requirements
3. Building Type will indicate frontage options for building wall facing the street and sidewalk

B. Sidewalk Walking Zone: The portion of the Public Realm Type dedicated exclusively to pedestrian activity. The following are typical attributes of the Sidewalk Walking Zone:

1. Minimum Width of Sidewalk: 5 feet
2. Ideal Width of Sidewalk: Between 10 to 12 feet
3. Paving Material for Sidewalk: Concrete, stamped concrete, or brick pavers

C. Sidewalk Furnishing and Tree Zone: The portion of the Public Realm Type dedicated to accommodating street trees, planters, street lighting, sidewalk signs, and seating. The following are typical attributes of the Sidewalk Furnishing and Tree Zone:

1. Minimum Recommended Width of Furnishing Zone: 5 feet
2. Ideal Width of Furnishing Zone: Between 10 to 12 feet
3. Street Tree Planter Type: Parkway consisting of a continuous landscaped area (no paving/no tree pits)

SECTION 2007 PUBLIC REALM TYPE STANDARDS

4. — ~~Street Tree Planting Arrangement: Formal with regular spaced canopy and/or understory trees, some clustering of street trees may also be appropriate within the parkway~~

D. — ~~Curb and Gutter Zone: The portion of the Public Realm Type that vertically separates the thoroughfare (vehicular zone) from the pedestrian zones while providing stormwater management and drainage.~~

1. — ~~Typical Width of Curb and Gutter Zone: 2 feet~~

2. — ~~Curb Type: Raised~~

3. — ~~Ideal Curb Radius: Small as possible to promote slower speeds and encourage walkability~~

E. — ~~On-street Parking Zone: The portion of the Public Realm Type dedicated to on-street automobile parking. It is the zone that separates people from vehicular traffic. The following are typical attributes of the On-street Parking Zone:~~

1. — ~~Parking Lane Configuration: Parallel on both sides of street, when possible~~

2. — ~~Parking Lane Minimum Width: 7 feet~~

3. — ~~Bulb-outs within the Parking Zone are encouraged at intersections and/or at mid-block crossings~~

F. — ~~Vehicle Travel Zone: The portion of the Public Realm Type dedicated to vehicular travel. The following are typical attributes of the Vehicle Travel Zone:~~

1. — ~~Movement Type: Slow~~

2. — ~~Ideal Travel Lane Width: 9 feet to 10 feet~~

3. — ~~Target Speed: 20 to 25 MPH~~

4. — ~~Ideal Number of Travel Lanes: One in each direction~~

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2007.10 ARTERIAL

1.0 Arterial Description: A thoroughfare suitable for general urban areas that connects to a regional transportation system. The Arterial is less urban in character than other thoroughfares in the Muskegon Form Based Code Area. Medium to large width vehicle travel lanes support a variety of frontages and uses. The Arterial Public Realm supports vehicular movement as a first priority and should be used only in instances where other Public Realm Types cannot support a high level of service for vehicular traffic.

2.0 Arterial Assembly: The following cross-section illustrates a typical configuration for the ARTERIAL Public Realm Type. The City of Muskegon will configure and adjust this assembly as necessary for specific conditions. This assembly addresses sidewalks, furnishing zones, street tree planting, on-street parking configurations, vehicular traffic lanes, and bike facilities.

3.0 Arterial Assembly Key: The following information provides a description and recommended dimensional range for attributes of the Public Realm Configuration on the facing page. The City of Muskegon will configure and adjust these dimensions as necessary for specific conditions.

A. — Building Type and Frontage Zone: The portion of the Public Realm Type that is defined by the building wall at the sidewalk.

1. — Refer to Section 2005 for Context Zone of parcel
2. — Refer to Section 2006 for Building Type requirements
3. — Building Type will indicate frontage options for building wall facing the street and sidewalk

B. — Sidewalk Walking Zone: The portion of the Public Realm Type dedicated exclusively to pedestrian activity. The following are typical attributes of the Sidewalk Walking Zone:

1. — Minimum Width of Sidewalk: 5 feet
2. — Ideal Width of Sidewalk: Between 10 to 12 feet
3. — Paving Material for Sidewalk: Concrete, stamped concrete, or brick pavers

C. — Sidewalk Furnishing and Tree Zone: The portion of the Public Realm Type dedicated to accommodating street trees, planters, street lighting, sidewalk signs, and seating. The following are typical attributes of the Sidewalk Furnishing and Tree Zone:

1. — Minimum Recommended Width of Furnishing Zone: 5 feet
2. — Ideal Width of Furnishing Zone: Between 10 to 12 feet

SECTION 2007 PUBLIC REALM TYPE STANDARDS

3. — **Street Tree Planter Type: Parkway consisting of a continuous landscaped area (no paving/no tree pits)**

4. — **Street Tree Planting Arrangement: Clustered and/or irregular spaced canopy and/or understory trees**

D. — **Curb and Gutter Zone: The portion of the Public Realm Type that vertically separates the thoroughfare (vehicular zone) from the pedestrian zones while providing stormwater management and drainage.**

1. — **Typical Width of Curb and Gutter Zone: 2 feet**

2. — **Curb Type: Raised**

3. — **Ideal Curb Radius: Small as possible to promote slower speeds and encourage walkability**

E. — **Vehicle Travel Zone: The portion of the Public Realm Type dedicated to vehicular travel. The following are typical attributes of the Vehicle Travel Zone:**

1. — **Movement Type: Medium**

2. — **Ideal Travel Lane Width: 10 feet to 12 feet**

3. — **Target Speed: 35 to 40 MPH**

4. — **Ideal Number of Travel Lanes: Two in each direction (total of four vehicle travel lanes)**

Note regarding on-street parking: Whenever possible, depending on specific conditions, parallel on-street parking should be considered for the Arterial Public Realm Type. The City of Muskegon will configure and adjust this assembly as necessary for specific conditions. When on-street parking is provided for this Public Realm Type, bulb-outs should be considered within the parking zone at intersections and mid-block crossings to increase walkability and safety.

SECTION 2007 PUBLIC REALM TYPE STANDARDS

2007.11 WATERFRONT EDGE

1.0 Waterfront Edge Description: In Section 2007, Muskegon's downtown waterfront is considered a public realm and acts as both a thoroughfare for bikes and pedestrians and as a public space for commercial, residential, and recreational activity. The space is urban in character with fronts of buildings and active frontages facing the waterfront. Bikes are accommodated with a dedicated bike lane that connects to the city's existing and proposed bike network.

2.0 Waterfront Edge Assembly: The following cross-section illustrates a typical configuration for the WATERFRONT EDGE Public Realm Type. The City of Muskegon will configure and adjust this assembly as necessary for specific conditions. This assembly addresses sidewalks, furnishing zones, street tree planting, on-street parking configurations, vehicular traffic lanes, and bike facilities.

3.0 Waterfront Edge Assembly Key: The following information provides a description and recommended dimensional range for attributes of the Public Realm Configuration on the facing page. The City of Muskegon will configure and adjust these dimensions as necessary for specific conditions.

A. — Building Type and Frontage Zone: The portion of the Public Realm Type that is defined by the building wall at the sidewalk.

1. — Refer to Section 2005 for Context Zone of parcel
2. — Refer to Section 2006 for Building Type requirements
3. — Building Type will indicate frontage options for building wall facing the street and sidewalk

B. — Sidewalk Walking Zone: The portion of the Public Realm Type dedicated exclusively to pedestrian activity. The following are typical attributes of the Sidewalk Walking Zone:

1. — Minimum Width of Sidewalk: 10 feet
2. — Ideal Width of Sidewalk: Between 15 to 20 feet
3. — Paving Material for Sidewalk: Concrete, stamped concrete, or brick pavers

C. — Sidewalk Furnishing and Tree Zone: The portion of the Public Realm Type dedicated to accommodating street trees, planters, street lighting, sidewalk signs, and seating. The following are typical attributes of the Sidewalk Furnishing and Tree Zone:

1. — Minimum Recommended Width of Furnishing Zone: 6 feet
2. — Ideal Width of Furnishing Zone: Between 10 to 20 feet

SECTION 2007 PUBLIC REALM TYPE STANDARDS

3. — **Street Tree Planter Type:** Required tree pit with structural soil and/or expanded tree pit recommended

4. — **Street Tree Planting Arrangement:** Formal with regular spaced canopy and/or understory trees

5. — **Paving Material for Furnishing Zone:** Concrete, stamped concrete, or brick pavers

D. — **Bike Lane Zone:** The portion of the Public Realm Type dedicated to accommodating bicycle traffic. The following are typical attributes of the Bike Lane Zone:

1. — **Accommodation for Bicycle Traffic (when possible):** Dedicated bike lane (as depicted in the facing page graphic).

2. — **Minimum Recommended Width of Bike Lane:** 12 feet

3. — **Bike Lane Designation:** Pavement markings and signage

E. — **Activity Zone:** The portion of the Public Realm Type dedicated to accommodating a variety of activities. The width of this zone can change as waterfront and building use change along the waterfront's edge. The following are typical attributes of the Activity Zone for the waterfront:

1. — **Minimum Recommended Width of Activity Zone:** 10 feet

2. — **Ideal Width of Activity Zone:** 15 to 30 feet

Permitted uses and programming within Activity Zone:

1. — **Food trucks and food carts with special use permit on a temporary basis between the hours of 8am and 10pm**

2. — **Temporary and portable structures related to approved special events and festivals**

3. — **Health related classes and events, such as yoga**

F. — **Terrace option:** The Activity Zone and Furnishing and Tree Zone may terrace to provide separation between spaces, landscaping and bike lanes when the following conditions are met:

1. — **Combined Width of Activity Zone and Furnishing & Tree Zone is 30 feet minimum**

2. — **Connection to existing and/or adjacent waterfront edges is maintained per the requirements of City ordinances and building code**

3. — **Connection to existing and/or adjacent bike lanes is maintained**

SECTION 2008 OFF-STREET PARKING STANDARDS

SECTION 2008 OFF-STREET PARKING STANDARDS

2008.00 PURPOSE

The purpose of this section is to manage vehicular and bicycle parking in a manner consistent with the regulating plan of this Form Based Code. Incremental infill development will enable applicants and the City to strategically accommodate parking needs while not compromising the urban form desired within downtown Muskegon.

2008.01 APPLICABILITY

The regulations of this Section shall apply in the following instances:

- A. Whenever the use of a building or lot is changed to another classification of use, off-street parking facilities ~~shall may~~ be provided ~~as required~~ up to the maximum allowed by this Section.
- B. If the intensity of use of any existing building (~~other than a detached house or duplex building~~) is increased through the addition of floor area, seating capacity, ~~number of housing units~~, or number of employees, additional off-street parking ~~shall may~~ be provided up to the maximum allowed by this Section.

2008.02 PARKING AND LOADING REVIEW

Whenever three or more parking spaces are ~~required to be constructed~~, specifications shall be submitted to the Zoning Administrator for approval prior to permitting per Section 2326, 3 of the ~~City of~~ Muskegon Zoning Ordinance.

2008.03 USE OF PARKING AREAS

Vehicles shall not be repaired, stored or displayed for sale or hire in parking lots unless the principal use is classified in the applicable context area. Upon approval of the Zoning Administrator, parking lots may be used for temporary events and gathering.

2008.04 ACCESS STANDARDS

Parking shall be accessed from an ~~alley side street~~ whenever possible. ~~If an alley is not available for driveway placement, parking shall be accessed from a side street. If both an alley and a side street are not available for driveway placement, parking shall be accessed from a front street.~~ If parking is accessed from a front ~~or side~~ street, there shall only be one point of access. ~~Entries At the right-of-way line, a driveway~~ shall not exceed two lanes, ~~or 20 feet~~, in width.

2008.05 MAINTENANCE STANDARDS

Parking and loading areas, ~~as required~~, shall be paved, marked, and defined by curbs. Utilizing porous pavement, low impact design, and green infrastructure best practices for stormwater is encouraged.

2008.06 DIMENSIONAL REQUIREMENTS

Parking spaces shall be a minimum of 8' wide by 18' long. Maneuvering aisles shall be a minimum of 12' wide for one way traffic and 22' for two-way traffic. Excessively wide aisles shall not be permitted.

2008.07 ESTABLISHMENT OF USE CLASSES

The following ~~table~~ lists uses permitted in the Form Based Code and designates various use classes for establishing parking requirements. ~~Refer to Permitted Uses Tables for each Context Area in Section 2005 for classification of specific land uses.~~

Commented [JP209]: Add table.

SECTION 2008 OFF-STREET PARKING STANDARDS

PARKING USE CLASS

- A. Residential
 - 1. Single-family residential
 - 2. Shared/Co-op housing
 - 3. Multi-family
 - 4. Two-family residential
- B. Retail
 - 1. Retail
 - 2. Club, lodge, hall
 - 3. Micro brewery, distillery, winery under 2500 barrels
 - 4. Micro brewery, distillery, winery under 2500 barrels
 - 5. Restaurant, cocktail lounge, brewpub
- C. Office
 - 1. Office
 - 2. Personal service
 - 3. Veterinary and kennel
 - 4. Bank
 - 5. Business school/private or public school/higher ed.
 - 6. Taxi/limo service
- D. Lodging
 - 1. Hotel/motel
- E. Civic
 - 1. Church
 - 2. Gallery/museum
 - 3. Railway terminal
- F. Recreation
 - 1. Amusement and recreation facility
 - 2. Outdoor recreation
 - 3. Outdoor theater
 - 4. Indoor theater/live music concert hall
- G. Industrial
 - 1. Auto service station
 - 2. Warehousing
 - 3. Shipping, port related activity
 - 4. Research and development
 - 5. Light manufacturing
 - 6.1. Machine shop

2008.08 REQUIRED OFF-STREET PARKING SPACES REGULATIONS

Up to the maximum number of ~~required~~ off-street surface parking spaces ~~shall~~ ~~may~~ be provided ~~and maintained~~ on the premises ~~or as otherwise~~ allowed by this section per the above ~~table~~.

- A. In the case of a use not specifically mentioned, the ~~requirement regulations~~ for off-street parking facilities for a specified use which is most similar shall apply, as determined by the Zoning Administrator.
- B. ~~Off-street P~~arking areas for other than detached house and duplex may be located up to 1,000 feet from the building they serve.

Commented [JP210]: Add updated table.

SECTION 2008 OFF-STREET PARKING STANDARDS

~~C. New businesses (uses) that are required to provide 15 parking spaces or less may forgo the parking requirements if they are located in a previously existing building.~~

~~D.C. Parking maximums may be waived by the Zoning Administrator when parking spaces are provided in structured or underground parking facilities.~~

2008.09 SHARED PARKING[RESERVED]

~~A. Shared Parking with Staggered Peak Periods. Where a mix of land uses on two or more adjacent lots create staggered peak periods of parking demand, the on-site parking requirements for the adjacent lots may be reduced subject to the following:~~

- ~~1. Shared parking areas shall be located within 600 feet of the use.~~
- ~~2. Pedestrian connections shall be maintained between the buildings or uses.~~
- ~~3. Lots shall be adjacent and shall be interconnected for vehicular passage.~~
- ~~4. A shared parking agreement shall be submitted.~~
- ~~5. For shared parking with places of worship, the other uses shall not normally operate between the hours of 6:00am and 6:00pm on Sundays.~~

~~B. Mixed Use Buildings. Where one mixed use building on one lot creates staggered peak periods of parking demand, the on-site parking requirements for the single lot may be reduced subject to the following:~~

- ~~1. Mixed Use Building shall have different uses on multiple floors that create a staggered demand.~~

~~C. Availability of other modes of travel. To qualify, the site plan must incorporate transit stops, pedestrian connections to nearby transit stops, or bicycle parking facilities, as applicable.~~

- ~~1. Transit reduction. Buildings or uses shall be within 600 feet of a transit stop. MATS shall verify in writing that the transit stop is in a permanent location.~~
- ~~2. Bicycle reduction. Parking requirements may be reduced by one space for every four covered, secure bicycle parking spaces that are provided on site that are in addition to the required bicycle parking. Parking requirements may be further reduced by four spaces where free showers are available for employee use within the building.~~

2008.10 PARKING EASEMENTS AND AGREEMENTS[RESERVED]

~~A. Written easements that provide for continued use and maintenance of shared parking shall be submitted to the Zoning Administrator for review and approval. Any agreement shall include provisions to address changes in use.~~

~~B. Shared parking leases or agreements shall have a term of not less than five years, including any renewals at the option of the lessee.~~

~~C. Should the agreement be voided or expire for any reason, the uses utilizing the shared parking facility shall provide all required parking spaces in accordance with the requirements of this Section, or shall be in violation thereof.~~

2008.11 OFF-STREET PARKING LOT DESIGN/DRIVEWAYS

A. Off-street parking location and setbacks. Off-street parking lots shall conform to the parking placement standards in Section 2005 for the applicable context area.

1. Off-street parking areas shall be separated at least ~~ten-five (105)~~ feet from buildings in order to make room for a sidewalk, landscaping, and other planting between the building and the parking area.

Exception: This separation may be eliminated to the rear of buildings in areas designed for unloading and loading.

B. Off-street parking facilities ~~required-provided~~ for detached house or duplex shall be located on the same lot or parcel as the building they are intended to serve, and shall consist of a driveway and/or garage. All

SECTION 2008 OFF-STREET PARKING STANDARDS

residential driveways shall provide a minimum width of at least eight feet. Driveways ~~must be paved and~~
All parking spaces shall be paved ~~and no more than one parking space shall be located within the~~
~~required front yard. Additions to existing detached house or duplex shall not require the paving of an~~
~~unpaved driveway.~~

2008.12 PARKING STRUCTURES

- A. Parking stall and driving aisles shall meet the minimum required in Section 2008.06.
- B. Internal arrangement and design shall be approved by the city engineer ~~and building inspector~~ for appropriate grades, traffic circulation, aisle length, column spacing, ceiling height, exit stairwell and elevator location.
- C. Parking structures shall be set back the same distance as required for the applicable Building Type.
- ~~D. An active use is required at the ground level of the parking facility where the structure is within an area identified for ground floor activation per the Context Area Map in Section 2005.02.~~
- ~~E.D. _____~~ ~~Space for the active use~~ ~~The ground level of the parking structure~~ shall have ~~one of the permitted Frontage Options for~~ a minimum depth of thirty (30) feet and minimum width not less than eighty (80) percent of the building frontage at the front property line and not less than fifty (50) percent of the building frontage on the side property line.
- ~~F.E. _____~~ In lieu of a ~~permitted Frontage Option n active use~~ on the ground level, a parking structure may be paired with a liner building. Liner buildings may be one (or a combination of) the following Building Types:
 - 1. Mixed-Use Building
 - 2. Flex Building
 - 3. Live/Work Building
 - 4. Multi-Plex Building
 - 5. Rowhouse Building
- ~~G.F. _____~~ Parking structures shall be architecturally compatible with the buildings they serve.

2008.13 OFF-STREET LOADING REQUIREMENTS

For off-street loading requirements refer to Section 2329 of the City of Muskegon Zoning Ordinance.

2008.14 PARKING LOT LANDSCAPING/SCREENING

- A. Parking lot landscaping shall be provided in accordance with Section ~~2334~~~~2333~~, 8 of the City of Muskegon Zoning Ordinance.
- B. Any frontage along all streets with surface parking at the build-to-line or within the required build-to-zone, shall be defined by a 3' high street screen. Required street screens shall be of one of the following:
 - 1. The same building material as the principal building on the lot or
 - 2. A vegetative screen composed of shrubs planted to be opaque at maturity, or
 - 3. A combination of the two.
- C. The required street screen shall be located at the property line along the corresponding street. Street screens may include breaks to provide pedestrian access from any surface parking or service area to the public sidewalk.

2008.15 BICYCLE PARKING

- A. Bicycle parking shall be located on paved or pervious, dust-free spaces, and shall be a minimum of 2' by 6'. Bicycle parking shall be located in a convenient and visible area, and within 100' of building entries, when possible.
- B. Bicycle parking shall be provided at a rate of 20% of ~~required-provided~~ vehicular parking.

SECTION 2009 SIGN STANDARDS

SECTION 2009 SIGN STANDARDS

2009.00 PURPOSE

Section 2009 identifies sign standards that are intended to appropriately limit the placement, type, size, construction, illumination, and number of signs allowed within a specific Context Area and to require the proper maintenance of signs. The regulations and standards of this Section are intended to be content neutral and are considered the minimum necessary to achieve a substantial government interest for public safety, aesthetics, and protection of property values. The purpose of these limitations and requirements are to:

- A. Protect the public right to receive messages and information protected by the First Amendment of the U.S. Constitution;
- B. Safeguard and protect the public health, safety, and general welfare;
- C. Promote aesthetic and environmental values of the community by providing for signs that do not impair the attractiveness of the city as a place to live, work and shop;
- D. Avoid traffic safety hazards to motorists, bicyclists, and pedestrians, caused by visual distractions and obstructions;
- E. Enable the public to locate goods, services and facilities without excessive difficulty and confusion by restricting the number and placement of signs;
- F. Provide for signs as an effective channel of communication, while ensuring that signs are aesthetically designed and proportioned in relation to adjacent structures and the structures to which they are attached;
- G. Recognize that the principal intent of commercial signs is for identification of an establishment on the premises, and not for advertising off-premises activities; and
- H. Regulate portable commercial signs in recognition of their significant negative impact on traffic safety and aesthetics.

2009.01 APPLICABILITY

- A. Section 2334 of the City of Muskegon Zoning Ordinance regulates signs. Provisions contained in Section 2334, subsections 1-5 shall apply to signs within the Form Based Code district, in addition to the standards contained herein.
- B. Temporary signs shall be regulated per Section 2334 of the City of Muskegon Zoning Ordinance.
- C. No person, firm, or corporation shall erect, repair, alter, relocate, display or maintain any sign which does not comply with the standards set forth in this Section, and no permit shall be issued for any such sign.

2009.02 SIGN REQUIREMENTS[RESERVED]

- ~~A. Sign types, quantities, and sizes shall be as provided herein.~~
- ~~B. Sign Types are limited to the following:
 - 1. Sign Band Signs.
 - 2. Wall Signs.
 - 3. Projecting Signs.
 - 4. Awning and Canopy Signs.
 - 5. Window Signs.
 - 6. Ground Signs.~~

2009.03 OFF PREMISE ADVERTISING

~~For off-premise advertising shall not be permitted, see Section 2334, 4 of the City of Muskegon Zoning Ordinance.~~

SECTION 2009 SIGN STANDARDS

2009.04 NONCONFORMING SIGNS

For nonconforming signs, see Section 2334, 13 of the City of Muskegon Zoning Ordinance.

2009.05 REMOVAL

For removal of signs, see Section 2334, 14 of the City of Muskegon Zoning Ordinance.

2009.06 SIGN TYPE OVERVIEW[RESERVED]

Sign types for the Muskegon Form Based Code are as follows:

Sign Band: A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on buildings types with the following frontages: Storefront, Balcony, or Drive-through.

Wall Sign: A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

Projecting Sign: A double faced sign that is attached to the face of a building and projects from the wall of the building at a ninety (90) degree angle. Projecting signs may include logos or creative art and graphics as part of the sign composition and may be fabricated of wood, metal, fabric, or other durable material.

Awning & Canopy Sign: Awning Signs may be painted, screen printed or appliquéd to the awning. Canopy Signs shall be attached upon the face or above the face of metal canopies. Awning and Canopy Signs shall be placed on canopies or awnings that are above doors and/or windows.

Window Sign: Window Signs are any sign, picture, symbol or combination thereof that is designed to communicate information about activity, business, commodity, event, sale, or service that is placed on the window and which is intended to be seen by the public from the outside. Window signs include neon tube signs that indicate “open” for business and other neon tube signs as indicated in this subsection.

Ground Sign: A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

SECTION 2009 SIGN STANDARDS

2009.07 SIGN BAND SIGN

A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom on buildings types with the following frontages: Storefront, Balcony, or Drive-through.

1.0 Sign Band Sign Size and Proportion

Refer to Refer to [Illustration 9.01](#) for graphic representation of the dimensional requirements regarding Sign Band Signs.

Commented [JP211]: Add illustration.

- A. Sign Band Sign sizes and proportions are relative to the size of the building's sign band or horizontal expression band.
- B. Vertical Placement: Sign content height shall not exceed 80% of the overall height of the sign band or horizontal expression band.
- C. Horizontal Placement: Sign content within the sign band or horizontal expression band shall not come closer than two (2) feet to the side edges of the sign band.
- D. Sign content shall not extend more than three (3) inches from the face of the sign band or horizontal expression line.

2.0 Sign Band Sign Standards

- A. Sign content (letters, corporate logos, symbols or designs) may be engraved, painted, or surface mounted on the building's sign band or horizontal expression band. Sign content shall be made of materials visually compatible with the display surface.
- B. Dimensional requirements of sign band Section 2009.13.
- C. Sign content is not required to be placed in sign band or horizontal expression line.

3.0 Sign Band Sign Quantity

- A. The number of Sign Band Signs allowed per building shall not exceed the quantities indicated in Section 2009.14.
- B. Sign Bands may be used in conjunction with other Sign Types.

4.0 Sign Band Sign Location

Sign Band Signs are permitted to be installed at the sign band or horizontal expression band above a storefront window or transom on buildings that have Storefront, Balcony, or Drive-through Frontage.

- A. At corner lot buildings, Sign Band Signs are also permitted to be installed at the sign band or horizontal expression line above storefronts or transoms along side streets.

5.0 Sign Band Sign Illumination

- A. Sign Band Signs may be externally illuminated per the requirements of Section 2334, 3, f.
- B. Sign Band Signs are not permitted to be internally illuminated. Sign Band is not permitted to be illuminated with neon illumination.

SECTION 2009 SIGN STANDARDS

2009.08 WALL SIGN

A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

1.0 Wall Sign Size and Proportion

Refer to [Illustration 9.02](#) for graphic representation of the dimensional requirements regarding Wall Signs.

Commented [JP212]: Add illustration.

Refer to Section 2009.13 for dimensional requirements.

- A. Wall Signs shall be a minimum of three (3) feet above the adjacent grade.
- B. Wall Signs shall not come closer than two (2) feet to the corner of the building.

2.0 Wall Sign Standards

- A. Wall Signs shall be designed to be compatible with the character of the building and building materials in order to promote a unified design which compliments the building's massing, scale and character.
- B. Wall Sign content may include letters, corporate logos, symbols or designs that are painted or applied to the building wall.

3.0 Wall Sign Quantity

- A. The number of Wall Signs allowed per building shall not exceed the quantities indicated in Section 2009.14.
- B. Wall may be used in conjunction with other Sign Types.

4.0 Wall Sign Location

Wall Signs are permitted on the fronts of the following buildings:

- A. Live/Work
- B. Flex
- C. Multi-plex (Small and Large)
- D. Civic

Wall Signs are permitted on the sides (along side street) of the following buildings:

- A. Mixed-Use
- B. Retail
- C. Cottage Retail
- D. Live/Work
- E. Multi-plex (Small and Large)
- F. Civic

5.0 Wall Sign Illumination

- A. Wall Signs may be externally or internally illuminated per the requirements of Section 2334, 3, f.
- B. Wall Signs are not permitted to be illuminated with neon illumination.

SECTION 2009 SIGN STANDARDS

2009.09 PROJECTING SIGN

A double faced sign that is attached to the face of a building and projects from the wall of the building at a ninety (90) degree angle. Projecting signs may include logos or creative art and graphics as part of the sign composition and may be fabricated of wood, metal, fabric, or other durable material.

1.0 Projecting Sign Size and Proportion

Refer to [Illustration 9.03](#) for graphic representation of the dimensional requirements regarding Projecting Signs.

Commented [JP213]: Add illustration.

Refer to Section 2009.13 for dimensional requirements.

- A. Maximum height of projecting signs shall be four (4) feet except projecting signs depicting only the building name may be taller (see note in Section 2009.13).
 - B. Maximum width of projecting signs shall be three (3) feet except projecting signs depicting only the building name may increase to four (4) feet.
 - C. Projecting Signs shall not extend more than five (5) feet from the face of building.
 - D. Projecting Signs shall be a minimum of eight (8) feet above the adjacent grade and may not extend above the roof line.
 - E. Projecting signs shall be perpendicular to the building face.
- #### 2.0 Projecting Sign Standards
- A. Projecting Signs shall be designed to be compatible with the character of the building and building materials in order to promote a unified design which compliments the building's massing, scale and character.
 - B. Projecting Sign content may include letters, corporate logos, symbols or designs and shall have content on both sides of the sign.
 - C. Projecting Signs placed on fabric, cloth or canvas shall be securely anchored to a sign frame.
- #### 3.0 Projecting Sign Quantity
- A. The number of Projecting Signs allowed per building shall not exceed the quantities indicated in Section 2009.14.
 - B. Projecting Signs may be used in conjunction with other Sign Types.
- #### 4.0 Projecting Sign Location
- A. Projecting Signs are permitted on the fronts of the following buildings:
 - 1. Mixed-Use
 - 2. Retail
 - 3. Cottage Retail
 - 4. Live/Work
 - 5. Flex
 - 6. Multi-plex (Small and Large)
- #### 5.0 Projecting Sign Illumination
- A. Projecting Signs may be externally or internally illuminated per the requirements of Section 2334, 3, f.

SECTION 2009 SIGN STANDARDS

2009.10 AWNING AND CANOPY SIGN

Awning Signs may be painted, screen printed or appliquéd to the awning. Canopy Signs shall be attached upon the face or above the face of metal canopies. Awning and Canopy Signs shall be placed on canopies or awnings that are above doors and/or windows.

1.0 Awning and Canopy Sign Location and Size

Refer to [Illustration 9.04](#) for graphic representation of the dimensional requirements regarding Awning and Canopy Signs.

Commented [JP214]: Add illustration.

Refer to Section 2009.13 for dimensional requirements.

- A. Awning Signs are permitted on the fronts and sides of buildings above any windows and/or doors where awnings are placed.
 - B. Canopy Signs are permitted on the fronts and sides of buildings above doors where canopies are placed.
 - C. Awning and Canopies shall be a minimum of eight (8) feet above the adjacent grade.
 - D. Height of awning valance shall be between eight (8) and fourteen (14) inches.
 - E. Height of sign content on awning valance shall not exceed 80% of the valance height.
 - F. Width of awning shall not exceed the width of the door or window that it is above.
 - G. Width of sign content on awning valance shall not exceed 90% of the valance width.
 - H. Area of sign content located on the shed (sloped) area of the awning shall not exceed 30% of the overall shed area.
 - I. Width of canopy shall not exceed the width of the door that it is above.
 - J. Sign content may be placed on or above the canopy fascia and shall not exceed 90% of the width of the canopy.
 - K. Height of canopy sign content shall not exceed 90% of the height of the canopy. Maximum width of projecting signs shall be three (3) feet.
- 2.0 Awning and Canopy Sign Standards
- A. Awning and Canopy Sign content may include letters, corporate logos, symbols, or designs that are painted, applied or surface mounted on the awning or canopy surface. Sign content on canopy signs may also be located above the canopy sign. Projecting Signs shall be designed to be compatible with the character of the building and building materials in order to promote a unified design which compliments the building's massing, scale and character.
- 3.0 Awning and Canopy Sign Quantity
- A. The number of Awning and Canopy Signs allowed per building shall not exceed the quantities indicated in Section 2009.14.
 - B. Awning and Canopy Signs may be used in conjunction with other Sign Types.
- 4.0 Awning and Canopy Sign Illumination
- A. Awning and Canopy Signs shall not be illuminated.

SECTION 2009 SIGN STANDARDS

2009.11 WINDOW SIGN

Window Signs are any sign, picture, symbol or combination thereof that is designed to communicate information about activity, business, commodity, event, sale, or service that is placed on the window and which is intended to be seen by the public from the outside. Window signs include neon tube signs that indicate “open” for business and other neon tube signs as indicated in this subsection.

1.0 Window Sign Size and Proportion

Refer to [Illustration 9.05](#) for graphic representation of the dimensional requirements regarding Window Signs.

Commented [JP215]: Add illustration.

Refer to Section 2009.13 for dimensional requirements.

- A. Lower Surface Applied Window Signs shall be within 12” of the sill and may span the entire width of the storefront.
- B. Width of Surface Applied Window Signs above twelve (12) inches from the sill shall not exceed four (4) feet in width.
- C. Height of Surface Applied Window Signs above twelve (12) inches from the bottom of the sill shall not exceed three (3) feet.

2.0 Window Sign Standards

- A. Surface Applied Window Signs shall be professionally painted or applied letters, corporate logos, symbols or designs.

3.0 Window Sign Quantity

- A. The number of Window Signs allowed per building shall not exceed the quantities indicated in Section 2009.14.
- B. Window Signs may be used in conjunction with other Sign Types.

4.0 Window Sign Location

- A. Surface Applied Window Signs are permitted on the ground and upper floor front and ~~street-side~~ street windows of the following buildings:
 1. Mixed-Use
 2. Retail
 3. Cottage Retail
 4. Flex
 5. Live/Work
 6. Multi-plex (Small and Large)
- B. Window Signs shall be installed on the inside face of the window.

5.0 Window Sign Illumination

- A. Window Signs shall not be illuminated.

SECTION 2009 SIGN STANDARDS

2009.12 GROUND SIGN

A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

1.0 Ground Sign Size and Proportion

Refer to **Illustration 9.06** for graphic representation of the dimensional requirements regarding Ground Signs.

Commented [JP216]: Add illustration.

Refer to Section 2009.13 for dimensional requirements.

- A. Maximum height of Ground Signs shall be four (4) feet except multi-tenant Ground Signs may increase to five (5) feet.
- B. Maximum width of Ground Signs shall be three (3) feet except multi-tenant Ground Signs may increase to five (5) feet.

2.0 Ground Sign Standards

- A. Ground Signs shall be designed to be compatible with the character of the surrounding buildings and building materials in order to promote a unified design which compliments the buildings' massing, scale and character.
- B. Ground Sign content may include letters and corporate logos that are permanently affixed to the sign.
- C. Ground Sign content is not permitted to be changeable copy, except for gasoline price signs, directory signs listing more than one tenant, and signs advertising restaurant food specials, films, and live entertainment, which change on a regular basis.
- D. Ground Signs shall have content on both sides of the sign with building address clearly depicted.

3.0 Ground Sign Quantity

- A. The number of Ground Signs allowed per building shall not exceed the quantities indicated in Section 2009.14.
- B. Ground Signs may be used in conjunction with other Sign Types.

4.0 Ground Sign Illumination

- A. Ground Signs may be externally or internally illuminated per the requirements of Section 2334, 3, f.

5.0 Ground Sign Location

- A. Ground Signs are permitted in the front yard setback of the following buildings:
 - 1. Cottage Retail
 - 2. Multi-Plex
 - 3. Civic
- B. Ground Signs shall be setback a minimum 10' from front property line.

SECTION 2009 SIGN STANDARDS

2009.13 SUMMARY OF DIMENSIONAL REQUIREMENTS FOR SIGNS

2009.14 SUMMARY OF SIGN QUANTITIES PERMITTED

Commented [JP217]: Add updated table including Lakeside FBC info.

Commented [JP218]: Add updated table including Lakeside FBC info.

SECTION 2010 FORM BASED CODE DEFINITIONS

SECTION 2010 FORM BASED CODE DEFINITIONS

2010.00 APPLICABILITY

The following terms are defined for the purpose of the City of Muskegon Form Based Code.

In instances where terms are not defined here, they may be defined elsewhere in the existing ~~municipal-City of Muskegon~~ Zoning Ordinance. In such cases, the definitions contained within the existing zoning ordinance shall be used for the administration of the City of Muskegon Form Based Code.

In instances where terms are defined in both the existing ordinances and here, the definitions here shall prevail for the administration of the City of Muskegon Form Based Code.

~~Active Use: A use at the street level of a building that allows physical and visual activity to occur between the inside of the building and the sidewalk area. A group of buildings with active street level uses will generate pedestrian activity on the sidewalk and vehicular activity in the thoroughfare. Typical active uses include retail and restaurants at the street level.~~

Adjacent Grade: The exterior grade immediately adjacent to the building or structure from which measurements shall be taken.

Alley: ~~A dedicated right-of-way or easement providing access for service and parking at the rear or side of a parcel. Not intended for general traffic circulation~~Refer to Rear-Alley. Also referred to as Rear Alley.

Architectural Elements: Elements of a building that may project from the facade beyond required build-to-line, into required setbacks, beyond build-to-zones or into the public right-of-way as indicated in Section 2003.02. These include balconies, awnings, canopies, eaves, cornices, bays, and projecting signs.

At-Grade Entry: An entry door that has a zero-step entrance, typically associated with the Dooryard Frontage.

Attic: An interior space of a building that has only a single floor of habitable space and that occurs within the pitched roof structure, whether conditioned or not. Attic space is typically not among the number of stories regulated by Context Area or Building Type, unless otherwise noted.

Awning: A retractable or fixed shelter projecting from and supported by the exterior wall of a building and constructed of non-rigid materials on a supporting framework.

Awning Sign: A sign that typically includes letters, logos, symbols and/or designs that may be painted, screen printed, or appliquéd to the awning.

Balcony: An open outdoor portion of an upper floor.

Balcony Frontage: A frontage type that contains a recessed balcony that is applied to the upper level floor of a Building Type along the front street and a storefront that is applied to the ground level floor of a Building Type along the front and side streets. It is always associated with mixed-use buildings. The balcony-storefront frontage shall be designed to include an open-air space that is recessed into the building mass on the upper level(s) and a storefront that is designed to promote an attractive, convenient shopping experience and transparent wall along the sidewalk.

~~Basement: An interior space of a building that has more than one half (1/2) of its height below grade.~~

Bay or Bay Window: An interior portion of an upper floor extending beyond the building's exterior wall plane that is not supported from below by vertical columns or piers.

SECTION 2010 FORM BASED CODE DEFINITIONS

~~Bike Lane, Dedicated: A bike lane that is a portion of the roadway that has been specifically designated by striping, signing, and/or pavement markings for the preferential and exclusive use of bicyclists.~~

~~Bike Lane, Protected: A bike lane that has a physical barrier or vertical separation between moving motor vehicle traffic and bicyclists. Examples of a physical barrier or vertical separation include plastic posts, bollards, curbs, planters, raised bumps, or parked cars.~~

~~Bike Travel Zone: An element of the Public Realm Type Standards that is dedicated to accommodating bicycle traffic. This zone may be defined by sharrows (shared lanes), dedicated bike lanes, and/or protected bike lanes. Refer to Section 2007.04 for bicycle facilities that are appropriate for the Bike Travel Zone.~~

Building Composition: The essential architectural characteristics that define a specific Building Type.

Building Facade: The exterior walls of a building that face either a front or side street, public right-of-way, or easement. A building can have more than one facade, if it is on a corner lot, on the waterfront, or adjacent to a public right-of-way or civic space.

Building Footprint: The shape and placement of the ground floor of a structure on the lot or parcel.

~~Building Footprint, Condominium Site: The area of the condominium site within which the main building or structure may be constructed as described in the master deed for the site condominium project.~~

Building Height: The number of stories permitted by the Context Area (Section 2005), with the actual measurement of individual story height determined according to specific Building Types in Section 2006. Measurement of story height is the distance between the floor and ceiling of that story. Refer to Height, Building.

Building Wall: In reference to the walls that face the right-of-way lines along front and side streets, public paths, or civic spaces. Specifically related to the requirements of building site placement.

Build-To-Line: A measurement that defines the edge in which the building walls that face front and side streets are required to be built to. When a build-to-line is indicated in the requirements for a Building Type frontage and/or Context Area, it is a requirement and not a permissive minimum as is a setback line.

Build-To-Zone: A measurement that defines the range (or zone) in which the building walls that face front and side streets are required to be located within. When a build-to-zone is indicated on a Building Type frontage and/or Context Area, it is a requirement that the building walls are constructed within this range.

Building Type: Building Types describe the various forms of buildings that are permitted in the City of Muskegon Form Based Code. Each Building Type has its own specific massing, composition, vertical dimension, and frontage options that create its unique attributes. ~~Building Types are regulated in Section 2006 and are allowable within various Context Areas.~~

~~Building Type and Frontage Zone: An element of the Public Realm Type Standards that represents the portion of the public realm that is defined by the building wall at the sidewalk. It is at this edge that private-sector development meets public-sector investment. It is also the location where the street wall can promote activity and vibrancy, while enhancing walkability.~~

Canopy: A fixed shelter projecting from and supported by the exterior wall of a building and constructed of metal or other rigid materials.

Canopy Sign: A sign that typically includes letters, logos, symbols and/or designs that is integrated into a canopy.

SECTION 2010 FORM BASED CODE DEFINITIONS

Carriage House Building Type: A Building Type that is an accessory structure typically located at the rear of a lot. It typically provides either a small residential unit or home office space which could be located at ground-level, above, or adjacent to a first floor garage. ~~This Type is important for providing affordable housing choices that are integrated into diverse neighborhoods. This Type shall only be used in conjunction with the Detached House, Duplex, Rowhouse, or Live/Work Building Types.~~

Civic Building Type: A Building Type that is a small-, medium- or large-sized detached structure that incorporates uses of special public importance including, but not limited to municipal buildings, churches, and libraries. Civic Buildings typically have less form regulations than other Building Types because their prominence within the community requires more iconic and distinctive form. Civic buildings are typically sited in locations of prominence, such as corners of major intersections, terminating a street vista, or overlooking or within a civic space. The design of these Building Types is encouraged to allow greater flexibility and distinctive architectural expression so that they can become landmarks. In the Muskegon Form Based Code Area, schools are not considered uses that are appropriate for Civic Buildings.

Civic Space: An outdoor area dedicated to public use that is strategically placed to facilitate use by the surrounding community.

Clear Glass: ~~Glass having a Visual Light Transmittance (VLT) of seventy (70) percent minimum. Heavily tinted glass and/or reflective glass shall not be considered clear. Refer to Glass, Clear.~~

Context Area: Administratively similar to zoning districts in conventional codes, except that they integrate form-based elements, including Building Type, building site placement, and off-street parking placement into the regulation.

Cornice Expression Line: An architectural feature on buildings that acts as an upper termination or capital for the overall composition of the building.

Cottage Retail Building Type: A Building Type that is a small- to medium-sized detached structure. It is intended to provide retail or service uses at the ground floor. This Type will typically have a residential mass, scale, and composition that allows it to integrate into adjacent residential areas.

~~Dedicated Bike Lane: Refer to Bike Lane, Dedicated.~~

Detached House Building Type: A Building Type that is a small- to medium-sized detached structure that incorporates one dwelling unit. It is typically located within a primarily single-family neighborhood in a walkable urban setting. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types. Synonymous with single-family house.

Departure: A Minor or Major modification to selected Form Based Code requirements, ~~refer to Section 2002, Tables 2002.03a and 2002.03b.~~

Dooryard Frontage: A frontage option where the facade of the building that faces the front street is setback a small distance from the street, typically within a build-to-zone. The front property line is oftentimes defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along the rights-of-way. The dooryard may be raised or at-grade and is most often intended for ground floor residential.

Drive-through Frontage: A frontage option that is identical to the Storefront Frontage, however it includes an automobile drive-through at the rear or non-street facing sides. The drive-through may include a covered structure at the service window location. This structure is designed to be a secondary element to the building and is consistent with the massing, scale, and design of the building. This frontage is typically associated with retail and

SECTION 2010 FORM BASED CODE DEFINITIONS

mixed-use buildings and includes a storefront that is designed in a way that promotes an attractive and convenient shopping experience.

Drive-through Zone: The area (or zone) in which a drive-through is permitted to be placed on a site. Drive-through zones are part of requirements of the Drive-Through Frontage.

Duplex Building Type: A Building Type that is a small- to medium-sized detached structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This Type has the appearance of a medium-sized single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types. Synonymous with two-family house.

Eave: The projecting overhang along the sloped edge of a pitched roof.

Engaged Porch Frontage: A frontage option where the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The engaged porch has two adjacent sides of the porch that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

~~Expanded Tree Pit: This system is designed to provide street trees a better environment to grow and survive in urban contexts. The principle behind the expanded tree pit is to approximate the growing conditions in which a tree species has evolved. The more closely those conditions can be achieved, the better a tree will survive and express its genetic potential. An expanded tree pit, or shared rooting space, may be achieved by linking individual tree pits with an under sidewalk corridor.~~

Facade: Refer to Building Facade.

Fascia: Horizontal board that terminates an eave edge of a sloped or pitched roof.

Finish Ceiling: The ceiling surface, usually installed over building structure or hung from the structure, which provides the completed ceiling surface.

Finish Floor: The floor, usually laid over a subfloor, which provides the completed floor surface.

Flex Building Type: A Building Type that is a medium- to large-sized attached or detached structure, typically built on a large lot. It can be used to provide a vertical mix of uses with ground floor industrial, service, retail, or residential uses; or it may be a single-use building. This Type is a primary component in a variety of urban context areas that provide a mix of Building Types.

Forecourt Frontage: A frontage option where the facade of the building that faces the front street is at or near the right-of-way line and a small percentage of the facade is set back, creating a small courtyard space. The courtyard area is not covered. Forecourts used in conjunction with Mixed-Use Building Types shall have a storefront where the forecourt and courtyard space shall be used as an additional shopping space or restaurant seating area.

Form Based Code Area: The area on the City of Muskegon Zoning Map (~~located in Article III, Section 300 of the City Zoning Ordinance~~) that is designated as a Form Based Code District. Lots or parcels located in the Form Based Code Area are regulated by the Muskegon Form Based Code.

SECTION 2010 FORM BASED CODE DEFINITIONS

Front Street: ~~The property lines of a parcel that are along t~~The street of address for the parcel or building. Refer also to side street. The waterfront is considered an additional front street in instances where buildings face the waterfront and a street of address.

Frontage Type: The privately owned area between the frontage line and the building facade. Private frontages are applied to Building Types to ensure that the building adequately engages the street, sidewalk and public realm. ~~Private frontages are specific to Building Types and are defined in subsections for each specific Building Type in Section 2006. Each Building Type has many options for frontage types and therefore the specific project requirements will determine what frontage may be used. Selection of frontages are at the discretion of the land owner or development team.~~

~~**Glass, Clear:** Glass having a Visual Light Transmittance (VLT) of seventy (70) percent minimum. Heavily tinted or reflective glass shall not be considered clear.~~

Green Infrastructure: Infrastructure that provides and promotes a network of natural systems within the urban environment. Green infrastructure manages storm water, mitigates heat island effect, provides small green spaces, improves air quality, and provides habitats for birds and animals. Green infrastructure includes trees, storm water planters (including inlet/outlet and overflow mechanisms), rain gardens, bioswales, surface and subsurface storm water storage structures, pervious pavements, and water efficient irrigation. ~~Green infrastructure, when used, shall be placed in The Sidewalk Furnishing and Tree Zone of the Public Realm Types.~~

~~**Ground Cover:** Grass, vegetative cover, or other living landscape.~~

Ground Sign: A free-standing permanent sign that is mounted directly on the ground or ground level foundation and is often used to mark a place of significance or the entrance to a location.

~~**Height, Building:** The number of stories permitted by the Context Area (Section 2005), with the actual measurement of individual story height determined according to specific Building Types in Section 2006. Measurement of story height is the distance between the floor and ceiling of that story.~~Horizontal Expression

Band: An architectural element on buildings that acts as an upper termination for the storefront frontage. Horizontal Expression Lines extend the entire width of the building facade above a storefront and may contain signs. Synonymous with Sign Band.

Illuminated Sign: A sign that is illuminated by an internal or external light fixture.

~~**Internally Illuminated Sign:** A sign that is illuminated by an internal light fixture.~~

~~**Impervious Surface:** Any hard surfaced, man-made area that does not readily absorb or retain water including but not limited to building roofs, parking and driveway areas, sidewalks and streets.~~

Large Multi-plex Building Type: A Building Type that is a medium- to large-sized structure that consists of 7 or more side-by-side and/or stacked dwelling units, typically with one shared entry. This Type is appropriately scaled to fit in medium-density neighborhoods and enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability. This Building Type is most closely related to apartment buildings or loft condominiums.

Lightwell: A component of the lightwell frontage that is recessed below the adjacent grade in order to provide a landing and access to the basement from the sidewalk. Typically used in association with a terrace. Refer to Terrace definition.

Lightwell Frontage: A frontage option where the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. This frontage has a

SECTION 2010 FORM BASED CODE DEFINITIONS

combined elevated terrace and sunken lightwell between the building wall and property line. This frontage type buffers residential, retail, and service uses from urban sidewalks and removes the private yard from public encroachment.

Liner Building: A specialized building that is designed to conceal a parking structure or parking lot. The liner building may be an independent building or may be physically attached to a parking structure so that parking may be accessed directly from floor to floor between the building and structure.

Live/Work Building Type: A Building Type that is a small- to medium-sized attached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or retail uses. Both the ground floor space and the dwelling unit are owned by one entity. This Type is especially appropriate for incubating retail and service uses and allowing neighborhood retail to expand as the market demands.

~~Lot Coverage: The percentage of the lot that is taken up by buildings.~~

~~Mandatory: Refer to required.~~

Massing: The scale and proportions of a building or object.

~~Median Furnishing and Tree Zone: An element of the Public Realm Type Standards that represents the area of the right-of-way that is dedicated to accommodating street trees, planters, and street lighting, in between vehicular traffic in the middle of the thoroughfare vehicular zones. (This element is specific to boulevards.)~~

Mixed-Use Building Type: A Building Type that is a medium- to large-sized typically attached structure. It is intended to provide a vertical mix of uses with ground floor retail or service uses and upper floor service or residential uses. This Type makes up the primary component of a main street and downtown, and is a Building Type that can provide street vibrancy and enhanced walkability.

~~Multi-plex, Large: Refer to Large Multi-plex Building Type.~~

~~Multi-plex, Small: Refer to Small Multi-plex Building Type.~~

~~New Development: Development occurring on a vacant parcel of land.~~

Nonconforming sign:

1. A sign that is prohibited under the terms of this Article, but was erected lawfully and was in use on the date of enactment of this Article, or amendment thereto; or
2. A sign that does not conform to the requirements of this Article, but for which a variance has been granted.

~~On-street Parking Zone: An element of the Public Realm Type Standards that represents the area of the right-of-way that is dedicated to accommodating on-street automobile parking. It is the zone that typically separates and protects people from traffic.~~

Optional: A feature or element that is not required, but may be provided on the project at the applicant's discretion.

Outdoor Seating: Patio, terrace, walkway, sidewalk, lawn or garden or any other place (which is not enclosed) where seating is permitted, usually in association with a restaurant, bar or other related commercial uses.

Parapet: A part of the facade that extends above the roof, typically located on flat roof buildings. Parapet heights are measured from the roof line.

SECTION 2010 FORM BASED CODE DEFINITIONS

~~Parkway: The landscaped area between the sidewalk and the curb in a thoroughfare assembly. Located within the Sidewalk Furnishing Zone of the Public Realm. Synonymous with Planting Strip and is also sometimes referred to as a terrace in Muskegon.~~

~~Pilaster: A decorative or structural column that is attached to the facade of a building. Pilasters may be round, in which case they are detailed exactly like a free-standing column. Square or rectangular pilasters may be detailed in a simpler manner and sometimes are a wall projection (common in masonry buildings).~~

~~Porch: A slightly elevated partially enclosed area attached to a building and covered with a roof. A porch is typically wide and deep enough to accommodate some seating.~~

~~Porch, Engaged: A porch that has two adjacent sides that are engaged to the building (connected to and enclosed by building walls) while the other two sides are open. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk. Refer to Engaged Porch Frontage.~~

~~Porch, Projecting: A porch that is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk. Refer to Projecting Porch Frontage.~~

Projecting Porch Frontage: A frontage option where the facade of the building that faces the front and/or side streets is setback a medium distance from the front and side streets, typically within a build-to-zone. The resulting yard is typically small and can be defined by a fence or hedge to spatially maintain the street edge. The projecting porch is open on three sides and all habitable space of the building is located behind the rear edge of the porch. The porch is elevated above the sidewalk. Steps from the porch may be on the front or side of the porch and shall lead directly to the sidewalk.

Projecting Sign: A double faced sign that is attached to the face of a building and projects from the wall of the building at a ninety (90) degree angle. Projecting signs may include logos or creative art and graphics as part of the sign composition and may be fabricated of wood, metal, fabric, or other durable material.

~~Protected Bike Lane: Refer to Bike Lane, Protected.~~

Public Realm: The area between the facade of a building and the corresponding facade of the building across the street, typically defined by the rights-of-way lines of the roadway or street.

Research and Development: The innovation, introduction and improvement of products and procedures. A series of investigative activities to improve existing products and procedures or to lead to the development of new products and procedures. This excludes animal testing and uses that would cause a nuisance due to noise or odor.

~~Public Realm Type Standard: Public Realm Type Standards describe the space within the public realm, between the rights-of-way lines. The standards include the sidewalk, parkway, furnishing zones, curbs, parking lanes, bike lanes, and automobile travel lanes of streets. The Standards are divided into zones with specific attributes for each Public Realm type. Refer to Section 2007.~~

~~Rake board: The trim board along the sloping edge of a gable roof.~~

~~Rear alley: A dedicated right-of-way or easement providing access for service and parking at the rear of a parcel. Not intended for general traffic circulation.~~

SECTION 2010 FORM BASED CODE DEFINITIONS

Retail Building Type: A Building Type that is a medium- to large-sized typically attached structure. It is intended to provide a single story building with ground floor retail or service uses. This Type makes up the secondary component of a main street and is a Building Type that can provide street vibrancy and enhanced walkability.

~~Required: An element or feature that is required to be provided on the project. Synonymous with Mandatory.~~

~~Right-of-Way (ROW): An area owned or maintained by a local, county, state or federal entity, a public utility, a railroad or a private concern for the placement of utilities or facilities for the passage of vehicles or pedestrians, including roads, streets, pedestrian walkways, utilities or railroads.~~

Right-of-Way Line: A line that forms the boundary of the right-of-way.

Roof Line: The top of a flat roof adjacent to the required parapet. Used for measuring the height of the parapet.

Roof Surface: The average height of the roof surface surrounding adjacent elevators and stair enclosures that extend above the roof of a building. Used for measuring the height of elevators and stair enclosures.

Rowhouse Building Type: A Building Type that is a small- to medium-sized attached structure that consists of 2 to 8 rowhouses placed side-by-side. This Type is typically located within medium-density neighborhoods or in a location that transitions from single-family to mixed-use. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability.

Scale: Refers to the size of the building, street fixture, sign or other built or constructed element.

~~Secondary Wing: A portion of the Small Multi-Plex building that is subservient to the main building in site placement, size, mass, scale and sometimes height. The secondary wing is attached to the main building and in the rear of the site, typically along the secondary street.~~

~~Setback: The minimum horizontal distance required by this Form Based Code, measured from the front, side, or rear lot line as applicable, to govern the location of buildings, structures or uses on the lot.~~

~~Sharrows: A shared lane marking within a vehicle travel lane of a street's surface that indicates that bicyclists may use any portion of the full width of the travel lane.~~

Side Street: ~~The property lines of a parcel that are along a~~Any street other than the street of address for the parcel or building. Refer also to front street.

~~Sidewalk Furnishing and Tree Zone: An element of the Public Realm Type Standards that represents the area of the right-of-way that is dedicated to accommodating street trees, planters, street lighting, sidewalk signs, seating, public art, transit amenities, and green infrastructure.~~

~~Sidewalk Sign: A temporary and portable sign that is not permanently affixed to a structure or ground and is placed on the sidewalk in front of a business during normal business hours. Synonymous with Sandwich Board Sign.~~

~~Sidewalk Walking Zone: An element of the Public Realm Type Standards that represents the area dedicated exclusively to pedestrian activity and travel.~~

Sign Band: An architectural element on buildings that acts as a horizontal upper termination for the Storefront Private Frontage. Sign Bands extend the entire width of the building facade above a storefront and may contain signs. Synonymous with Horizontal Expression Band.

Sign Band Sign: A sign that is painted on, incorporated in, or attached directly to the sign band or horizontal expression band above a storefront window or transom ~~on buildings types with the following frontages: Storefront, Balcony, or Drive-through.~~

SECTION 2010 FORM BASED CODE DEFINITIONS

Site Placement: The placement or location of a building footprint on a lot or parcel.

Small Multi-plex Building Type: A Building Type is a medium-sized structure that consists of 3 to 6 side-by-side and/or stacked dwelling units, typically with one shared entry or individual entries along the front. This Type has the appearance of a large single-family house and is appropriately scaled to fit in single family neighborhoods. This Type enables well-designed higher densities. It is an essential Building Type for providing a broad choice of housing types and promoting walkability. This Building Type is most closely related to small apartment buildings.

~~Street of Address: The street that has the address of the building, lot, or parcel. Synonymous with Front Street.~~

Stoop: A slightly elevated unenclosed area attached to a building and corresponding to a door. ~~A stoop is always covered with a roof, except in instances where it is used as a frontage on the Rowhouse and Detached House Building Types, where it may be used without a roof.~~

Stoop Frontage: A frontage option where the facade of the building that faces the front and/or side streets is setback a small distance from the front and side streets, typically within a build-to-zone. The stoop is elevated above the sidewalk. Steps or a ramp from the stoop may lead directly to the sidewalk or may be side-loaded.

Storefront Frontage: A frontage option at the ground level floor of a **Building Type** along the front and/or side streets. It is typically associated with retail and mixed-use buildings. The storefront shall be designed in a way that promotes an attractive and convenient shopping experience and a transparent wall along the sidewalk. Storefronts are at grade with the sidewalk and are sometimes shaded by awnings.

Storefront Base: The knee wall located at the sidewalk that the storefront window sits on. Sometimes referred to as a bulkhead wall.

Story: The distance between any two adjacent floors or floor lines, measured as the distance between the finished floor and related finished ceiling in feet and inches. Actual story heights are regulated by Building Type (Section 2006). Number of stories are regulated by Context Area (Section 2005).

~~Structural Soil: Part of street tree planting requirements in Public Realm Standards (Section 2007). Structural Soil is a designed medium that can be compacted to pavement design and installation requirements while permitting root growth. It is a mixture of gap-graded gravels (made of crushed stone), clay loam, and a hydrogel stabilizing agent to keep the mixture from separating. It provides an integrated, root penetrable, high strength pavement system that shifts design away from individual tree pits.~~

Terrace: A component of the lightwell frontage that is elevated above the adjacent grade in order to provide a landing and access to the first floor from the sidewalk. Typically used in association with a lightwell. Refer to Lightwell definition. Note that the term Terrace is also associated with its own frontage type (refer to definition for Terrace Frontage). The term terrace is also used in the City of Muskegon to reference the landscaped area between the sidewalk and curb along a street. ~~The Muskegon Form Based Code refers to this area as either a parkway or as the Sidewalk Furnishing and Tree Zone in the Public Realm Standards.~~

Terrace Frontage: A frontage option where the facade of the building that faces the **front** street is set back from the right-of-way line to accommodate an elevated terrace. The terrace provides circulation along the facade. This Frontage Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This frontage may also be used in historic industrial areas to mimic historic loading docks. This frontage type is conditionally permitted to be used when buildings are along a sloped grade that limits at grade access. When the frontage is used on Mixed-Use Building Types and Retail Building Types, it is required to have a storefront.

SECTION 2010 FORM BASED CODE DEFINITIONS

Terrace Leading Edge: The street side (side closest to street) of the Terrace Frontage wall on Mixed-Use and Retail Building Types. This side of the wall is required to be placed at the property line (build-to-line).

~~Thoroughfare: An element of the Public Realm Type Standards that represents the area of the right-of-way that is dedicated to vehicular movement.~~

Transom: A small horizontal window located above the storefront and entry door to allow light or air into the retail building.

Transparency: The ability to see through with clarity. An opening in a building wall allowing light and views between interior and exterior through the use of clear glass. Only clear or lightly tinted glass in windows, doors and display windows is considered clear. ~~Heavily tinted glass or reflective glass shall not be considered clear~~ refer to **Clear Glass**. Interior display shelves and merchandise are not allowed to obstruct views into or out of any windows, doors, or display areas that are considered part of the transparency calculation. Windows, doors, and display areas provide clear views into and out of the building. Transparency is integral to the relationship of buildings and the street because of the permeable edge and dialogue that it creates between the interior and exterior of buildings. ~~Refer to Glass, Clear.~~

~~Tree Pit, Traditional: In an urban context, the space in the ground where a tree is planted. Traditionally, tree pits are 5 foot square or less and covered by tree grate (or more recently a permeable surface surrounding the tree). Best practices for the long term growth and sustainability of the urban street tree is to include an expanded tree pit as part of the planting strategy.~~

~~Tree Pit, Expanded: An expanded pit, or shared rooting space for urban plantings may be achieved by linking individual pits with a corridor at least 18" deep and 4' wide of suitable soil blended into the site soil to avoid boundaries of soil discontinuity. The principle behind the expanded tree pit is to approximate the growing conditions in which a tree species has evolved. The more closely those conditions can be achieved, the better a tree will survive and express its genetic potential. Expanded tree pits are typically sub-surface (with only a traditional tree pit and tree visible at the sidewalk). Expanded tree pits may be above surface in the form of raised planters in less urban intense areas.~~

~~Vehicle Travel Zone: An element of the Public Realm Type Standards that represents the area of the right-of-way that is dedicated to vehicular (automobiles, transit, and/or freight).~~

Vertically proportioned: Typically referring to the orientation of building windows, where the height of the window is taller than the width of the window.

Wall Sign: A sign that is painted on, incorporated in, or attached directly to a building wall, with the exposed face of the sign in place parallel to the building wall.

~~Waterfront Edge Public Realm Type Standard: The dedicated public space (either as defined by a right-of-way or easement) between the lakeshore and area of the lot or parcel that can accommodate a building. The Waterfront Edge acts as a connector for pedestrians and bikes, and as a public space for commercial, residential, and recreational activity. The space is urban in character with fronts of buildings and active frontages facing the waterfront.~~

Window Sign: Window Signs are any sign, picture, symbol or combination thereof that is designed to communicate information about activity, business, commodity, event, sale, or service that is placed on the interior of the window and which is intended to be seen by the public from the outside. Window signs include neon tube signs that indicate "open" for business and other neon tube signs ~~as indicated in this subsection.~~

SECTION 2010 FORM BASED CODE DEFINITIONS

Yard: The space on a lot which is unoccupied by buildings and unobstructed from the ground to the sky.



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: April 16, 2026	Title: 2026 Goal Setting															
Submitted by: Mike Franzak, Planning Director	Department: Planning															
Brief Summary: The Planning Commission discussed potential goals at the February and March meetings. Staff was asked to number the goals in order. Please see the attached list.																
Detailed Summary & Background: The Planning Commission discussed potential goals at the February meeting. Staff was asked to number the goals in order. Please see the attached list.																
Goal/Focus Area/Action Item Addressed: Key Focus Areas: Goal/Action Item: 2027 Goal 1: Destination Community & Quality of Life																
Amount Requested: N/A	Budgeted Item: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">No</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">N/A</td> <td style="width: 15%;"><input checked="" type="checkbox"/></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> </table>	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>								
Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>										
Fund(s) or Account(s): N/A	Budget Amendment Needed: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">No</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">N/A</td> <td style="width: 15%;"><input checked="" type="checkbox"/></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> </table>	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>								
Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>										
Recommended Motion: I move to approve the 2026 Planning Commission goals as proposed.																
Approvals: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">Immediate Division Head</td> <td style="width: 10%; text-align: center;">X</td> <td style="width: 20%;"></td> </tr> <tr> <td>Information Technology</td> <td></td> <td></td> </tr> <tr> <td>Other Division Heads</td> <td></td> <td></td> </tr> <tr> <td>Communication</td> <td></td> <td></td> </tr> <tr> <td>Legal Review</td> <td></td> <td></td> </tr> </table>	Immediate Division Head	X		Information Technology			Other Division Heads			Communication			Legal Review			Guest(s) Invited / Presenting: No
Immediate Division Head	X															
Information Technology																
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Communication																
Legal Review																

Potential 2026 Planning Commission Goals

1. Institute residential lot-width maximums in R districts. These already exist in FBC districts.
2. Consolidating some commercial zoning districts (B-1, B-2, etc.) & eliminating obsolete zoning designations (RT, B-3).
3. Rezone business districts to FBC where appropriate. Identify B-1, B-2, & B-4 commercial districts that would function better as FBC.
4. Signage ordinance updates.
5. Incorporating low impact design standards. [Here](#) is a good example of LID parking lot improvements.
6. Updating landscaping requirements (amount of landscaping required, vegetation buffers along the waterfront, more street trees, etc.)
7. Identifying community needs as it pertains to PUD's



2025 MASTER PLAN PROGRESS REPORT



Master Plan Progress Report

The charts in this report outline the progress made on the goals and action steps listed in the master plan. A green highlight indicates that progress has been made for the specific recommendation. The yellow highlight explains in detail what progress has been made.

ECONOMIC DEVELOPMENT		
Goal 1: Bolster business retention, expansion, and attraction initiatives with a robust portfolio of economic development programs and services.		
Recommendation	Time Frame	Task Leaders
E1.1 Maintain an up-to-date tax abatement policy.	Ongoing	DS
The Development Services Division maintains the tax abatement policy and currently reviews abatement requests as a team, using the policy to guide its recommendations to the Commission. The policy was updated again in 2025.		
E1.2 Identify land for future business expansion.	Ongoing	DS
Staff is working to find a developer for the remaining parcel in the Port City Industrial Park that was acquired from the jail. Staff also continues to work with existing businesses on expansion projects.		
Goal 2: Create viable commercial corridors and neighborhood commercial/social nodes		
E2.1 Invest in placemaking opportunities that capitalize on community assets.	Ongoing	DS, PC, DDA, DPW
The city adopted an Accessory Commercial Unit ordinance utilizing the community nodes identified in the future land use map.		
E2.2 Encourage the formation of business district associations and develop corridor improvement plans for active business districts.	Ongoing	DS
Staff has created a Corridor Improvement Checklist that will assist business owners in establishing business associations, addressing corridor issues, and creating a vision for their corridor. The Checklist is intended to incrementally improve business corridors rather than developing full-scale corridor improvement plans that may not be necessary. Staff is currently working with businesses on Getty St to determine the best path forward for improvements to the corridor. The Apple Ave Corridor Improvement Plan was completed 2024, which includes a new street design that was approved by the City Commission in 2025.		
E2.3 Support retail development, growth, and expansion through zoning amendments and economic incentives that encourage a range of potential unit sizes.	Now	DS, PC
The city continues to operate Western Market. However, the space for the Century Club is for sale and small retailers may lose their space. Staff will research possible zoning amendments and the tax abatement policy for ways to address the need for smaller retail spaces. City staff continues to encourage developers to provide smaller retail spaces, however, we do not currently have any incentives specific to this goal. Properties along Peck, Beidler and 3 rd St (Midtown) were rezoned to bring these existing businesses into conformance and allow new business expansion.		
E2.4 Promote walkability through pedestrian-focused ground-level activities and use micro-transit to bridge long distances.	Now	DS, PC

Staff updated the outdoor seating policy in 2024 and continues to approve outdoor seating requests. A new food truck parking lot has opened behind the Corner building next to Hackley park. The city continues to operate the downtown tram service. The city started operating a beach shuttle to transport people to the beach. Electronic scooters were briefly available in the summer of 2023, but an official contract never materialized.			
E2.5	Simplify zoning regulations to permit flexibility in business types.	Now	DS, PC
The zoning ordinance was amended to allow marinas in the Lakeside FBC. It was also amended to allow for cat cafes in numerous zoning districts. Additional efforts are needed to increase allowable use-types for existing commercial building within neighborhoods. The Accessory Commercial Unit ordinance was approved.			
Goal 3: Create opportunities for local residents to participate in the workforce.			
E3.1	Improve workforce training efforts and opportunities.	Now	DS
E3.2	Create a pipeline of workforce talent from schools to local industries.	Now	DS
Goal 4: Create a business community that is reflective of the diversity of the city.			
E4.1	Help create networking and mentoring opportunities for those interested in local business opportunities.	Now	DS, COM
E4.2	Create a community engagement portal to address the concerns and needs of local entrepreneurs.	Now	DS, COM
The Corridor Improvement Checklist was created to address business-owner concerns. Staff continues to meet with different business corridors.			
Goal 5: Utilize our natural resources to develop a strong blue economy.			
E5.1	Increase and enhance publicly-accessible amenities along the waterfront and soften shorelines where possible.	Ongoing	DS, PC
The land swap project was approved, which will increase publicly-accessible amenities along the waterfront.			
E5.2	Become regionally and nationally designated by organizations that will bring visibility and economic development to Muskegon Lake.	Next	DS
The city participated in the creation of the Shoreline Trails and Greenways Plan.			
Goal 6: Provide a diverse supply of housing options that focuses on infill development.			
E6.1	Maintain a database of available lots and incentives for residential development	Now	DS
The Planning Department maintains an online database/map of available city-owned, vacant residential properties.			
E6.2	Engage with developers to create agreements to provide diverse types of housing options.	Ongoing	DS
The Planning Department continues to work with developers on lot sales, requiring them to maximize unit counts by utilizing the most efficient site layouts.			

Transportation and Mobility			
Goal 1: Design streets to safely accommodate all users of the street equitably, putting people first.			
Recommendation		Time Frame	Task Leaders
T1.1	Develop a consistent approach to evaluating the conditions of city streets to ensure that they are sized appropriately and designed to serve all users. Prioritize traffic studies and design interventions on streets identified as those which impede safe, comfortable, and convenient travel for all users.	Ongoing	DPW
T1.2	Create and maintain a detailed inventory of existing, typical street design components used throughout the city including, but not limited to, right-of-way width, pavement width, travel and parking lane configuration, intersection treatments, design speeds and posted speed limits.	Now	DPW, DS
The City entered into a three-year contract for traffic volume and speed data software to address traffic mobility across the city.			
T1.3	Establish and adopt street design standards that consider existing, typical street design components and incorporate best practices in urban street design and construction. Complete all new street design projects in a way that exemplifies a safe streets approach and promotes safe, comfortable, and convenient use of the street by all.	Now	DPW, DS
Staff continues work on developing formal street design standards.			
Goal 2: Strengthen walkability, accessibility, and connectivity at major corridors and neighborhood centers.			
T2.1	Incorporate pedestrian and other active transportation amenities into the design of streets at commercial corridors and community nodes that improve access and mobility for all users.	Now	DPW, DS
The Apple Ave redesign includes reduced driving lanes and includes a new bike lane. The Lakeshore/Laketon Trail Connector on Sanford and Terrace designs were approved and will be constructed in 2026.			
T2.2	Maintain the existing street grid and reestablish it where it has been lost.	Ongoing	DPW, DS
Goal 3: Establish a local funding source for street right-of-way improvements.			
T3.1	Launch a citizen education campaign to increase the general understanding of the means of financing public right-of-way projects and ongoing maintenance needs.	Next	DPW, DS, COM
T3.2	Consider methods of establishing local funding for right-of-way projects and maintenance	Next	DPW, DS, CM

Goal 4: Improve access to public transportation.			
T4.1	Partner with MATS to complete improvements to the public realm surrounding bus stops throughout the city.	Now	DPW, DS
T4.2	Within 1/4-mile of existing bus stops in residential areas, enable transit-supportive housing densities/a housing supply that can support transit.	Now	DS, PC
Properties along Peck St were rezoned to FBC, allowing denser developments, especially the properties closest to Laketon Ave.			
T4.3	Partner with MATS to ensure public transportation options that service new or planned housing, employment, and commercial centers.	Ongoing	DS, CM
Goal 5: Utilize less land for vehicle parking throughout the city.			
T5.1	As parking demand fluctuates, travel habits change, and new development occurs, follow the strategies outlined in the City of Muskegon Parking Strategy, expanding the area of focus.	Ongoing	DS, DPW
The zoning ordinance was amended to reduce the minimum number of parking spaces required for residential units from two to one.			
T5.2	Make better use of on-street parking where it exists and/or where it can be accommodated.	Now	DS, DPW
The Traffic Committee regularly reviews parking restrictions city-wide.			
Goal 6: Promote and improve active transportation through maintenance and expansion of the network of sidewalks and nonmotorized trails.			
T6.1	Establish an active transportation plan.	Next	DS, DPW
The Shoreline Trails and Greenways plan was completed in 2025. An ongoing committee meets to address implementation of the plan.			
T6.2	Using the plan as a guide, expand the city's active transportation network.	Next	DS, DPW
Goal 7: Require new developments to incorporate strong connections to the existing transportation network.			
T7.1	Update the City's subdivision standards to encourage expansion of the existing street grid into newly-platted areas, creation of small blocks, and to restrict construction of new disconnected streets.	Now	DS
T7.2	When reviewing new developments, involve public transportation entities to incorporate connections that serve new residents.	Ongoing	DS
T7.3	Ensure that all new development located adjacent to existing or proposed non-motorized transportation facilities provides intentional public connections to those facilities.	Ongoing	DS, PC
Goal 8: Establish a process to complete quick-build street projects to improve safety within the city's neighborhoods.			

T8.1	Create a series of steps for neighborhood associations and business improvement districts to follow when requesting alterations to streets.	Now	DS, DPW
T8.2	Establish a means of measuring the success of projects undertaken through the quick-build program, consistently building on successful projects and evaluating failures.	Now	DS, DPW
Goal 9: Inventory and establish a policy for alley vacations and establishment of new alleys.			
T9.1	Encourage increased and continued use of public alleys through an improved maintenance plan, a more rigid access management policy, and education on and, when necessary, enforcement of parking regulations.	Now	DS, DPW
The city continues to utilize grant funding to pave public alleys and offers residents the option to improve their alleys.			
T9.2	Adopt standards for approving future requests for alley vacations.	Next	DS, DPW
Goal 10: Ensure transportation connections to the greater region and other population centers.			
T10.1	Seek partnerships with public transportation services in neighboring Ottawa and Kent Counties to establish connections to their population centers and associated transportation options.	Next	DS, DPW
T10.2	Establish more frequent, state-wide bus service to and from Muskegon.	Next	DS, CM
T10.3	Lobby for extension of passenger rail service to Muskegon. Study the feasibility of passenger rail connections to Muskegon.	Next	DS, CM

Housing & Neighborhoods			
Recommendation		Time Frame	Task Leaders
Goal 1: Adopt policies that provide housing choice within all neighborhoods.			
H1.1	Evaluate existing land uses throughout the city to determine where housing options can best be integrated into the city's neighborhoods.	Now	DS
Zoning reform was approved in 2024. Duplexes, triplexes and ADU's are now allowed in all residential zoning districts. Later amendments included the addition of cottage courts.			
H2.2	Study the needs of neighborhoods as well as shortcomings and weaknesses in the city's housing stock.	Now	DS
The Development Services Department plans on updating the housing needs study in 2026. A housing dashboard is being developed to track ongoing progress towards the city's housing goals.			
H3.3	Foster public-private partnerships that assist in the creation of affordable housing units.	Now	DS
The city was awarded six LIHTC developments in the past two years and staff continues to work with developers on providing affordable housing units, including the newly created scattered site PILOT agreements.			
Goal 2: Infill vacant residential lots with new housing options.			
H2.1	Track vacant property in the city and utilize the information in marketing pieces and sale policies.	Ongoing	DS
Vacant, city-owned properties can be found on the City's website here . The lot sale policy was updated in 2025.			
H2.2	Educate and partner with other groups or individuals that own large quantities of vacant land in the city (Muskegon County, State of Michigan, private property owners) to create additional opportunities for infill housing construction on vacant lots, regardless of ownership.	Next	DS
The County of Muskegon has partnered with Allen Edwin Homes to build 30 homes. Planning Department staff has begun compiling a list of privately-owned buildable lots.			
H2.3	Partner with developers to construct infill housing. Explore unique development agreements that utilize the City's resources that pair with a developer's strengths to construct new housing in established residential areas.	Ongoing	DS, CM
The Development Services Division continues to work with a wide variety of developers, many of them local.			
H2.4	Involve a wide range of developers to ensure variety in housing products and to provide architectural diversity. Require individual developers to provide multiple	Ongoing	DS

	floorplans and interior layouts that draw from the needs and architectural styles of the immediate neighborhood.		
The Planning Department continues to work with a wide variety of large and small-scale developers to build housing. We continue to sell lots for a mixture of different housing types and sizes, including duplexes, ADU's and smaller houses under 600 sf. City staff is developing pre-approved housing plans that developers can utilize.			
Goal 3: Create walkable community nodes within a short distance of all residents.			
H3.1	Identify existing or potential community nodes in each city neighborhood to serve as a strong center(s) from which the neighborhood can orient itself and build upon.	Now	DS
Community nodes have been identified and incorporated into the future land use map. An Accessory Commercial Unit ordinance was approved in 2025, using the community nodes identified in the future land use map.			
H3.2	Update land use regulations to permit better integration of different land uses at identified community nodes.	Now	DS, PC
The rezonings on Peck St, Beidler, Midtown, and Lakeshore Dr have allowed for a variety of land uses and reinforced these locations as community nodes.			
Goal 4: Require new development to provide identified public amenities for existing and future residents.			
H4.1	Work with developers of major projects to incorporate needed amenities as identified by neighborhood residents.	Now	DS
H4.2	Create a database that identifies the public amenity needs of certain areas. Developers that are seeking information on potential investments can be notified early on about the needs of the community.	Ongoing	DS
Goal 5: Encourage participation in neighborhood associations to create strong neighborhoods with invested residents empowered to address their common needs.			
H5.1	Provide staff assistance to neighborhood associations so they have the ability to meet regularly and have the knowledge to legally operate.	Ongoing	DS
The city continues to host the monthly Neighborhood Associations of Muskegon (NAM) meetings at City Hall.			
H5.2	Offer financial incentives to neighborhood associations that partner with the city on general maintenance and services that would otherwise go unaddressed.	Ongoing	DS, CM
The city continues to provide the Neighborhood Empowerment Program grants to individual neighborhood associations.			
Goal 6: Strive to protect existing neighborhood residents from displacement and safeguard the cultural practices of diverse groups within the same space.			
H6.1	Create programs and partnerships with neighborhood associations and neighborhood task forces to limit the negative effects of reinvestment and ensure that existing residents benefit from such changes.	Ongoing	DS, CM

H6.2	Continue to offer and expand housing stability programs.	Ongoing	DS
H6.3	Continue to provide affordable housing units in all neighborhoods.	Ongoing	DS, PC
In 2025, the city programmed 121 units (between single family and duplex homes) of scattered site PILOT housing that will create affordable housing units with reduced taxes. We have also programmed 294 units for LIHTC development, which include subsidized apartment units available for those making between 30-120% of area median income. These projects include Froebel School, Apple Crossings, Amity Crossings, Allen Crossings, Nelson School and Pivotal (former McDonalds on Webster Ave).			

Natural Features			
Goal 1: Protect the quality of the Muskegon Lake watershed.			
Recommendation		Time Frame	Task Leaders
N1.1	Implement land-use regulations that will help filter and clean water before it enters the watershed.	Now	DS, PC
N1.2	Create a program through which lakefront property owners can receive funding to plant native vegetation along their property.	Next	DS, DDA
N1.3	Promote sustainable practices through education and outreach.	Now	DS, COM
Goal 2: Balance the different interests on Muskegon Lake			
N2.1	Allow for a wide variety of land uses along the Muskegon Lake shoreline considering the necessity of certain land uses and paying special attention to location, past planning efforts, existing context, and market demand.	Ongoing	DS, PC
N2.2	Conduct a carrying capacity study for Muskegon Lake.	Now	DS
Goal 3: Create wildlife corridors with small natural pathways that connect large natural areas.			
E3.1	Conduct a wildlife corridor study that focuses on linking existing corridors.	Now	DS, DPW
The Muskegon Rotary Club created a micro forest on Marquette, using this goal as inspiration.			
E3.2	Bolster Muskegon's urban tree canopy.	Now	DPW
The city completed a tree inventory that identifies the health of all trees in public spaces. The City continues to apply for urban tree grants and plants around 100 trees per year.			
Goal 4: Improve the environmental quality of greenway corridors by cleaning up contaminated sites, safeguarding areas highly susceptible to private land use, and reducing dumping.			
E4.1	Help remediate contaminated open spaces with phytoremediation efforts.	Next	DPW

E4.2	Require low impact design techniques at sites near environmentally sensitive ecosystems.	Now	DS
E.4.3	Prioritize the development of residential lots at the end of streets and those adjacent to open spaces.	Now	DS
Goal 5: Strengthen climate resilience efforts.			
E5.1	Create a climate action plan.	Now	CM



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: April 16, 2026	Title: City of Muskegon Capital Improvement Plan						
Submitted by: Jonathan Seyferth, City Manager	Department: Manager's Office						
<p>Brief Summary: As required by state statute, the Planning Commission must adopt and approve the 6-year Capital Improvement Plan and recommend adoption and approval by the City Commission.</p>							
<p>Detailed Summary & Background: A Capital Improvement Plan (CIP) is a list of capital projects (public buildings, infrastructure, or large equipment), along with the anticipated cost of those projects (\$50,000+), scheduled over six or more years. The process of developing a CIP is a necessary step in an organized effort to strengthen the quality of public facilities and services; provide a framework for the realization of community goals and objectives; and provide a sound basis on which to build a healthy and vibrant community.</p> <p>The Michigan Planning Enabling Act (Public Act 33 of 2008, MCL125.3865) requires a CIP to be prepared and adopted by the Planning Commission and the local elected legislative body. This is also a requirement to maintain the city's status as a Redevelopment Ready Community (RRC). An RRC community is one ready for development, planning for new investment and reinvestment, identifying assets and opportunities, attracting and retaining businesses, offering superior customer service, and having a streamlined development approval process.</p>							
<p>Goal/Focus Area/Action Item Addressed:</p> <p><u>Key Focus Areas:</u></p> <p><u>Goal/Action Item:</u> 2027 GOAL 4: FINANCIAL INFRASTRUCTURE - Maximized efficient use of existing infrastructure</p>							
<p>Amount Requested: NA</p>	<p>Budgeted Item:</p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 25%;">Yes</td> <td style="width: 5%;"></td> <td style="width: 25%;">No</td> <td style="width: 5%;"></td> <td style="width: 25%;">N/A</td> <td style="width: 5%; text-align: right;">X</td> </tr> </table>	Yes		No		N/A	X
Yes		No		N/A	X		
<p>Fund(s) or Account(s): NA</p>	<p>Budget Amendment Needed:</p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 25%;">Yes</td> <td style="width: 5%;"></td> <td style="width: 25%;">No</td> <td style="width: 5%;"></td> <td style="width: 25%;">N/A</td> <td style="width: 5%; text-align: right;">X</td> </tr> </table>	Yes		No		N/A	X
Yes		No		N/A	X		
<p>Recommended Motion: To adopt and approve the Capital Improvement Plan as presented and recommend adoption and approval by the City Commission.</p>							
Approvals:	Guest(s) Invited / Presenting:						

Immediate Division Head	X		No
Information Technology			
Other Division Heads			
Communication			
Legal Review			

FY23-24 Budget

Project Title	Proposed Fix	Phase	Fund	Lead Fund	GL#	Grants + Aid (Varies)	FUNDING SOURCES										Total Cost	Comments
							GF (101)	Major Street (202)	Local Street (203)	Arena (254)	P.L. (445)	State Grants (482)	Sewer Fund (590)	Water Fund (591)	Marina Fund (594)	PSB (642)		
Public Art Maintenance	Hackley Park Monument Conservation Work	D + C	General	101	92120	\$50,000	\$50,000										\$100,000	Grant Received!
ADA Upgrades	TBD	D + C	General	101	91116		\$32,700				\$50,000						\$82,700	DOJ Settlement Agreement - Back to old funding levels for 22/23
PM Beach Parking Upgrades	Carry Over from 22/23		General	101	92106		\$28,381										\$28,381	
Treasurer Windows	Carry Over from 22/23		General	101	92019		\$58,195										\$58,195	
Olthoff Drive Extension	Extension through Prison Site	C		404	92111	\$630,000					\$970,000						\$1,600,000	\$630k MDTT DECF, Remainder
Sherman Boulevard (Seaway to 700 feet East of Barclay)	Concrete Reconstruction	C	Major Streets	202	92122	\$1,757,000	\$543,000										\$2,300,000	\$375k EGLE Grant, \$1,400,000 STIP.
Keating, Industrial Boulevard to Port City Boulevard	Mill and Resurface	C	Major Streets	202	92324		\$350,000										\$350,000	Utilities in good condition, no water services needed, pavement condition poor, shovel ready project.
Southern Avenue (Lakeshore Drive to Seaway Drive)	HMA Reconstruction	D	Major Streets	202	92218		\$50,000										\$50,000	Survey and Design work. FY24 Federal Funded Project
Amity Street Bridge	Design Only (Remove/Reconstruct)	D	Major Streets	202	92123		\$50,000										\$50,000	Survey and Design work. FY25 Federal Funded Project
FY22 DWRP WaterService Replacements - East Marsh Field	Watermain Service Replacement	D + C	Water	591	92327	\$3,000,000						\$240,000					\$3,240,000	Part of FY22 DWRP Loan, but contractor plans on FY24 construction (have three years to spend loan proceeds)
DWAM Grant	Final Year of Eligibility (Excepts July and August of '24)	D + C	Water	591	92124	\$460,000											\$460,000	100% Reimbursement for Drinking Water Asset Management activities. \$330k for P&N field work and \$130k for City forces to verify LSL locations
Mill and Resurface - East Marsh Field	Mill and Resurface	C	Local Streets	203				\$400,000									\$400,000	Follow up to FY22 DWRP funds. DWRP will replace LSL's in Marsh Field neighborhood, this project will fix the streets afterward.
Millard Street, Lake Dunes to West End	Reconstruct	D + C	Local Streets	203	92340			\$275,000									\$275,000	Part of an effort to spend more on local streets
2nd Street, Muskegon to Houston	Design Only (Reconstruct)	D	Local Streets	203	92342			\$25,000									\$25,000	Part of an effort to spend more on local streets
New Street, Calvin to Evanston	Design Only (Reconstruct)	D	Local Streets	203	92341			\$50,000									\$50,000	Part of an effort to spend more on local streets
Edgewater Street	Rehabilitate, Realign intersection with Lakeshore	D + C	Local Streets	203	92334			\$275,000									\$275,000	Follow up to FY23 DWRP funds. DWRP will replace LSL's, this project will fix the street afterward. Potential intersection alignment changes to support art initiative.
City Hall Upgrades	Boiler Replacement	D + C	Pub Imp	445	971-092332					\$565,000							\$565,000	Replacement underway
Parks Capital Plan, FY24 Portion	TBD by Master Planning Process	D + C	State Grants	482	735-092339		\$300,000			\$150,000	\$1,500,000						\$1,950,000	\$1.5M ARPA Funds, \$135k Convention Center Naming Rights, \$400k Parking Revenue
PM South Restroom Building	Construct new restroom building and rehabilitate "Kite Shack"	D	General	101	92410	\$300,000											\$300,000	DNR Trust Fund Grant for \$300,000, Match from GF, awaiting legislative approval (moved to 24/25 fy)
Hartshorn Marina Improvements	Bathroom rehabilitations, office upgrades, north dock repairs, etc.	D + C	General	101		\$250,000						\$250,000					\$500,000	Match from Adelaide Pointe
Second Floor Office Buildout	Development Services & Public Safety	D + C	General	101	92404		\$260,000										\$260,000	Split between Public Safety and Dev. Services
RR Crossing Replacements	Southern & Terrace Point	D + C	Major Streets	202				\$300,000									\$300,000	In advance of MDTT-funded projects
Miscellaneous Lift Station Repairs / Upgrades	TBD as needs identified	D + C	Sewer	590	91828						\$100,000						\$100,000	Various year to year based on immediate unplanned for needs
FY23 SRF - Edgewater, Morton, Etc	Morton, Edgewater Neighborhood, Lift Station Upgrades	C	Sewer	590	92328	\$7,999,468					\$1,985,000	\$1,757,963					\$12,562,431	Wilson/Thompson/Edgewater and Morton, Lincoln to Denmark, Edgewater and Harbortowne Lift Stations, \$4.5M in LSLR on Apple, South Campbell
FY24 SRF/DWRP	Engineering and Design	D	Water	591	92401						\$150,000	\$150,000					\$300,000	FY24 SRF/DWRP Project - TBD Based on Project Plan
Water Filtration Plant - WMRWA Ineligible	Various Projects @ WFP - Not Eligible for Participation by WMRWA	D + C	Water	591	92035							\$60,000					\$60,000	Elevated Inspections, Harvest Inspection
Water Filtration Plant - WMRWA Eligible	Various Projects @ WFP - Eligible for Participation by WMRWA	D + C	Water	591	92034							\$323,000					\$323,000	30" Meter Build, Unit Heaters & Dehumidifier PLCs, Chemical Storage Tanks, SWIPP, Clearwell Inspection
DPW Upgrades	TBD	D + C	PSB	642										\$100,000			\$100,000	Front office, furnace repairs, etc.
DPW Software System	Cartograph Base and 2 TBD Domains	D + C	PSB	642										\$75,000			\$75,000	Work Order Management, Asset Management, Fleet Management, Facility Management, Public-Facing Components such as Permits, Citizen Reporting, Etc.
DPW Cell Phone Build Out	Cell Phone for all DPW Personnel	C	PSB	642										\$37,500			\$37,500	Estimated 50 phones at \$750 each; monthly cost in operational budgets
Police Equipment Purchases	Includes \$80,000 for buildout costs (vehicles)	C	Equipment	661												\$255,000	\$255,000	3 Cruisers, 1 Detective
Infill Land Purchases	Infill Land Purchases		Pub Imp	445					\$3,000,000								\$3,000,000	Infill Land Purchases
DPW Equipment Purchases	Includes \$80,000 for buildout costs (DPW vehicles)	C	Equipment	661												\$1,095,160	\$1,095,160	Combination Sewer Truck (\$540,000), 2 Snow Plows (\$400,000 Total), (2) 1/2 Ton Pickups, Skid Steer, 4X4 Utility Vehicle (Kioti Replacement)
Fire Station # 5 at Marquette roof replacement	Roof Replacement	C	Pub Imp	445	92403				\$80,000								\$80,000	Does not need total remove and replace, it does have considerable areas of rotting, there is also any infestation
Rink Shield (Arena Glass)	Replace - Add New	D + C	Arena	254					\$73,935								\$73,935	Replace current Rink Shield. Current shielding is scratched and 5+ years old. New glass will be better taken care of with procedures for putting in and taking out during turnovers.
DMDC Parking	Obtain downtown parking		Pub Imp	445					\$531,220								\$531,220	
Nelson House	Move Nelson House		Pub Imp	445	92337				\$1,000								\$1,000	Out for bid as of 8/7, Bid opening scheduled 8/15 (\$199000 Moved to 24/25 FY)
23-24 Budget Year Requested Totals						\$14,346,468	\$729,276	\$1,293,000	\$1,825,000	\$73,935	\$4,377,220	\$2,470,000	\$2,155,000	\$3,530,963	\$250,000	\$212,500	\$1,350,160	\$21,813,522

FY24-25 Budget

Project Title	Proposed Fix	Phase	Fund	Lead Fund	GL#	Grants + Aid (Varies)	FUNDING SOURCES										Total Cost	Comments
							GF (101)	Major Street (202)	Local Street (203)	Arena (254)	P.L. (445)	State Grants (482)	Sewer Fund (590)	Water Fund (591)	Marina Fund (594)	PSB (642)		
ADA Upgrades	TBD	D + C	General	101	91116		\$50,000										\$50,000	DOJ Settlement Agreement - Back to old funding levels for 22/23
City Hall Roof	Roof replacement on large upper and 2 of 4 lower roofs	D + C	General	101	92019		\$0										\$0	Recommendations and budget per Garland
Core IT Infrastructure Upgrades	Server core Infrastructure and core Switching	D + C	General	101			\$94,000										\$94,000	
Area 51 Storage Building	New three-stall storage building north of WFP for Fire, Parks, WFP	D + C	pub	445		\$20,000						\$50,000					\$70,000	Concept drawing available, prepared by Mohammed many years ago. Replaces fire shed, expands available storage, organizes Area 51 and protects equipment. May use general fund in place of PL
FD Station # 5 bathroom upgrade/addition	Construct additional bathroom and upgrade existing	D + C	General	101			\$50,000										\$50,000	Rehab existing bathroom, add second gendered bath.
Police Department First Floor Upgrades	Backfilling Areas Vacated by 2nd Floor Upgrades	D + C	General	101	92424				\$300,000								\$300,000	
Southern Avenue (Lakeshore to Seaway)	Southern Avenue (Lakeshore to Seaway)	D + C	Major Streets	202	92218	\$748,530		\$1,492,049				\$139,573	\$85,487				\$1,235,759	Southern Ave (Lakeshore to Seaway) S3 WS's
Ottawa Street Bridge Removal	Ottawa Street Bridge Removal	C	Major Streets			\$443,000											\$443,000	MDOT performing all funding, engineering and construction oversight. Bundled with other projects statewide.
Amity Street Bridge	Remove Bridge and Replace with Fill	C	Major Streets	202	92123	\$508,300		\$89,700									\$598,000	Full removal of structure and reconstruction of Amity Avenue
Lakeshore, 300' East of Cottage Grove to Edgewater	Engineering and Design	D	Major Streets	202	92408		\$50,000					\$40,000	\$10,000				\$100,000	Reconstruction with City Funds (reimbursed in FY26), includes forcemain from Austin L.S. to 1,600 feet west of Sherin
FY22 DWRP WaterService Replacements - East Marsh Field	Watermain Service Replacement (775,000 most reimbursed salaries so won't be capital)	D + C	Water	591	92327	\$775,000											\$775,000	Part of FY22 DWRP Loan, but contractor plans on FY24 construction (have three years to spend loan proceeds)
DWAM Grant	Anticipating Extension to May '25	D + C	Water	591	92124	\$289,084											\$289,084	100% Reimbursement for Drinking Water Asset Management activities. \$330k for P&N field work and \$130k for City forces to verify LSL locations
Mill and Resurface - East Marsh Field	Mill and Resurface	C	Local Streets	203				\$400,000									\$400,000	Follow up to FY22 DWRP funds. DWRP will replace LSL's in Marsh Field neighborhood, this project will fix the streets afterward.
Millard Street, Lake Dunes to West End	Reconstruct	D + C	Local Streets	203	92340			\$305,000					\$95,000				\$400,000	As-Bid and Approved. Effort to address Local Roads Needs
1st Street Sanitary Improvements	New sanitary for Apple Ave in 2026		Major Streets									\$450,000					\$450,000	Reroute Apple Ave sewer. Apple sewer needs replacement, this allows increased grade to improve conditions and service.
2nd Street, Muskegon to Houston	Local Reconstruct	C	Local Streets	203	92342			\$300,000					\$45,000				\$345,000	Per proposal to Commission at 11/13/23 Work Session, Ready to Bid
New Street, Calvin to Evanston	Local Reconstruct	C	Local Streets	203	92341			\$975,000					\$140,000				\$1,115,000	Per proposal to Commission at 11/13/23 Work Session, Ready to Bid
Edgewater St, Thompson to Lakeshore	Reconstruct with Intersection Realignment	D+C	Major Streets	202	92334		\$425,000										\$425,000	Follow-up to FY23 DWRP LSLR project
Oak and Sun Dolphin Rehabilitation	Mill & Resurface	D + C	Major Streets	202	92405			\$475,000									\$475,000	Shovel Ready Project with no utility work, Ready to Bid
2024 Patching Program	Mill & Resurface Various Locations	C	Major Streets	202			\$200,000	\$100,000									\$300,000	Glen from Hackley to Addison, Beach from Beach to Silversides, Irwin @ Wood, Allen from Home to Creston
Splash Pad Reconstruction	Rebuild in place	C	General	101		\$300,000											\$300,000	\$250,000 from Spark Grant, \$50,000 from Howmet. Splash pad bid \$296,000, new sign \$19,000. Remainder from ARPA
Terrace Irrigation	Install Irrigation	D+C	Major Streets	202													\$0	
5th Street, Western to Shoreline Dr	Reconstruct and Replace Storm Sewer	D	Local Streets	203				\$50,000									\$50,000	Very poor condition. Lumberjacks making improvements to an entrance that will use the Shoreline parking lot, increasing use. Possible reimbursement from RAP for portions of work near Thayer.
Apple Avenue Utility Design	Water and Sewer Related to MDTT's 2026 Rebuild	D	Sewer	590							\$45,000	\$20,000					\$65,000	Per P&N proposal

FY23-24 Budget

Project Title	Proposed Fix	Phase	Lead Fund	GL#	Grants + Aid (Varies)	FUNDING SOURCES											Total Cost	Comments	
						G.F. (101)	Major Street (202)	Local Street (203)	Arena (254)	Conv Center (420)	P.I. (445)	State Grants (482)	Sewer Fund (590)	Water Fund (591)	Marina Fund (594)	PSB (642)			Equipment (661)
Public Art Maintenance	Hackley Park Monument Conservation Work	D + C	101	92120	\$50,000	\$50,000												\$100,000	Grant Received!
ADA Upgrades	TBD	D + C	101	91116							\$50,000							\$50,000	DOJ Settlement Agreement - Back to old funding levels for 22/23
Oitthoff Drive Extension	Extension through Prison Site	C	404	92111	\$630,000						\$970,000							\$1,600,000	\$630k MDOT TEDF, Remainder
Sherman Boulevard (Seaway to 700 feet East of Barclay)	Concrete Reconstruction	C	202		\$1,757,000		\$543,000											\$2,300,000	\$375k EGLE Grant, \$1,400,000 STIP.
Keating, Industrial Boulevard to Port City Boulevard	Mill and Resurface	C	202				\$350,000											\$350,000	Utilities in good condition, no water services needed, pavement condition poor, shovel ready project.
Ottawa Street Bridge Removal	Ottawa Street Bridge Removal	D + C			\$443,000													\$443,000	
Southern Avenue (Lakeshore Drive to Seaway Drive)	HMA Reconstruction	D	202				\$50,000											\$50,000	Survey and Design work. FY24 Federal Funded Project
Lakeshore, 300' East of Cottage Grove to Edgewater	HMA Reconstruction	D	202				\$50,000											\$50,000	Survey and Design work. FY24 Federal Funded Project
FY22 DWRP WaterService Replacements - East Marsh Field	Watermain Service Replacement	D + C	591		\$3,000,000								\$240,000					\$3,240,000	Part of FY22 DWRP Loan, but contractor plans on FY24 construction (have three years to spend loan proceeds)
DWAM Grant	Final Year of Eligibility (Except July and August of '24)	D + C	591		\$460,000													\$460,000	100% Reimbursement for Drinking Water Asset Management activities. \$330k for P&N field work and \$130k for City forces to verify LSL locations
Mill and Resurface - East Marsh Field	Mill and Resurface	C	203					\$400,000										\$400,000	Follow up to FY22 DWRP funds. DWRP will replace LSL's in Marsh Field neighborhood, this project will fix the streets afterward.
City Hall Upgrades	Boiler Replacement	D + C	455							\$600,000								\$600,000	Replacement underway
Parks Capital Plan, FY24 Portion	TBD by Master Planning Process	D + C	482			\$300,000				\$135,000	\$1,500,000							\$1,935,000	\$1.5M ARPA Funds, \$135k Convention Center Naming Rights, \$400k Parking Revenue
PM South Restroom Building	Construct new restroom building and rehabilitate "Kite Shack"	D + C	101		\$300,000					\$300,000								\$600,000	DNR Trust Fund Grant for \$300,000. Match from GF, awaiting legislative approval
Hartshorn Marina Improvements	Bathroom rehabilitations, office upgrades, north dock repairs, etc.	D + C	101		\$250,000								\$250,000					\$500,000	Match from Adelaide Pointe
Second Floor Office Buildout	Development Services & Public Safety	D + C	101			\$200,000												\$200,000	Split between Public Safety and Dev. Services
RR Crossing Replacements	Southern & Terrace Point	D + C	202				\$300,000											\$300,000	In advance of MDOT-funded projects
Miscellaneous Lift Station Repairs / Upgrades	TBD as needs identified	D + C	590	91828								\$100,000						\$100,000	Various year to year based on immediate unplanned for needs
FY23 SRF - Edgewater, Morton, Etc	Morton, Edgewater Neighborhood, Lift Station Upgrades	C	590		\$12,563,750							\$2,830,000	\$2,301,250					\$17,695,000	Wilcox/Thompson/Edgewater and Morton, Lincoln to Denmark and Edgewater and Harbortowne Lift Stations
FY24 SRF/DWRP	Engineering and Design	D	590									\$150,000	\$150,000					\$300,000	FY24 SRF/DWRP Project - TBD Based on Project Plan
Water Filtration Plant - WMRWA Ineligible	Various Projects @ WFP - Not Eligible for Participation by WMRWA	D + C	591										\$60,000					\$60,000	Elevated Inspections, Harvey Inspection
Water Filtration Plant - WMRWA Eligible	Various Projects @ WFP - Eligible for Participation by WMRWA	D + C	591										\$323,000					\$323,000	30" Meter Build, Unit Heaters & Dehumidifier PLCs, Chemical Storage Tanks, SWIPP, Clearwell Inspection
DPW Upgrades	TBD	D + C	642													\$100,000		\$100,000	Front office, furnace repairs, etc.
DPW Software System	Cartograph Base and 2 TBD Domains	D + C	642													\$75,000		\$75,000	Work Order Management, Asset Management, Fleet Management, Facility Management, Public-Facing Components such as Permits, Citizen Reporting, Etc.
DPW Cell Phone Build Out	Cell Phone for all DPW Personnel	C	642													\$37,500		\$37,500	Estimated 50 phones at \$750 each; monthly cost in operational budgets
Police Equipment Purchases	Includes \$80,000 for buildout costs (vehicles)	C	661														\$255,000	\$255,000	3 Cruisers, 1 Detective
Infill Land Purchases	Infill Land Purchases		445								\$500,000							\$500,000	Infill Land Purchases
DPW Equipment Purchases	Includes \$80,000 for buildout costs (DPW vehicles)	C	661														\$1,095,160	\$1,095,160	Combination Sewer Truck (\$540,000), 2 Snow Plows (\$400,000 Total), (2) 1/2 Ton Pickups, Skid Steer, 4x4 Utility Vehicle (Kioti Replacement)
Fire Station # 5 at Marquette roof replacement	Roof Replacement	C	101							\$80,000								\$80,000	Does not need total remove and replace, it does have considerable areas of rotting, there is also any infestation
Rink Shield (Arena Glass)	Replace - Add New	D + C	254					\$73,935										\$73,935	Replace current Rink Shield. Current shielding is scratched and 5+ years old. New glass will be better taken care of with procedures for putting in and taking out during turnovers.
DMDC Parking	Obtain downtown parking		445							\$520,000								\$520,000	
Nelson House	Move Nelson House		445							\$200,000								\$200,000	Out for bid as of 8/7, Bid opening scheduled 8/15
23-24 Budget Year Requested Totals					\$19,453,750	\$550,000	\$1,293,000	\$400,000	\$73,935	\$0	\$1,665,000	\$2,470,000	\$3,080,000	\$3,074,250	\$250,000	\$212,500	\$1,350,160	\$34,592,595	

FY19-20 Budget

Project Title	Proposed Fix	Phase	Lead Fund	GL#	Grants + Aid (Varies)	FUNDING SOURCES								Total Cost	Comments
						G.F (101)	Major Street (202)	Local Street (203)	P.I. (404)	Sewer Fund (590)	Water Fund (591)	Marina Fund (594)	PSB (642)		
ADA Upgrades	Various Locations Based on Identified Need	D + C	101	91116		\$60,000								\$60,000	Various ADA upgrades to be done in house
McGraft Park Capital Project	TBD	D + C	101	70757		\$40,000								\$40,000	Placeholder for a capital project utilizing McGraft Park Funds
LED Streetlight Conversion (Phase 3)	Phase 3 of 4 (Remainder of East Side)	D + C	101	91508		\$636,001								\$636,001	Special Assessment Funded through GF
Smith-Ryerson Park Improvements	Expanded Parking with handicap access, and HVAC	D + C	101	91827		\$119,800								\$119,800	CDBG Funding
City Hall Upgrades	LED / Bathrooms / Kitchen / 2nd Floor Remodel	D + C	101	91921		\$30,000			\$100,000					\$130,000	Combination of two projects, one in the GF and one in the PI Fund for 2nd Floor
Lakeshore Drive (McCracken to Laketon)	Concrete reconstruction with streetscape and water main	C	202	91711	\$800,000		\$3,600,000				\$900,000			\$4,500,000	Carryover from 18-19 budget. \$800k in grant money eligible October 1, 2019.
3rd Street (Muskegon to Merrill)	Reconstruct and street scape, water main replacement	C	202	91843	\$240,000		\$440,000				\$318,120			\$758,120	Consumers Energy Grant \$200K + \$40K CDBG
Lakeshore Drive @ Beach Street	Round-a-bout	D + C	202	91725	\$250,000		\$300,000				\$25,000			\$300,000	CMAQ Grant Funding for \$250,000. Construction Spring 2020.
Olthoff & Sheridan (Black Creek to City Limits/Cul-de-sac)	Pavement removal, add aggregate, 6" HMA	D + C	202	91842	\$850,000									\$0	Transfer of state grant funds from \$4M allocation for Industrial Park
Lakeshore Trail (Erosion Repairs)	Repair of Erosion Damaged Sections	D	202	92012			\$25,000							\$25,000	Repair due to high water / erosion. Track for possible reimbursement.
Beach Street (Lakeshore Drive to Simpson)	Reconstruct, operational improvements	D	202	91917			\$60,000				\$25,000			\$85,000	Partnership with county. Construction likely delayed to Fall 2020, pushed funding to 20-21
Peck Street (Apple to Merrill)	Water Main Replacement & Reconstruct with HMA	D	202	92002			\$50,000							\$50,000	Design only of FY21 Fed Aid Project
Michigan & Franklin (Hudson to Lakeshore)	Reconstruct with concrete	D	202	92003			\$40,000							\$40,000	Design only of City Funded project. Construction in 20-21 budget.
Musketawa Trail Connector (Keating to Black Creek)	New trail construction	D	202	99118			\$50,000							\$50,000	Design only of FY21 Fed Aid / MDNR Grant Project
City Hall Parking Lot	Rehab of St. Mary's Parking Lot for CH Use	D	404	92016					\$30,000					\$30,000	Design started in 19-20. Construction proposed for 20-21 upon sale of current City Lot
Seaway RR Bridge	Cleaning & Coating	D	404	91914					\$5,000					\$5,000	Seeking private funds to help offset cost. Planned for cleaning/coating in August 2020
City Hall Elevator	Elevator Upgrades	D + C	404	91921					\$79,711					\$79,711	Repair and upgrade of elevator at City Hall
Marsh Field Storage Building	Storage Building at Marsh Field	D + C	404						\$97,500					\$97,500	Construction of a storage facility at Marsh Field. Baseball contributes \$12.5K over 2 years
PM Bathhouse Display	Information Display @ PM Bathhouse	D + C	404						\$14,000					\$14,000	Installation of digital sign for information display at PM Bathhouse
Amity Avenue (Fork to Getty)	Sewer and Water Main Replacement, Reconstruction with HMA	D	590	92009						\$100,000	\$100,000			\$200,000	FY20 SRF/DWRF Project - Bonded with potential forgiveness
Peck Street (Merrill to Laketon)	Sewer and Water Main Replacement, Reconstruction with HMA	D	590	92010						\$100,000	\$100,000			\$200,000	FY20 SRF/DWRF Project - Bonded with potential forgiveness
Bourdon & Addison Alley Sewer	Sewer replacement, reconstruct with HMA	C	590	91850						\$1,000				\$1,000	FY19 SRF/DWRF Project - Partial Design Only, Construction in 20-21
Spring Street (Yuba to Western)	Sewer replacement, reconstruct with HMA	C	590	91851						\$20,000				\$20,000	FY19 SRF/DWRF Project - Partial Design Only, Construction in 20-21
9th Street (Houston to Clay)	Sewer replacement, reconstruct with HMA	C	590	91852			\$18,992			\$1,914,777				\$1,933,769	FY19 SRF/DWRF Project - Partial Design & 90% of Construction in 19-20, Remainder in 20-21
Getty Lift Station Forcemain	Sewer replacement, reconstruct with HMA	C	590	91853						\$81,000				\$81,000	FY19 SRF/DWRF Project - Partial Design & 90% of Construction in 19-20, Remainder in 20-21
Beidler / Pulaski / Poliski / Crowley	Sewer replacement, reconstruct with HMA	C	590	91854				\$63,092		\$3,132,173	\$614,476			\$3,809,741	FY19 SRF/DWRF Project - Partial Design & 60% of Construction in 19-20, Remainder in 20-21
Westwood / Glen	Sewer replacement, reconstruct with HMA	C	590	91855						\$6,000				\$6,000	FY19 SRF/DWRF Project - Partial Design Only, Construction in 20-21
Jefferson / Strong	Sewer replacement, reconstruct with HMA	C	590	91856						\$670,450	\$37,298			\$707,748	FY19 SRF/DWRF Project - Partial Design & 50% of Construction in 19-20, Remainder in 20-21
DWRF FY19 Second Chance Bonding	Various Projects	D + C	591	91903							\$49,153			\$49,153	FY19 DWRF Bonding costs, legal counsel, advertising notices, etc... (Reimbursable)
Water Filtration Plant	SCAD Migration Project PLC	D + C	591	91825							\$40,000			\$40,000	From WFP Capital List
Water Filtration Plant	Fruitport Generator Tie In	D + C	591	91847							\$62,000			\$62,000	Partially completed in 19-20, remainder moved to 20-21
Water Filtration Plant	Communications Tower	D + C	591	92005							\$61,969			\$61,969	Partially completed in 19-20, remainder moved to 20-21
Water Filtration Plant	Harvey Reservoir Improvements	D	591	92007							\$25,000			\$25,000	Design in 19-20 / Construction in 20-21
Water Filtration Plant	Filtration Plant Roofing & Windows	D	591	92008							\$25,000			\$25,000	Design in 19-20 / Construction in 20-21
City Wide	Replace Lead Service Lines	D + C	591	91838	\$82,777									\$0	MDEGLE - Pilot Grant for Lead Service Lines
DPW Partial Roof Replacement	DPW Office Roof Replacement	D + C	642	91922									\$150,000	\$150,000	Partial roof replacement on office portion of building
19-20 Budget Year Totals					\$2,222,777	\$885,801	\$4,583,992	\$63,092	\$326,211	\$6,025,400	\$2,358,016	\$0	\$150,000	\$14,392,512	

FY20-21 Budget

Project Title	Proposed Fix	Phase	Lead Fund	GL#	Grants + Aid (Varies)	FUNDING SOURCES								Total Cost	
						G.F (101)	Major Street (202)	Local Street (203)	P.I. (404)	Sewer Fund (590)	Water Fund (591)	Marina Fund (594)	PSB (642)		Equipment (661)
McGraft Park	Upgrade outdoor bathrooms and connect to interior	D + C	101	70757		\$50,000								\$50,000	
ADA Upgrades	Various Locations Based on Identified Need	D + C	101	91116		\$50,000								\$50,000	
City Hall Upgrades	HVAC Controls & Utility Room Sumps	D + C	101	92019		\$35,000								\$35,000	
BBNA Bike Racks	Construct bike racks at various locations in BBN	D + C	101	92041	\$25,534	\$25,534								\$25,534	

Aamodt Park Playground & Picnic Shelter	Replace playground equipment and construct new picnic shelter	D + C	101	92043	\$100,000	\$130,000													\$130,000
Evergreen Mausoleum	Tuck Pointing and Surface Seal	D + C	101	92045		\$30,258													\$30,258
Beach Parking Revenue Projects	PM Parking Expansion / Beukema Upgrades / Reese Upgrades	D + C	101	92106		\$30,000													\$30,000
Lakeshore Drive (Mcracken to Laketon)	Concrete reconstruction with streetscape and water main	C	202	91711			\$405,807			\$19,687									\$425,494
Lakeshore Drive @ Beach Street	Round-a-bout	C	202	91725			\$50,000												\$50,000
Olthoff & Sheridan (Black Creek to City Limits/Cul-de-sac)	Pavement removal, add aggregate, 6" HMA	C	202	91842	\$715,222		\$715,222												\$715,222
Peck Street (Apple to Merrill)	Water Main Replacement & Reconstruct with HMA	C	202	92002			\$40,000				\$5,000								\$45,000
Michigan & Franklin	Reconstruction with HMA	C	202	92003			\$800,000		\$50,000	\$50,000									\$900,000
Terrace (Apple to Lakeshore)	Rehab and reduce to half of original footprint	C	202	92004			\$35,000				\$0								\$35,000
Lakeshore Trail (Erosion Repairs)	Repair of Erosion Damaged Sections	D	202	92012			\$300,000												\$300,000
Roberts Road from Barney to Laketon	Pavement removal, add aggregate, 6" HMA	1/2 D	202	92032			\$1,623												\$1,623
Terrace (Apple to Muskegon Repaint)	Restrip for Angle Parking	D	202	92033			\$14,434												\$14,434
Houston (9th to 3rd)	Reconstruct with asphalt, traffic calming, upgrade water	D	202	92036			\$35,000				\$0								\$35,000
Musketawa Trail Connector (Keating to Black Creek)	New trail construction	C	202	99118	\$0		\$50,000												\$50,000
Shoreline Drive @ 4th	Reconfiguration of roadway for Convention Center	C	202				\$0												\$0
Frauenthal / MCC Alley	Reconstruction and replace storm sewer	D	203	92046				\$10,000		\$0									\$10,000
Campbell Field	Remove fields, walking path, playground, reforest	D + C	404							\$0									\$0
Seaway RR Bridge	Cleaning & Coating	C	404	91914						\$68,385									\$68,385
Marsh Field Garage	New Garage Construction	D + C	404	92024						\$69,423									\$69,423
PM Bathhouse Display	Electronic Signage @ PM Park	D + C	404	92029						\$4,607									\$4,607
Miscellaneous Lift Station Repairs / Upgrades	TBD as needs identified	D + C	590	91828							\$50,000								\$50,000
Bourdon & Addison Alley Sewer	Sewer replacement, reconstruct with HMA	C	590	91850						\$99,000									\$99,000
Spring Street (Yuba to Western)	Sewer replacement, reconstruct with HMA	C	590	91851			\$123,021	\$160,000		\$2,251,716	\$1,001,020								\$3,535,757
9th Street (Houston to Clay)	Sewer replacement, reconstruct with HMA	C	590	91852			\$2,110			\$1,266,643									\$1,268,753
Getty Lift Station Forcemain	Sewer replacement, reconstruct with HMA	C	590	91853						\$89,264									\$89,264
Beidler / Pulaski / Poliski / Crowley	Sewer replacement, reconstruct with HMA	C	590	91854				\$73,366		\$2,971,563	\$608,462								\$3,653,391
Westwood / Glen	Sewer replacement, reconstruct with HMA	C	590	91855						\$968,556	\$438,105								\$1,406,661
Jefferson / Strong	Sewer replacement, reconstruct with HMA	C	590	91856			\$50,000			\$1,002,832	\$70,527								\$1,123,359
Amity Avenue (Fork to Getty)	Sewer and Water Main Replacement, Reconstruction with HMA	1/2C	590	92009						\$1,500,000	\$1,250,000								\$2,750,000
Peck Street (Merrill to Laketon)	Sewer and Water Main Replacement, Reconstruction with HMA	1/2C	590	92010			\$20,000			\$800,000	\$700,000								\$1,520,000
Various	Water Service Replacements (non-project related)	D + C	591	60555							\$750,000								\$750,000
Beach Street (Lakeshore Drive to Simpson)	Reconstruct, operational improvements	C	591	91917			\$400,000		\$31,000		\$700,000								\$1,131,000
Water Filtration Plant	Harvey Reservoir Improvements	D + C	591	92007							\$213,000								\$213,000
Water Filtration Plant	Filtration Plant Roofing & Windows	D + C	591	92008							\$300,000								\$300,000
Water Filtration Plant - WMRWA Eligible	Various Projects @ WFP - Eligible for Participation by WMRWA	D + C	591	92034							\$219,000								\$219,000
Water Filtration Plant - WMRWA Ineligible	Various Projects @ WFP - Not Eligible for Participation by WMRWA	D + C	591	92035							\$28,836								\$28,836
Monroe from 3rd to 4th	Reconstruction with Water Main Replacement	D	591	92037				\$15,000			\$5,000								\$20,000
Hartshorn Marina	T-Dock & East Dock Replacement / Electrical Upgrades	D + C	594	91809													\$30,000		\$30,000
Non-Vehicular Equipment	Various		661	60932														\$60,000	\$60,000
Communications Equipment	Various		661	60932														\$60,000	\$60,000
Paver	1 EA		661	60932														\$90,000	\$90,000
1 ton Dump 4x4 (Highway)	1 EA		661	60932														\$45,000	\$45,000
Police Admin vehicles	2 EA		661	60932														\$51,000	\$51,000
Police Cruisers / Tahoes	3 EA		661	60932														\$117,000	\$117,000
Plow Truck	1 EA		661	60932														\$0	\$0
High Ranger (build)	1 EA		661	60932														\$105,000	\$105,000
3/4 ton 4x2 pick ups (water Dept.)	1 EA		661	60932														\$33,000	\$33,000

1 ton F-350 (water dept.)	1 EA		661	60932											\$40,000	\$40,000									
3/4 ton4x4 (parks)	1 EA		661	60932											\$33,000	\$33,000									
1 Ton Flatbed Construction (Highway)	1 EA		661	60932											\$0	\$0									
1 Ton Flatbed (Traffic)	1 EA		661	60932											\$0	\$0									
1/2 ton Cargo Van (Filtration)	1 EA		661	60932											\$35,000	\$35,000									
Ford Ranger 4x4 (Fire Marshal)	1 EA		661	60932											\$0	\$0									
20-21 Budget Year Totals															\$840,756	\$250,792	\$3,042,217	\$258,366	\$173,415	\$11,049,574	\$6,358,637	\$30,000	\$0	\$669,000	\$21,757,971

FY21-22 Budget

Project Title	Proposed Fix	Phase	Lead Fund	GL#	Grants + Aid (Varies)	FUNDING SOURCES										Total Cost	
						G.F (101)	Major Street (202)	Local Street (203)	P.I. (404)	Sewer Fund (590)	Water Fund (591)	Marina Fund (594)	PSB (642)	Equipment (661)			
Laketon Trail Lighting	Install Lighting along Laketon Trail in Marijuana District	D + C	101			\$100,000											\$100,000
Kruse Park Beach Access	Remove existing ADA Boardwalk, create footpath and restore dune	D + C	101			\$50,000											\$50,000
McGraft Park Capital Project	Community Building Kitchen Remodel	D + C	101	70757		\$50,000											\$50,000
Forestry & Plantings	Miscellaneous overflow forestry work & plantings	D + C	101	70771		\$80,000											\$80,000
ADA Upgrades	Partnership with Frauenthal & MCC For Heated sidewalks	D + C	101	91116		\$200,000											\$200,000
LED Streetlight Conversion (Phase 4)	Phase 4 of 4 (West Side)	D + C	101	91508		\$479,588											\$479,588
City Hall Upgrades / Heavy Maintenance Items	TBD	D + C	101	92019		\$50,000											\$50,000
Grand Trunk - MDEGLE CZM Grant Project	Design services for planned improvements	D	101		\$50,000	\$100,000											\$100,000
Peck Street (Apple to Merrill)	Water Main Replacement & Reconstruct with HMA	C	202	92002	\$385,824		\$650,000				\$300,000						\$950,000
Terrace (Apple to Lakeshore)	Rehab and reduce to half of original footprint	C	202	92004	\$543,000		\$1,043,000			\$100,000	\$400,000						\$1,543,000
Houston (9th to 3rd)	Reconstruct with asphalt, traffic calming, upgrade water	C	202	92036			\$700,000				\$1,000,000						\$1,700,000
Musketawa Trail Connector (Keating to Black Creek)	New trail construction	C	202	99118	\$496,024		\$650,000										\$650,000
Wood Street (Apple to Marquette)	HMA Pavement Inlay	D + C	202				\$500,000										\$500,000
Peck Street (Keating to Laketon)	Reconstruct, upgrade sewer and water	D	202				\$50,000										\$50,000
Sherman Boulevard (Glenside to Seaway)	Concrete inlay	D	202				\$100,000										\$100,000
Shoreline Drive - Traffic & Engineering Study	Study for Conversion of Shoreline Drive	D	202				\$50,000										\$50,000
Roadway Asset Management Plan	State Requirement to have Streets AM Plan	D	202				\$15,000										\$15,000
Frauenthal / MCC Alley	Reconstruction and replace storm sewer	C	203	92046				\$150,000		\$29,000							\$179,000
Campbell Field	Remove fields, walking path, playground, reforest	D + C	404	92110					\$150,000								\$150,000
Miscellaneous Lift Station Repairs / Upgrades	TBD as needs identified	D + C	590	91828						\$150,000							\$150,000
Amity Avenue (Fork to Getty)	Sewer and Water Main Replacement, Reconstruction with HMA	2/2C	590	92009						\$1,500,000	\$1,250,000						\$2,750,000
Peck Street (Merrill to Laketon)	Sewer Replacement, Reconstruct with HMA	2/2C	590	92010			\$200,000			\$800,000	\$700,000						\$1,700,000
Sanford Street (Merrill to Laketon)	Sewer replacement, reconstruct with HMA	D	590							\$150,000	\$100,000						\$250,000
Glenside SRF (Phase 2)	Sewer and Water Main replacement, reconstruction with HMA	D	590							\$75,000	\$75,000						\$150,000
Jefferson Street	Storm Sewer and Sanitary Sewer Replacement	D	590							\$25,000							\$25,000
Muskegon Museum of Art - Alley Vacation	Utility Relocation for Alley Vacation	D + C	590				\$90,000			\$140,000							\$230,000
Various	Water Service Replacements	D + C	591	60555							\$850,000						\$850,000
Water Filtration Plant	Harvey Reservoir Improvements	D + C	591	92007							\$900,000						\$900,000
Water Filtration Plant	Filtration Plant Roofing & Windows	D + C	591	92008							\$1,275,000						\$1,275,000
Water Filtration Plant - WMRWA Eligible	Various Projects @ WFP - Eligible for Participation by WMRWA	D + C	591	92034							\$707,000						\$707,000
Water Filtration Plant - WMRWA Ineligible	Various Projects @ WFP - Not Eligible for Participation by WMRWA	D + C	591	92035							\$808,949						\$808,949
Monroe from 3rd to 4th	Reconstruction with Water Main Replacement	C	591	92037				\$50,000			\$120,000						\$170,000
Morton Avenue (Lincoln to Denmark)	Water Main Replacement & Road Reconstruction	D	591								\$75,000						\$75,000
Edgewater (Wilcox to Arlington)	Water Main Replacement & Road Reconstruction	D	591								\$50,000						\$50,000
Hartshorn Marina	T-Dock & East Dock Replacement / Electrical Upgrades	D + C	594	91809								\$2,470,000					\$2,470,000
DPW Roofing	Roofing on Section 2	D + C	642										\$150,000				\$150,000
Non-Vehicular Equipment	Various		661	60932												\$60,000	\$60,000

Communications Equipment	Various		661	60932										\$60,000	\$60,000
Police Admin vehicles	3 EA		661	60932										\$85,000	\$85,000
Police Cruisers / Tahoes	3 EA		661	60932										\$117,000	\$117,000
1 ton Flat Bed Construction (Highway)	2 EA		661	60932										\$84,000	\$84,000
1 ton Flat Bed (Traffic)	1 EA		661	60932										\$42,000	\$42,000
3/4 ton 4x2 pick ups (water Dept.)	4 EA		661	60932										\$132,000	\$132,000
3/4 ton4x4 (parks)	2 EA		661	60932										\$75,000	\$75,000
1/2 ton supervisor trucks	2 EA		661	60932										\$80,000	\$80,000
Plow Truck	1 EA		661	60932										\$165,000	\$165,000
Mini Excavator	1 EA		661	60932										\$85,000	\$85,000
21-22 Budget Year Totals															
					\$1,474,848	\$1,109,588	\$4,048,000	\$200,000	\$150,000	\$2,969,000	\$8,610,949	\$2,470,000	\$150,000	\$985,000	\$20,607,537

Public Art Maintenance	Hackley Park Monument Conservation Work	\$100,000
ADA Upgrades	TBD	\$82,700
PM Beach Parking Upgrades	Carry Over from 22/23	\$28,381
Treasurer Windows	Carry Over from 22/23	\$58,195
Olthoff Drive Extension	Extension through Prison Site	\$1,600,000
Sherman Boulevard (Seaway to 700 feet East of Barclay)	Concrete Reconstruction	\$2,300,000
Keating, Industrial Boulevard to Port City Boulevard	Mill and Resurface	\$350,000
Southern Avenue (Lakeshore Drive to Seaway Drive)	HMA Reconstruction	\$50,000
Amity Street Bridge	Design Only (Remove/Reconstruct)	\$50,000
FY22 DWRP WaterService Replacements - East Marsh Field	Watermain Service Replacement	\$3,240,000
DWAM Grant	Final Year of Eligibility (Except July and August of '24)	\$460,000
Mill and Resurface - East Marsh Field	Mill and Resurface	\$400,000
Millard Street, Lake Dunes to West End	Reconstruct	\$275,000
2nd Street, Muskegon to Houston	Design Only (Reconstruct)	\$25,000
New Street, Calvin to Evanston	Design Only (Reconstruct)	\$50,000
Edgewater Street	Rehabilitate, Realign intersection with Lakeshore	\$275,000
City Hall Upgrades	Boiler Replacement	\$565,000
Parks Capital Plan, FY24 Portion	TBD by Master Planning Process	\$1,950,000
PM South Restroom Building	Construct new restroom building and rehabilitate "Kite Shack"	\$300,000
Hartshorn Marina Improvements	Bathroom rehabilitations, office upgrades, north dock repairs, etc.	\$500,000
Second Floor Office Buildout	Development Services & Public Safety	\$260,000
RR Crossing Replacements	Southern & Terrace Point	\$300,000
Miscellaneous Lift Station Repairs / Upgrades	TBD as needs identified	\$100,000
FY23 SRF - Edgewater, Morton, Etc	Morton, Edgewater Neighborhood, Lift Station Upgrades	\$12,562,431
FY24 SRF/DWRP	Engineering and Design	\$300,000
Water Filtration Plant - WMRWA Ineligible	Various Projects @ WFP - Not Eligible for Participation by WMRWA	\$60,000
Water Filtration Plant - WMRWA Eligible	Various Projects @ WFP - Eligible for Participation by WMRWA	\$323,000
DPW Upgrades	TBD	\$100,000
DPW Software System	Cartegraph Base and 2 TBD Domains	\$75,000
DPW Cell Phone Build Out	Cell Phone for all DPW Personnel	\$37,500
Police Equipment Purchases	Includes \$80,000 for buildout costs (vehicles)	\$255,000
Infill Land Purchases	Infill Land Purchases	\$3,000,000
DPW Equipment Purchases	Includes \$80,000 for buildout costs (DPW vehicles)	\$1,095,160
Fire Station # 5 at Marquette roof replacement	Roof Replacement	\$80,000
Rink Shield (Arena Glass)	Replace - Add New	\$73,935
DMDC Parking	Obtain downtown parking	\$531,220
Nelson House	Move Nelson House	\$1,000
ADA Upgrades	TBD	\$50,000
City Hall Roof	Roof replacement on large upper and 2 of 4 lower roofs	\$0
Core IT Infrastructure Upgrades	Server core Infrastructure and core Switching	\$94,000
Area 51 Storage Building	New three-stall storage building north of WFP for Fire, Parks, WFP	\$70,000
FD Station # 5 bathroom upgrade/addition	Construct additional bathroom and upgrade existing	\$50,000
Police Department First Floor Upgrades	Backfilling Areas Vacated by 2nd Floor Upgrades	\$300,000
Southern Avenue (Lakeshore to Seaway)	Southern Avenue (Lakeshore to Seaway)	\$2,636,800
Ottawa Street Bridge Removal	Ottawa Street Bridge Removal	\$443,000
Amity Street Bridge	Remove Bridge and Replace with Fill	\$598,000
Lakeshore, 300' East of Cottage Grove to Edgewater	Engineering and Design	\$100,000
FY22 DWRP WaterService Replacements - East Marsh Field	Watermain Service Replacement (775,000 most reimbursed salaries so won't be capital)	\$775,000
DWAM Grant	Anticipating Extension to Oct '25	\$289,084
Mill and Resurface - East Marsh Field	Mill and Resurface	\$400,000
Millard Street, Lake Dunes to West End	Reconstruct	\$400,000
1st Street Sanitary Improvements	New sanitary for Apple Ave in 2026	\$450,000
2nd Street, Muskegon to Houston	Local Reconstruct	\$345,000
New Street, Calvin to Evanston	Local Reconstruct	\$1,115,000
Edgewater St, Thompson to Lakeshore	Reconstruct with Intersection Realignment	\$425,000
Oak and Sun Dolphin Rehabilitation	Mill & Resurface	\$475,000
2024 Patching Program	Mill & Resurface Various Locations	\$300,000

Splash Pad Reconstruction	Rebuild in place	\$300,000
Terrace Irrigation	Install Irrigation	\$0
5th Street, Western to Shoreline Dr	Reconstruct and Replace Storm Sewer	\$50,000
Apple Avenue Utility Design	Water and Sewer Related to MDOT's 2026 Rebuild	\$65,000
Miscellaneous Lift Station Repairs / Upgrades	Misc. Lift Station Repairs/UpgradesTBD as needs identified	\$250,000
Obsolete Hydrant Replacements	Replace Difficult to Operate Hydrants Throughout Town	\$400,000
PM South Restroom Building	Construct new restroom building and rehabilitate "Kite Shack"	\$700,000
Hartshorn Marina Improvements	Bathroom rehabilitations, office upgrades, north dock repairs, etc.	\$250,000
FY24 SRF	\$10M in LSLR, \$878k for Nims Tank	\$2,878,000
FY25 SRF	Engineering and Design	\$150,000
FY23 SRF	FY23 DWRP Water Service Replacements (Apple, Clay Hill, Oakview)	\$2,000,000
FY23 SRF - Wilcox/Thompson	Bluffton Neighborhood Utility Replacements	\$1,400,000
FY23 SRF - Morton	Morton, Lincoln to Denmark	\$500,000
Water Service Replacements	Various locations	\$750,000
Water Filtration Plant - WMRWA Eligible	Controls upgrades, intake valves, and pump rebuilds	\$375,000
Water Filtration Plant - WMRWA Ineligible	High Service Pump Rebuilds	\$50,000
DPW Upgrades	TBD	\$200,000
Wood Street Storage Facility	Rehabilitate storage building at 1290 Wood St ARPA	\$50,000
Fire department New Engine - move to 25-26 FY	New Engine	\$0
Fire Department New Pickup LOOK AT NEXT YR	New Vehicle	\$0
Parks Capital Plan FY25 Portion	TBD by Master Planning Process	\$1,985,000
Police Equipment Purchases	Includes \$80,000 for buildout costs	\$165,000
DPW Equipment Purchases	Includes \$100,000 for buildout costs	\$1,265,000
Development Services Fleet Vehicle - Delete	New Vehicle	\$0
Scoreboard - Trinity Health Arena	Replace existing Score/Videoboard	\$350,000
Pere Marquette Parking Upgrades	Includes Indiana Street Plaza Improvements	\$0
880 First Demolition	Demo building, fill basement, plant grass	\$500,000
Nelson House	Move Nelson House	\$199,000
Climate Action Project	TBD	\$0
McGraft Park Capital Project	TBD	\$60,000
City Hall Upgrades	Chiller Plant (External)	\$400,000
Peck Street (Keating to Laketon)	Water & Sewer Improvements	\$826,000
9th Street (Keating to Shelby)	Water Improvements	\$325,000
5th Street, Western to Shoreline Dr	Reconstruct and Replace Storm Sewer	\$550,000
Western Avenue, Division to West End	Rehabilitate, Improve Sidewalks, Etc.	\$400,000
Parks Capital Plan FY26 Portion	TBD by Master Planning Process	\$2,035,000
Lakeshore, 300' East of Cottage Grove to Edgewater	Advance Construct after Reprogramming Irwin Funding	\$1,375,000
Police Department Basement Upgrades	Backfilling Areas Vacated by 1st Floor Upgrades	\$300,000
Reconstruction with City Funds	TBD	\$500,000
Miscellaneous Lift Station Repairs / Upgrades	TBD as needs identified	\$100,000
Various Routes to Match LSL Replacement	Mill & Resurface South Clay Hill	\$750,000
FY25 DWR/CWSRF	Catherine from Irwin to Wood, and \$10M in LSLR	\$7,500,000
FY26 DWR/CWSRF	TBD	\$300,000
FY24 DWRP	Water Service Replacements	\$10,000,000
TBD	Mill and Resurface with City Funds (For FY24 DWRP Water Services)	\$1,000,000
Various	Water Service Replacements	\$750,000
Water Filtration Plant - WMRWA Eligible	Pretreatment building roof	\$525,000
Water Filtration Plant - WMRWA Ineligible	TBD	\$0
Police Equipment Purchases	Includes \$80,000 for buildout costs	\$255,000
Articulating Boom Lift	Articulating Boom Lift	\$105,000
DPW Equipment Purchases	Includes \$80,000 for buildout costs	\$635,000
Farmers Market Stall/Roof Replacement	Modify/replace roof to prevent rain from pouring directly on vendors	
Arena - Remove and Replace Fill Material in Water Towers	Recommended replacement in years 10-14	\$35,000
Arena Seating	Replace Seating	\$450,000
Kruse Park Boardwalk Phase 1	Per MCSA Concepts, mainly stair replacement	
Climate Action Project	TBD	
Digital Signing at City Hall, DPW	Replace old signs	\$100,000

Categories

Streets

Facilities & Fleet

Housing

Utilities

Parks, Recreation & Green Space

Innovation and Technology

General Government

Public Safety



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: April 16, 2026	Title: Corridor Improvement Checklist															
Submitted by: Mike Franzak, Planning Director	Department: Planning															
Brief Summary: Staff has attached a copy of the new Corridor Improvement Checklist. Please review after the meeting so that we may discuss in May.																
Detailed Summary & Background: Staff has attached a copy of the new Corridor Improvement Checklist. Please review after the meeting so that we may discuss in May.																
Goal/Focus Area/Action Item Addressed: Key Focus Areas: Goal/Action Item: 2027 Goal 2: Economic Development Housing and Business																
Amount Requested: N/A	Budgeted Item: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">No</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">N/A</td> <td style="width: 15%;"><input checked="" type="checkbox"/></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> </table>	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>								
Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>										
Fund(s) or Account(s): N/A	Budget Amendment Needed: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">No</td> <td style="width: 15%;"><input type="checkbox"/></td> <td style="width: 15%;">N/A</td> <td style="width: 15%;"><input checked="" type="checkbox"/></td> <td style="width: 15%;"><input type="checkbox"/></td> </tr> </table>	Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>								
Yes	<input type="checkbox"/>	No	<input type="checkbox"/>	N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>										
Recommended Motion: Discussion only.																
Approvals: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">Immediate Division Head</td> <td style="width: 10%; text-align: center;">X</td> <td style="width: 20%;"></td> </tr> <tr> <td>Information Technology</td> <td></td> <td></td> </tr> <tr> <td>Other Division Heads</td> <td></td> <td></td> </tr> <tr> <td>Communication</td> <td></td> <td></td> </tr> <tr> <td>Legal Review</td> <td></td> <td></td> </tr> </table>	Immediate Division Head	X		Information Technology			Other Division Heads			Communication			Legal Review			Guest(s) Invited / Presenting: No
Immediate Division Head	X															
Information Technology																
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Corridor Improvement CHECKLIST

What is a Business Corridor?

A business corridor is a street or area with a concentration of businesses that serve as an economic and social hub for a community. These corridors provide jobs, goods, and services, and are often revitalized through physical improvements, support for existing and new businesses, and community-focused programming.

Goal

To improve the quality of Muskegon's business corridors through planning, design, and economic incentives in a partnership between business owners and the Development Services Team.

Input Meeting

The Development Services Team will host an Input Meeting where business owners will be able to discuss improvements they would like to see in their business corridor. These ideas will be used to formulate a plan to make these improvements become a reality.

Instructions

Every business that participates should review the Corridor Improvement Checklist, which outlines the core tenants of a strong business corridor. Check the box at the top of each page if your business corridor meets the specific tenant. A thriving business corridor should be able to check each of the boxes within the checklist. You can also make notes of improvements you would like to see within the business corridor. Bring these notes to the Input Meeting and prepare for a discussion. Please make sure to encourage other businesses within the corridor to attend the Input Meeting. The more participation, the better the outcome.

Outcome

Using information gathered at the Input Meeting, the Development Services Team will create an action plan that will be shared with the businesses. This action plan will detail a path forward to create the desired improvements to the corridor.





ACTIVE Business Association



This corridor has an active Business Association that meets regularly to network, coordinate events, and suggest improvements.

A Business Association brings together businesses within the same corridor to build connections, advocate for shared interests, coordinate events, attract investment, and improve infrastructure. These efforts ultimately boost economic development and establish a shared vision for the corridor with a unified vision (think street design, zoning rules, and street amenities).

Some associations go a step further by incorporating as a Corridor Improvement Authority (CIA) or Business Improvement District (BID) to access additional funding tools. (See “Funding Options” on page 9)

How can we help?

The Development Services Team can assist with forming a formal Business Association, including help with:

- Articles of incorporation
- Sample procedures & templates
- Structural & operational guidance

What can you do?

- Attend an upcoming business association meeting—or start one if none exists.
- Reach out to neighboring business owners & form an informal group.
- Identify a few shared goals (Ex: Cleaner sidewalks, events, marketing).
- Offer to host a meeting or coffee with other businesses in the corridor.
- Nominate a few people to coordinate communication & planning.

Comments/Notes



PROPER Zoning Designation



The corridor has appropriate zoning for its intended uses and development pattern.

What are the zoning rules regulating your district? Are they helping or hurting it? Older commercial zones may have different priorities than what is desired today. Updated zoning options offer more flexibility, better support for mixed uses, allow for greater density, and additional housing options near to support business corridors.

If a Business Association exists, it should work with the Development Services Team to review zoning and submit recommended changes to the Planning Commission. If not, city staff can coordinate a public meeting with business owners to gather input.

How can we help?

- Free zoning assessment
- Public input coordination
- Recommend path for any amendments

Things to Consider

- Can I expand my building or business under current zoning?
- Would a different zoning designation allow more options?
- Would increased housing options benefit the corridor?
- What are my signage options?

What can you do?

- Review your current zoning designation—does it match your future plans?
- Walk your corridor and observe whether current uses align with what’s allowed.
- Talk to nearby business owners about challenges with setbacks, signage, or expansions.
- Prepare a list of barriers you face with your property (Ex: can’t build an addition, limited signage).
- Start a conversation with the Development Services Team to learn more about alternative zoning options.

Comments/Notes



SUPPORTIVE Streets & Sidewalks



The street and sidewalk structure supports the needs of people visiting and working along it.

Are cars speeding through the district? Do people feel safe crossing the street? Many corridors were designed to move vehicles quickly, often at the expense of safety and comfort.

Wider, walkable sidewalks promote outdoor seating, events, and foot traffic—bringing more energy into the district.

How can we help?

- Free street & sidewalk assessment
- Public input coordination
- Recommend improvements and proper process
- Sidewalk repairs

What can you do?

- Observe how people move around your business—where do they walk, cross, or get stuck?
- Note areas with cracked sidewalks, poor lighting, or unsafe street crossings.
- Talk with customers or neighbors about how comfortable the area feels.
- Collect photos of areas that need improvement & share them with your Business Association or the city.

Comments/Notes



DESIRED Street Amenities



The corridor has sufficient landscaping and amenities.

Does your corridor have a strong identity? Does it make people want to explore more than one business location? Street amenities like benches, bike racks, street trees, banners, and lighting help create a unique identity and increase the amount of time people spend in the district. Improvements to paths and sidewalks can help increase access to surrounding neighborhoods.

How can we help?

- Free public amenities assessment
- Public input coordination
- Recommendations & potential professional renderings

What can you do?

- Take a walking tour of your corridor and list what’s missing (benches, bike racks, trash cans, street trees).
- Talk to customers—would they stay longer if there were more places to sit, or other features to make them comfortable?
- Brainstorm ideas for public art, banners, or lighting that reflect your corridor’s identity.
- Partner with neighboring businesses to co-sponsor a planter or public art project.
- Note where extra sidewalk space could be used for outdoor dining to enhance the area.

Comments/Notes

FUNCTIONAL Parking



Customers can easily locate parking that meets their needs.

Parking is important, but building more isn't always the solution. In some cases, plenty of parking exists, but drivers cannot easily find it or the spaces are occupied by cars parked for the entire day. The planning department has developed strategies to implement and encourage efficient use of parking, while keeping spaces closer to businesses available for customers.

How can we help?

- Review corridor-specific parking strategies
- Recommend appropriate parking solutions

What can you do?

- Ask customers where they typically park—and if it's easy or frustrating.
- Evaluate your parking—are there signs? Are spaces visible? Is turnover high enough?
- Partner with neighboring businesses to share overflow parking or coordinate signage.
- Encourage employees to park further away to free up close and convenient spaces for customers.

Comments/Notes



WELL-MAINTAINED Properties



Properties in and around the corridor are visually appealing and in good condition.

Blighted or deteriorated properties discourage foot traffic and send the wrong message to potential customers. Both commercial and residential buildings should reflect the character and vitality of the area.

How can we help?

Depending on available funding, assistance may include:

- Senior & low-income home repairs (roofing, siding)
- Lead paint removal
- Infill housing or building conversions
- Commercial facade improvement grants

What can you do?

- Walk your block and look with a fresh set of eyes: What needs paint, repair, or landscaping?
- Add planters, a bench, or art near your storefront to boost curb appeal.
- Talk to neighboring property owners about coordinating/collaborating seasonal cleanups or facade updates.
- Report blight or unsafe properties to the city.
- If you rent or lease your space, talk with your landlord about possible improvements.

Comments/Notes



BUSINESS Expansion Assistance



Businesses are aware of expansion incentives.

Expansion incentives are often available in the form of tax abatements or grants—but eligibility criteria must be met. If incentives don't currently exist, steps can be taken to pursue them.

How can we help?

- Evaluate eligibility for tax abatements or grants
- Provide technical assistance & guidance through the process

What can you do?

- Review your long-term business goals—do you plan to expand, renovate, or relocate?
- Start a “dream list” of improvements you’d like to make in 1–5 years.
- Reach out early to explore available incentives, even if you’re not ready to act now.
- Talk to nearby business owners who have expanded—learn what worked and what didn’t.
- Consider how your expansion might contribute to corridor revitalization as a whole.

Comments/Notes



Funding OPTIONS



The Business Association has funding to operate and support improvements.

Associations are often self-funded and either collect dues or organize fundraising events. Others operate with no budget at all. For major improvements, forming a **Business Improvement District** or **Corridor Improvement Authority** allows a group to leverage new tax dollars or assessments for enhancements.

Funding could go to projects like:

- Decorative lighting
- Banners
- Landscaping
- Benches
- Trash receptacles
- Street/sidewalk upgrades
- Sidewalk snow removal

How can we help?

- Help identify the right funding mechanism
- Guide the association through the setup process

What can you do?

- Inventory your current funding—do you collect dues? Fund raise? Apply for grants?
- Work with members to set a simple annual budget.
- Brainstorm low-cost fundraising ideas (e.g., a sidewalk sale, holiday event).
- Explore the pros and cons of forming a Business Improvement District or Corridor Improvement Authority.
- Identify one small improvement to fund together this year.

Comments/Notes
