

CITY OF MUSKEGON

PLANNING COMMISSION MEETING

November 13, 2025 @ 4:00 PM

**MUSKEGON CITY COMMISSION CHAMBERS
933 TERRACE STREET, MUSKEGON, MI 49440**

☐ **CALL TO ORDER:**

☐ **ROLL CALL:**

☐ **APPROVAL OF MINUTES:**

A. Approval of the minutes from the special meeting of October 23, 2025.
Planning

☐ **PUBLIC HEARINGS:**

A. Case 2025-40: Request for a special use permit to operate a gas station at 2021 Marquette Ave, by Jaswinder Singh. Planning

B. Case 2025-41: Staff-initiated request to amend Section 2307 of the zoning ordinance to modify the permitted yard encroachment criteria. Planning

C. Case 2025-42: Staff-initiated request to amend Section 2319 of the zoning ordinance to modify the residential design criteria. Planning

☐ **UNFINISHED BUSINESS:**

☐ **NEW BUSINESS:**

☐ **ANY OTHER BUSINESS:**

☐ **GENERAL PUBLIC COMMENT:**

► Reminder: Individuals who would like to address the City Commission shall do the following: ► Fill out a request to speak form attached to the agenda or located in the back of the room. ► Submit the form to the City Clerk. ► Be recognized by the Chair. ► Step forward to the microphone. ► State name. ► Limit of 3 minutes to address the Commission.

☐ **ADJOURNMENT:**

AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is

not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk's Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit:

www.shorelinecity.com

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours' notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following:

Ann Marie Meisch, MMC. City Clerk. 933 Terrace St. Muskegon, MI 49440. (231)724-6705.
clerk@shorelinecity.com

CITY OF MUSKEGON

PLANNING COMMISSION MEETING

October 23, 2025 @ 4:30 PM

MUSKEGON CITY COMMISSION CHAMBERS

933 TERRACE STREET, MUSKEGON, MI 49440

MINUTES

CALL TO ORDER

L. Willett-Leroi called the meeting to order at 4:31 PM, and a roll call was taken.

ROLL CALL

Members Present: Ken Johnson, Jonathan Seyferth, Destinee Keener, Shonie Blake, Steve Gawron, Lea Willett LeRoi, Bryon Mazade, Jill Montgomery-Keast, Lashae Simmons

Member(s) Absent:

Member(s) Excused:

Staff Present: M. Franzak and S. Romine

Others Present:

APPROVAL OF MINUTES

A. Approval of the minutes from the regular meeting of September 11, 2025. Planning

A motion to approve the Minutes of the regular Planning Commission meeting on September 11, 2025, was made by D. Keener, supported by B.Mazade, and unanimously approved.

PUBLIC HEARINGS

A. Case 2025-38: Request to rezone a portion of the property at 560 Mart St from Waterfront Marine (WM) to Waterfront Industrial PUD (WI-PUD), by West Michigan Dock & Market Corp. Planning

SUMMARY

The applicant is requesting to rezone 23.5 acres of the 43.5-acre site to WI-PUD. The area to be rezoned is located behind the existing security fence (please see attachment). This area has historically been used for port-related activities. Although these uses are not allowed in the WM

zoning district, they are considered legally non-conforming (grandfathered). Rezoning this portion of the property to WI-PUD would allow the applicant to apply for a PUD for port-related uses, which would allow them to become legally conforming. The rest of the parcel would remain under Waterfront Marine (WM) zoning. Please see the enclosed zoning ordinance excerpts.

This rezoning request is related to the "land swap" project between the City, Mart Dock, and Verplank. More information regarding the project can be found here: <https://muskegon-mi.civilspace.io/en/projects/connecting-community-to-the-water-ports-and-parks>

The land swap project would help complete several goals identified in city plans, including the following:

- Increasing publicly-accessible land along the waterfront - Imagine Muskegon Lake (page 10).
- Increasing publicly-accessible shoreline - Imagine Muskegon Lake (page 10)
- Increasing multi-use paths and trails align the shoreline - Imagine Muskegon Lake (page 10)
- Increasing mixed-use development along the waterfront - Imagine Muskegon Lake (page 11)
- Activating the Mart Dock property as an activity center - Imagine Muskegon Lake (page 37,40,41)
- Habitat restoration at the future park on the Verplank site - Imagine Muskegon Lake (page 59)
- Connecting the Western & Central Waterfront Districts to Downtown - Imagine Muskegon Lake (page 15)
- Become regionally and nationally designated by organizations that will bring visibility and economic development to Muskegon Lake - Master Plan (Economic Development, page 19)
- Improve the environmental quality of greenway corridors by cleaning up contaminated sites, safeguarding areas highly susceptible to private land use, and reducing dumping - Master Plan (Natural Features, page 13)
- Increase and enhance publicly-accessible amenities along the waterfront and soften shorelines where possible - Master Plan (Economic Development, page 18)
- Invest in placemaking opportunities that capitalize on community assets - Master Plan (Economic Development, page 10)
- Increase access to the Muskegon Lake shoreline - Master Plan (Jackson Hill, page 11).

STAFF RECOMMENDATION

I move that the request to rezone a portion of the property at 560 Mart St from Waterfront Marine to Waterfront Industrial PUD be recommended to the City Commission for approval.

PUBLIC HEARING COMMENCED

J. Eckholm, Director of Development Services: Supports this rezoning and spoke about it as a component of the "land-swap" agreement with 560 Mart Street.

CLOSE PUBLIC HEARING — MOTION

A motion to close the public hearing was made by S. Gawron, supported by J. Montgomery-Keast, and unanimously approved.

MOTION PASSES

MOTION

Motion by L. Simmons, second by D. Keener, that the request to rezone a portion of the property at 560 Mart St from Waterfront Marine to Waterfront Industrial PUD be recommended to the City Commission for approval.

ROLL VOTE: Ayes: L. Willett-Leroi, J. Montgomery-Keast, J. Seyferth, S. Gawron, B. Mazade, S. Blake, and L. Simmons II
Nays: K. Johnson and D. Keener

MOTION PASSED

B. Rezoning of 501 E Western Ave from Open Space Recreation (OSR) to Waterfront Industrial PUD (WI-PUD). Planning

SUMMARY

Staff is requesting to rezone a portion of Fisherman's Landing (501 E Western) to WI-PUD to allow for port activities on-site. Once the property is rezoned to WI-PUD, the owner would be able to apply for a PUD for port-related activities. The remainder of the property will remain OSR zoning, and the boat launch, fishing areas, and bathrooms will remain open to the public. About 3.5 of the 5 parking lots on-site will remain (about 46 parking spaces to be eliminated). Please see the enclosed map depicting the portion of the property to be rezoned and the zoning ordinance excerpts for WI-PUD and OSR.

This rezoning request is related to the "land swap" project between the City, Mart Dock, and Verplank. More information regarding the project can be found here: <https://muskegon-mi.civilspace.io/en/projects/connecting-community-to-the-water-ports-and-parks>

The land swap project would help complete several goals identified in city plans, including the following:

- Increasing publicly-accessible land along the waterfront - Imagine Muskegon Lake (page 10).
- Increasing publicly-accessible shoreline - Imagine Muskegon Lake (page 10)
- Increasing multi-use paths and trails align the shoreline - Imagine Muskegon Lake (page 10)
- Increasing mixed-use development along the waterfront - Imagine Muskegon Lake (page 11)
- Activating the Mart Dock property as an activity center - Imagine Muskegon Lake (page 37,40,41)
- Habitat restoration at the future park on the Verplank site - Imagine Muskegon Lake (page 59)

- o Connecting the Western & Central Waterfront Districts to Downtown - Imagine Muskegon Lake (page 15)
- o Become regionally and nationally designated by organizations that will bring visibility and economic development to Muskegon Lake - Master Plan (Economic Development, page 19)
- o Improve the environmental quality of greenway corridors by cleaning up contaminated sites, safeguarding areas highly susceptible to private land use, and reducing dumping - Master Plan (Natural Features, page 13)
- o Increase and enhance publicly-accessible amenities along the waterfront and soften shorelines where possible - Master Plan (Economic Development, page 18)
- o Invest in placemaking opportunities that capitalize on community assets - Master Plan (Economic Development, page 10)
- o Increase access to the Muskegon Lake shoreline - Master Plan (Jackson Hill, page 11).

STAFF RECOMMENDATION

I move that the request to rezone a portion of the property at 501 E Western Ave from Open Space Recreation to Waterfront Industrial PUD be recommended to the City Commission for approval.

PUBLIC HEARING COMMENCED

None.

CLOSE PUBLIC HEARING — MOTION

A motion to close the public hearing was made by S. Gawron, supported by J. Montgomery-Keast, and unanimously approved.

MOTION

Motion by D. Keener, second by K. Johnson, that the request to rezone a portion of the property at 501 E Western Ave from Open Space Recreation to Waterfront Industrial PUD be recommended to the City Commission for approval.

ROLL VOTE: Ayes: L. Willett-Leroi, K. Johnson, J. Montgomery-Keast, J. Seyferth, S. Gawron, B. Mazade, L. Simmons II
Nays: D. Keener and S. Blake

MOTION PASSED

UNFINISHED BUSINESS

None.

NEW BUSINESS

None.

ANY OTHER BUSINESS

None.

GENERAL PUBLIC COMMENT

None.

ADJOURNMENT

The Planning Commission meeting adjourned at 5:14 pm.

Respectfully Submitted,

Ann Marie Meisch, MMC City Clerk



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: November 13, 2025	Title: Case 2025-40: Request for a special use permit to operate a gas station at 2021 Marquette Ave, by Jaswinder Singh.
Submitted by: Mike Franzak, Planning Director	Department: Planning

Brief Summary:
Request for a special use permit to operate a gas station at 2021 Marquette Ave.

Detailed Summary & Background:
The properties at 2021 and 2033 Marquette Ave are zoned B-2, Convenience & Comparison Business. The property at 2021 Marquette currently operates as a convenience store. The property at 2033 Marquette is currently a self-service car wash. The applicant plans on combining the properties into one, adding an addition to the convenience store, and adding a gas station.

The current convenience store measures 2,673 sf and the proposed addition measures 1,920 sf. There are no additional parking spaces proposed, but the 12 spaces that currently exist will remain, which meet the zoning ordinances parking standards.

The gas station will include eight pumps under one canopy. The underground storage tank will be located to the south of the existing car wash building.

A fence is proposed on the southern property line to screen the apartments to the south. However, the fence will not be placed where the new parking lot connection to the alley is proposed to the east of the convenience store.

The rear setback requirement is 10 feet. However, there is a provision in the zoning ordinance that allows for zero lot line setbacks, as long as the following conditions below are met. It appears these conditions have been met (the rear setback will be 4.9', the same as the existing building, not all the way to zero).

- a. The building has an approved fire rating for zero-lot line development under the building code.
- b. The building has adequate fire access preserved pursuant to fire code requirements.
- c. The zero lot line side is not adjacent to a street.
- d. A maintenance access easement is granted by the adjacent property owner and recorded with the County Register of Deeds and provided to the zoning administrator with the site plan or plot plan.
- e. It is not adjacent to wetlands, or waterfront.

Planning Exercise
Prior to authorization of any Special Land Use, the Planning Commission shall give due regard to the nature of all adjacent uses and structures. It shall determine the consistency with the adjacent use and development. In addition, the Planning Commission shall find that the proposed use or activity

would not be offensive or a nuisance, by reason of increased traffic, noise, vibration, or light. Further, the Planning Commission shall find that adequate water and sewer infrastructure exists or will be constructed to service the Special Land Use or activity.

Staff will answer the following questions and ask the Planning Commissioners if they disagree with each statement at the meeting (Staff answers in italics).

Would the proposed expansion be considered offensive, or a nuisance, because of any of the following:

1. Increased traffic - *No*
2. Increased noise - *No*
3. Increased vibration - *No*
4. Increased light - *No*

Does adequate water and sewer infrastructure exist, or will it be constructed to service the Special Land Use or activity? *Yes, it currently exists.*

Special Use Permit requirements specific to gas stations:

1. The curb cuts for ingress and egress to a service station shall not be permitted at such locations that will tend to create traffic hazards in the streets immediately adjacent thereto. Entrances shall be no less than twenty-five (25) feet from a street intersection (measured from the roadway) or from adjacent residential property, and subject to other Ordinances of the City. *Condition met (Engineering Dept still reviewing at the time of this writing).*
2. The minimum lot area shall be ten thousand (10,000) square feet, and so arranged that ample space is available for motor vehicles which are required to wait. *Condition met*
3. There shall be provided, on those sides abutting or adjacent to a residential district, a four foot (4') completely obscuring wall or fence. The height of the wall or fence shall be measured from the surface of the ground. *Condition mostly met. No screening where driveway connects to alley.*
4. All lighting shall be shielded from adjacent residential districts and from abutting streets. *Condition met*
5. All rest rooms doors shall be shielded from adjoining residential property. *Condition met*

Staff Recommendation

Staff recommends approval of the special use permit with the condition that a stormwater permit is obtained from the Engineering Department. Also, the Engineering Department is still working with the applicant on possibly reducing the width of the curb cut off Marquette Ave (closest to Quarterline Dr). Staff will update the Commission on those discussions at the meeting.

Goal/Focus Area/Action Item Addressed:

Key Focus Areas:

Goal/Action Item:

2027 Goal 2: Economic Development Housing and Business

Amount Requested:

N/A

Budgeted Item:

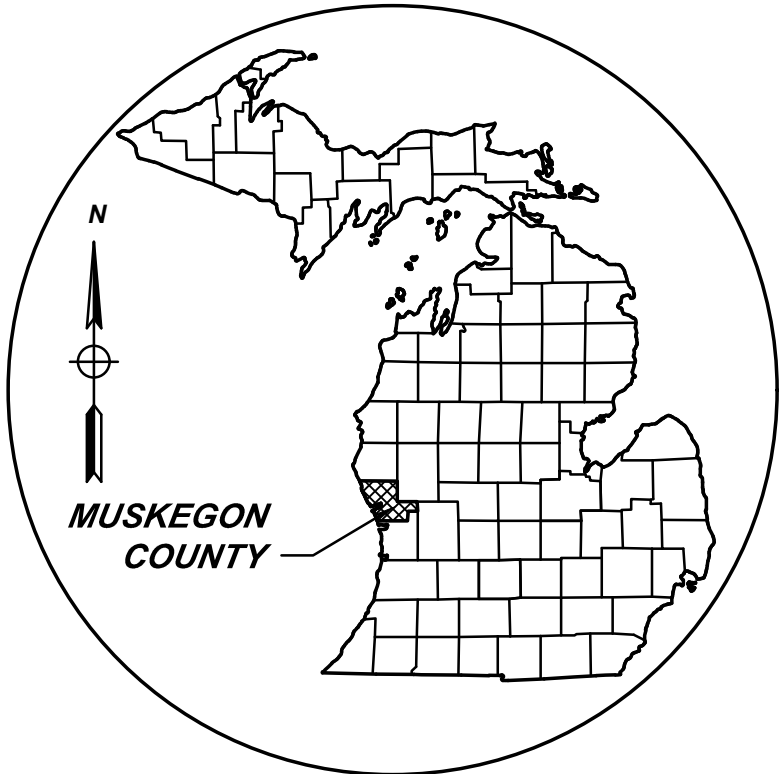
Yes		No		N/A	X	
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Fund(s) or Account(s): N/A	Budget Amendment Needed: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 16.6%; text-align: center;">Yes</td> <td style="width: 16.6%;"></td> <td style="width: 16.6%; text-align: center;">No</td> <td style="width: 16.6%;"></td> <td style="width: 16.6%; text-align: center;">N/A</td> <td style="width: 16.6%; text-align: center;">X</td> <td style="width: 16.6%;"></td> </tr> </table>	Yes		No		N/A	X									
Yes		No		N/A	X											
Recommended Motion: I move the request for a special use permit to operate a gas station at 2021 Marquette Ave be approved based on the findings of facts in the exercise in the staff report with the condition that a stormwater permit is obtained from the Engineering Department.																
Approvals: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">Immediate Division Head</td> <td style="width: 10%; text-align: center;">X</td> <td style="width: 65%;"></td> </tr> <tr> <td>Information Technology</td> <td></td> <td></td> </tr> <tr> <td>Other Division Heads</td> <td></td> <td></td> </tr> <tr> <td>Communication</td> <td></td> <td></td> </tr> <tr> <td>Legal Review</td> <td></td> <td></td> </tr> </table>	Immediate Division Head	X		Information Technology			Other Division Heads			Communication			Legal Review			Guest(s) Invited / Presenting: No
Immediate Division Head	X															
Information Technology																
Other Division Heads																
Communication																
Legal Review																

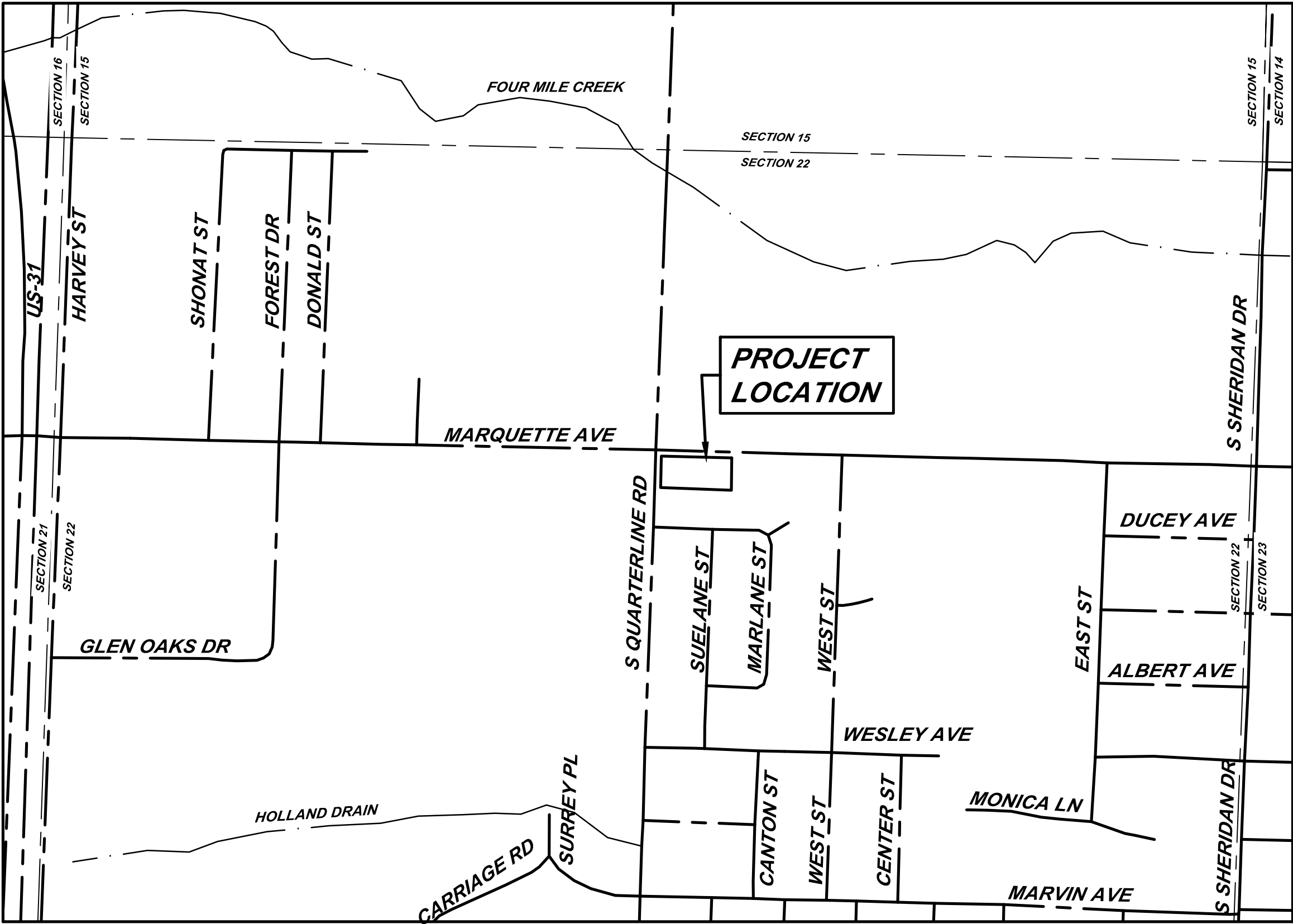
SUNNY MART SITE DESIGN

RAJU SINGH

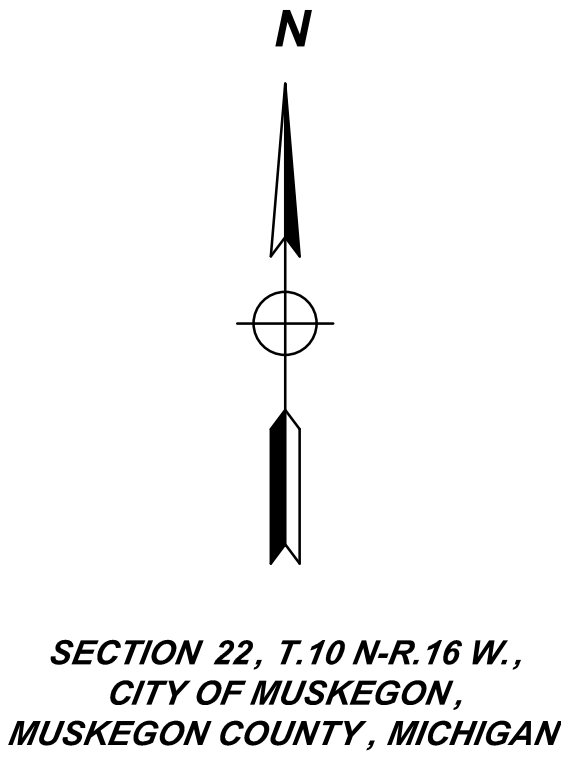
PLAN INDEX		
FILE NO.	DESCRIPTION	NO.
D-6470-01	TITLE SHEET	01
D-6470-02	NOTES SHEET	02
D-6470-03	SITE DETAILS	03
D-6470-04	OVERALL PLAN	04
D-6470-05	DEMOLITION PLAN	05
D-6470-06	SITE PLAN	06
D-6470-07	GRADING PLAN	07
D-6470-08	LANDSCAPING PLAN	L1
D-6402	BOUNDARY & TOPOGRAPHIC SURVEY	



AREA MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



SECTION 22, T.10 N-R.16 W.,
CITY OF MUSKEGON,
MUSKEGON COUNTY, MICHIGAN

MTS		SITE PLAN REVIEW SUBMITTAL	10/16/2025
BY	MARK	REVISIONS	DATE
THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC APPLICATION AND SPECIFIC LOCATION DESCRIBED HEREIN IN ACCORDANCE WITH THE CONDITIONS PREVALENT AT THE TIME THE DESIGN WAS DONE. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.			
RAJU SINGH 2021 MARQUETTE AVENUE MUSKEGON, MI 49442			
TITLE SHEET			
 MANISTEE OFFICE 302 River Street Manistee, MI 49660 Tel: 231-794-5520 www.SpicerGroup.com			
DE BY: MTS	CH BY: BMB	PROJECT NO.	
DR BY: MTS	APP BY: LMR	138798SG2025	
STDS.	-	SHEET 01 OF 08	C
DATE	OCTOBER, 2025	FILE NO.	01
SCALE	N/A	D-6470-01	

PRELIMINARY ONLY
NOT FOR CONSTRUCTION

GENERAL NOTES

NO WORK SHALL BE PERFORMED BEFORE 7:00 AM OR AFTER 7:00 PM MONDAY THROUGH SATURDAY. NO WORK SHALL HAPPEN ON SUNDAYS OR HOLIDAYS. UNLESS AUTHORIZED BY THE OWNER.

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS PRIOR TO START OF CONSTRUCTION, CONSTRUCTION STAKING AND INSPECTION.

CONTRACTOR TO PROVIDE DUST CONTROL AND SWEEP ROADS DAILY.

ALL EXCAVATED MATERIAL NOT TO BE REUSED OR DISPOSED OF ON SITE SHALL BE REMOVED FROM SITE. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING MATERIALS ACCORDING TO LOCAL AND STATE REQUIREMENTS.

UNDERGROUND UTILITIES/MISS DIG FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 174, 2013, THE CONTRACTOR SHALL DIAL 1-800-482-7171 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL, THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

THE EXISTING UTILITIES ON THESE DRAWINGS HAVE BEEN SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND SHALL NOTIFY THE ENGINEER AS TO WHERE POSSIBLE CONFLICT EXISTS.

ALL CONSTRUCTION UNDER EXISTING UTILITIES, INCLUDING HOUSE SERVICES, SHALL BE COMPLETELY BACKFILLED WITH SAND, IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT.

ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION SHALL BE SUPPORTED, PER THE SPECIFICATIONS OF THE INDIVIDUAL UTILITY COMPANY CLAIMING OWNERSHIP OF THE UTILITY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES APPROPRIATE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTH-DISTURBING ACTIVITIES. PLACE TURF ESTABLISHMENT ITEMS AS SOON AS POSSIBLE ON POTENTIAL ERODABLE SLOPES AS DIRECTED BY THE ENGINEER. CRITICAL DITCH GRADES SHALL BE PROTECTED WITH EITHER SOD OR SEED/MULCH OR MULCH BLANKET AS DIRECTED BY THE ENGINEER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE AND MAINTAINED UNTIL THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MEASURES SHALL ONLY BE PAID FOR ONCE.

ALL CATCHBASINS AND SEDIMENTATION TRAP/BASIN SHALL BE CLEANED OUT UPON COMPLETION OF THE PROJECT.

ALL DEWATERING REQUIRED FOR CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE BID FOR UTILITY BEING INSTALLED.

ALL RIPRAP SHALL BE MDOT PLAIN RIPRAP TYPE MATERIAL, UNLESS OTHERWISE NOTED.

CONTRACTORS SHALL FINISH GRADE, SEED, FERTILIZE, AND MULCH DAILY ON ALL DISTURBED AREAS.

CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT, PART 91 OF ACT 451 OF 1994.

PROPERTY OWNERS' NAMES, WHERE SHOWN, ARE FOR INFORMATION ONLY, AND THEIR ACCURACY IS NOT GUARANTEED.

ADJUSTING MONUMENT BOXES ALL GOVERNMENT CORNERS ON THIS PROJECT SHALL BE PRESERVED, WHETHER SHOWN OR NOT. IT MAY BE NECESSARY TO PLACE OR ADJUST MONUMENT BOXES, AS REQUIRED.

TRAFFIC THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES. SIGNAGE MUST BE IN ACCORDANCE WITH THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL BE COORDINATED WITH THE ENGINEER AND GOVERNING ROAD AGENCY. PERMITS MAY BE REQUIRED.

PERMITS PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY THE APPROPRIATE AGENCIES.

CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE AGENCIES.

CONTACTS

MUSKEGON COUNTY RESOURCE RECOVERY CENTER WASTEWATER
ATTN: SAM BEINDER, PE
699 N. MAPLE ISLAND ROAD
MUSKEGON, MI 49442
PHONE: (231) 724-3441
EMAIL: bendersa@co.muskegon.mi.us

DTE GAS
ATTN: SARAH MCKENZIE
PHONE: (313) 378-0346
EMAIL: sarah.mckenzie@dteenergy.com

FRONTIER FIBER OPTIC
ATTN: CANDY TAPHOUSE
PHONE: (517) 266-5755
CELL: (517) 314-5018
EMAIL: candytaphouse1@ftr.com

PEARCE SERVICES FIBER OPTIC
ATTN: ABHINAV SINGH
EMAIL: Abhinav.Singh6872@pearce-services.com

GENERAL NOTES CONT.

SITE WORK ELECTRIC SERVICE TO BUILDING AND PARKING LOT LIGHTS SHALL BE UNDERGROUND. ALL UTILITY COMPANY SERVICE LINES AND PAD LOCATIONS ARE SHOWN FOR REFERENCE ONLY. EXACT LOCATIONS TO BE COORDINATED WITH UTILITY COMPANY.

ALL TRENCHED CONSTRUCTION UNDER GRAVEL, PAVED SURFACES OR UTILITIES SHALL BE BACKFILLED WITH CLASS II SAND OR OTHER APPROVED GRANULAR MATERIAL IN 12" LAYERS AND COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.

UNPAVED AREAS SHALL BE SMOOTHLY GRADED AND THE SURFACE STABILIZED BY SEEDING OR OTHERWISE. THE MAXIMUM DESIRABLE SLOPE IS 3 HORIZONTAL TO 1 VERTICAL UNLESS NOTED OTHERWISE.

CONTRACTOR SHALL SAWCUT PAVEMENT AND CURB & GUTTER FOR A CLEAN EDGE TO INSTALL PROPOSED PAVEMENT AND CURB & GUTTER.

CONTRACTOR IS RESPONSIBLE TO MAINTAIN POSITIVE DRAINAGE PATTERN TO ENSURE NO PONDING OF WATER ON ADJACENT EXISTING AND PROPOSED PAVED SURFACES.

DIMENSIONS SHOWN ARE GIVEN TO THE BACK OF CURBS AND FACE OF BUILDINGS UNLESS NOTED OTHERWISE.

STORM SEWER PIPE MATERIALS SHALL BE AS FOLLOWS:
• 12" DIAMETER AND ABOVE - CONCRETE PIPE, C-76, ASTM C-443 OR PVC PIPE SDR35,
• LESS THAN 12" DIAMETER - PVC PIPE SDR35, OR HIGH DENSITY POLYETHYLENE (HDPE), DUAL WALL, CORRUGATED.

SANITARY SEWER ALL SANITARY SEWER SHALL BE PVC, SDR35, TYPE PSM PLASTIC, CONFORMING TO ANSI/ASTM D3034 WITH RUBBER GASKET JOINTS, UNLESS SPECIFIED OTHERWISE.

WATER MAIN WATER MAIN PIPE SHALL CONFORM TO THE MUNICIPALITY'S STANDARDS AND SHALL BE PVC C-900 OR DUCTILE IRON, CLASS 52, CEMENT LINED.

WATER SERVICE PIPE FROM 3/4" TO 2-1/2" SHALL BE SEAMLESS, TYPE-K COPPER.

WATER MAIN SHALL HAVE A MINIMUM COVER OF 5'-6" UNLESS OTHERWISE SPECIFIED.

CONTRACTOR SHALL SECURE ALL VERTICAL BENDS WITH A MINIMUM OF TWO 3/4" ANCHOR RODS PER FITTING EITHER TO A CONCRETE BLOCK, WELDED STEEL PIPE SLEEVE, OR PIPE COLLAR. METHOD USED SHALL BE DETERMINED BY THE ENGINEER.

ALL FITTINGS SHALL BE MECHANICAL JOINT. ALL HYDRANTS AND VALVES SHALL CONFORM TO THE MUNICIPALITY'S STANDARDS.

ALL BURIED FERROUS PARTS SHALL RECEIVE A 10 MIL (DRY MILL THICKNESS) COATING OF COAL TAR EPOXY.

MAINTENANCE PROGRAM FOR SESC MEASURES

GENERAL MAINTENANCE

- TEMPORARY SESC MEASURES SHALL BE INSTALLED, MAINTAINED, AND REMOVED BY THE CONTRACTOR.
- TEMPORARY MEASURES MUST BE MAINTAINED AND IN PLACE UNTIL AREAS ARE PERMANENTLY STABILIZED.
- PERMANENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL FINAL COMPLETION.
- DAILY MAINTENANCE IS THE CONTRACTOR'S RESPONSIBILITY.
- TEMPORARY SESC MEASURES SHALL BE REMOVED AT THE END OF THE PROJECT ONCE PERMANENT MEASURES ARE ESTABLISHED.
- TEMPORARY SESC MEASURES SHALL BE INSTALLED PRIOR TO OR AT THE TIME OF EARTH DISTURBANCE.
- CONTRACTOR SHALL PROVIDED DAILY DUST CONTROL ON ALL DISTURBED AREAS, UNTIL TEMPORARY AND PERMANENT STABILIZATION METHODS ARE IN PLACE AND EFFECTIVE.

SEEDING, PLANTING AND MULCHING

- SEEDING AND PLANTING PRACTICES INCLUDE TOPSOIL (AS DIRECTED BY ENGINEER), SEED, POLYMER SILT STOP, AND MULCH OR MULCH MATTING (AS DIRECTED BY ENGINEER OR WHERE SHOWN ON PLANS).
- WHERE NECESSARY, APPROPRIATE MULCH MATTING MUST BE APPLIED BASED ON SLOPE AND GROWING CONDITIONS AS APPROVED BY THE PROJECT ENGINEER.
- ALL SLOPES AND HIGHLY EROSION AREAS WILL BE SEEDED AND/OR PLANTED AND MULCHED WHEN CONSTRUCTION ACTIVITY IS NOT TAKING PLACE.
- SEED, PLANTINGS AND MULCH ARE TO BE INSPECTED FOLLOWING EACH RAIN EVENT TO DETERMINE IF CONCENTRATED FLOWS ARE PRESENT.
- IN THE EVENT THAT SEED, PLANTINGS AND MULCH ARE REMOVED BY EROSION RUNOFF, REPAIRS ARE TO BE MADE IMMEDIATELY. COST TO BE INCLUDED IN THE BID PRICE FOR SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
- ALL AREAS DURING CONSTRUCTION WILL BE PERMANENTLY STABILIZED WITHIN 24 HOURS OF FINAL GRADE (GRADE LISTED ON PLAN).

SILT FENCE

- SILT FENCE IS TO BE TRENCHED IN NO LESS THAN 6 INCHES BELOW THE GROUND SURFACE.
- INSPECT SILT FENCE DAILY AND IMMEDIATELY FOLLOWING EACH RAINFALL.
- REPAIR WHEN SILT FENCE IS SAGGING OR HAS BEEN REMOVED/TORN DOWN.
- WHEN SILT COLLECTS TO HALF THE HEIGHT OF THE FENCE ALL SILT IS TO BE REMOVED AND FENCE REPAIRED.
- REMOVE SILT FENCE WHEN PERMANENT SESC MEASURES ARE IN PLACE AND VEGETATION IS ESTABLISHED.

COMPLIANCE WITH PART 91 OF PA 451

- RESPOND IMMEDIATELY TO STORMWATER OPERATOR AND/OR SOIL EROSION AND SEDIMENTATION CONTROL INSPECTOR CONCERNS. MAKE CORRECTIVE MEASURES AS REQUIRED IMMEDIATELY AS DETAILD BY THE APPROVED APA MANUAL(S) THAT APPLY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

- APPROPRIATE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTH-DISTURBING ACTIVITIES. PLACE TURF ESTABLISHMENT ITEMS AS SOON AS POSSIBLE ON POTENTIAL ERODABLE SLOPES AS DIRECTED BY THE ENGINEER. CRITICAL DITCH GRADES SHALL BE PROTECTED WITH EITHER SOD OR SEED/MULCH OR MULCH BLANKET AS DIRECTED BY THE ENGINEER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE AND MAINTAINED UNTIL THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MEASURES SHALL ONLY BE PAID FOR ONCE.
- ALL CATCHBASINS AND SEDIMENTATION TRAP/BASIN SHALL BE CLEANED OUT AFTER ANY STORM EVENT AND REMOVED UPON COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT, PART 91 OF ACT 451 OF 1994.

ABBREVIATIONS

BC = BACK OF CURB
BM = BENCH MARK
C/C = CENTER TO CENTER
CB = CATCH BASIN
CL = CENTERLINE
CJ = CONSTRUCTION JOINT
CMP = CORRUGATED METAL PIPE
CSP = CORRUGATED STEEL PIPE
CONC = CONCRETE
DI = DUCTILE IRON PIPE
EF = EACH FACE
ELEC = ELECTRIC
EL OR ELEV = ELEVATION
EOM = EDGE OF METAL
EOP = EDGE OF PAVEMENT
EQ/SP = EQUALLY SPACED
ESMT = EASEMENT
EW = EACH WAY
EX OR EXIST = EXISTING
FF = FINISH FLOOR
FL = FLOW LINE
FS = FINISH SURFACE
FG = FINISH GROUND
GALV = GALVANIZED
G = GUTTER
HDG = HOT DIP GALVANIZED
HDPE = HIGH DENSITY POLYETHYLENE
HP = HIGH POINT
HMA = HOT MIX ASPHALT
HYD = HYDRANT
INV = INVERT
LP = LOW POINT
OC = ON CENTER
OH = OVERHEAD
MH = MANHOLE
MIN = MINIMUM
MON = MONUMENT
NFL = NOT FIELD LOCATED
NTS = NOT TO SCALE
PROP = PROPOSED
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
ROW = RIGHT OF WAY
SAN = SANITARY
SB = SOIL BORING
SS = STAINLESS STEEL
STA = STATION
STM = STORM
SWR = SEWER
TB = TOP AND BOTTOM
TC = TOP OF CURB
TOB = TOP OF BANK
TOS = TOE OF SLOPE
TELE = TELEPHONE
TRW = TOP OF RETAINING WALL
TW = TOP OF WALK
UND = UNLESS NOTED OTHERWISE
WM = WATER MAIN
WS = WATER SURFACE ELEVATION

LINE TYPE LEGEND

EXISTING ROAD CENTERLINE
EXISTING WATER MAIN
EXISTING SANITARY SEWER OR FORCEMAIN
EXISTING STORM SEWER
EXISTING TELEPHONE CABLE
EXISTING GAS MAIN
EXISTING ELECTRIC
EXISTING DRAINS (OTHER)
PROPOSED UTILITY
EXISTING CURB & GUTTER
PROPOSED CURB & GUTTER
FENCE LINE
OVERHEAD UTILITY
RAILROAD TRACKS
STATION LINE
LIMITS OF RIGHT OF WAY
EASEMENT
SILT FENCE
REVERSE PAIN CURB & GUTTER
TREE LINE
EXISTING CONTOURS
PROPOSED CONTOURS

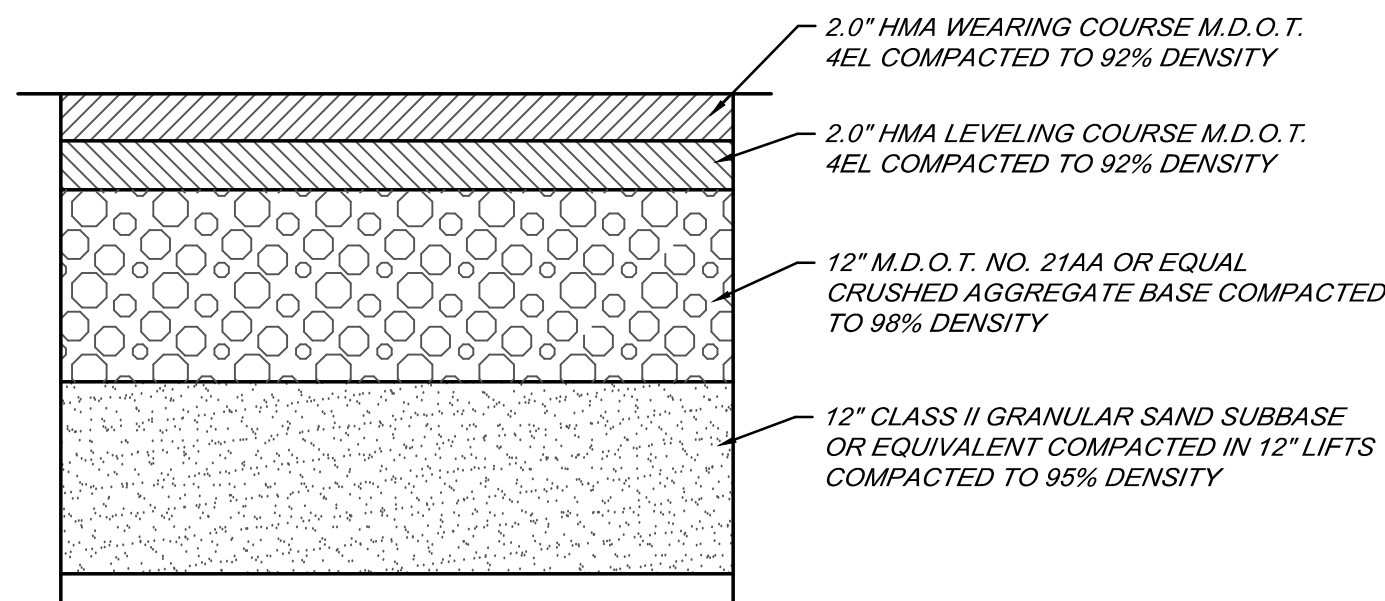
SYMBOL LEGEND
EXISTING SYMBOLS

MANHOLE
CATCH BASIN
CURB CATCH BASIN
FIRE HYDRANT
GAS VALVE
WATER VALVE
TELEPHONE PEDESTAL
POWER POLE
TELEPHONE POLE
POWER AND TELEPHONE POLE
LIGHT POLE
GUY ANCHOR AND POLE
MAIL BOX
WATER METER
TELEPHONE MANHOLE
ELECTRIC MANHOLE
MONITORING WELL
HAND HOLE
TRANSFORMER
ELECTRICAL PEDESTAL
BARRIER FREE PARKING
SPRINKLER
RAILROAD SIGNAL
ANTENNA
SATELLITE DISH
AIR CONDITIONING UNIT
SOIL BORING
BENCH MARK
FOUND SURVEY CORNER
SET 1/2" IRON ROD
1/4 SECTION CORNER
BREAK IN LINE
EXISTING SIGN-1 POST
EXISTING SIGN-2 POST
STUMP
WETLANDS
PINE
BUSH
TREE

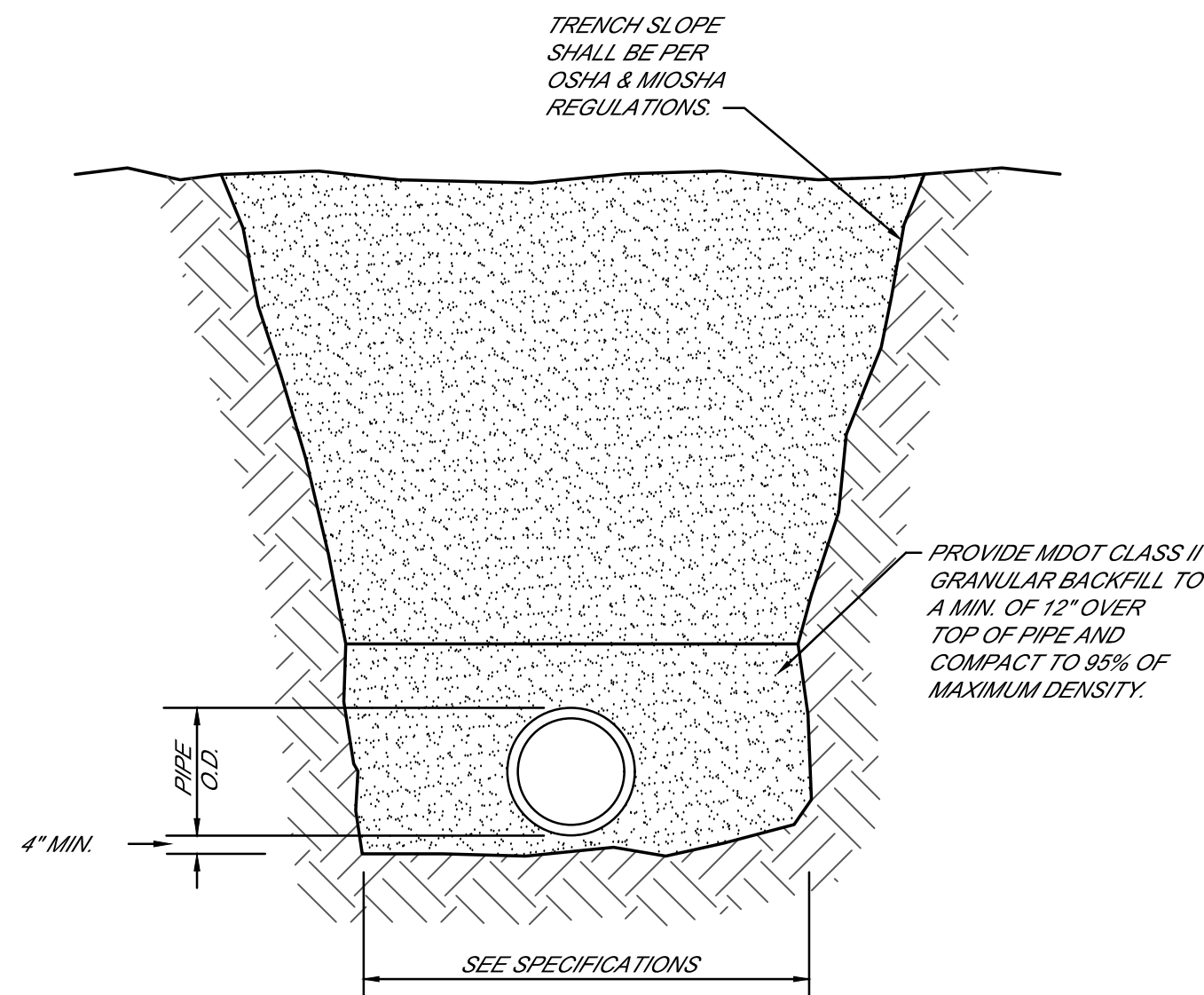
PROPOSED SYMBOLS

MANHOLE
CATCHBASIN
FIRE HYDRANT
WATER VALVE
BARRIER FREE PARKING
LIGHT POLES
DRAINAGE FLOW
SPOT ELEVATION LABELS
G = GUTTER
TW = WALK
TC = TOP OF CURB
FS = FINISH SURFACE

MTS					
SITE PLAN REVIEW SUBMITTAL				10/16/2025	
BY	MARK	REVISIONS			DATE
THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC APPLICATION AND SPECIFIC LOCATION DESCRIBED HEREON IN ACCORDANCE WITH THE CONDITIONS PREVALENT AT THE TIME THE DESIGN WAS DONE. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.					
RAJU SINGH 2021 MARQUETTE AVENUE MUSKEGON, MI 49442					
NOTES SHEET					
					
				MANISTEE OFFICE 302 River Street Manistee, MI 49660 Tel. 231-794-5620 www.SpicerGroup.com	
DE. BY: MTS DR. BY: MTS		CH. BY: BMB APP. BY: LMR		PROJECT NO. 138798SG2025	
STDS.		-		SHEET 02 OF 08	
DATE		OCTOBER, 2025		FILE NO.	
SCALE		N/A		D-6470-02	
				C 02	

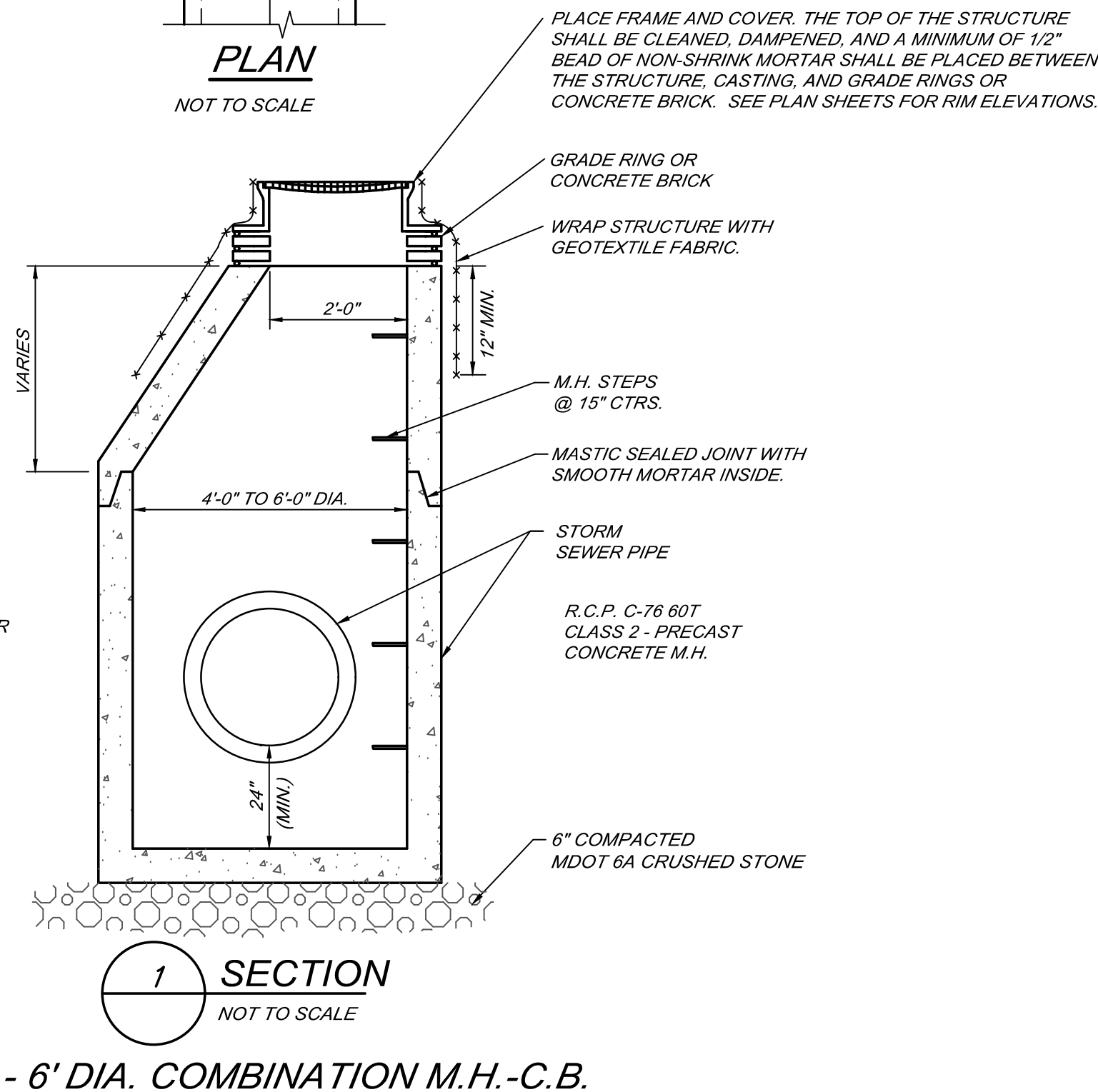
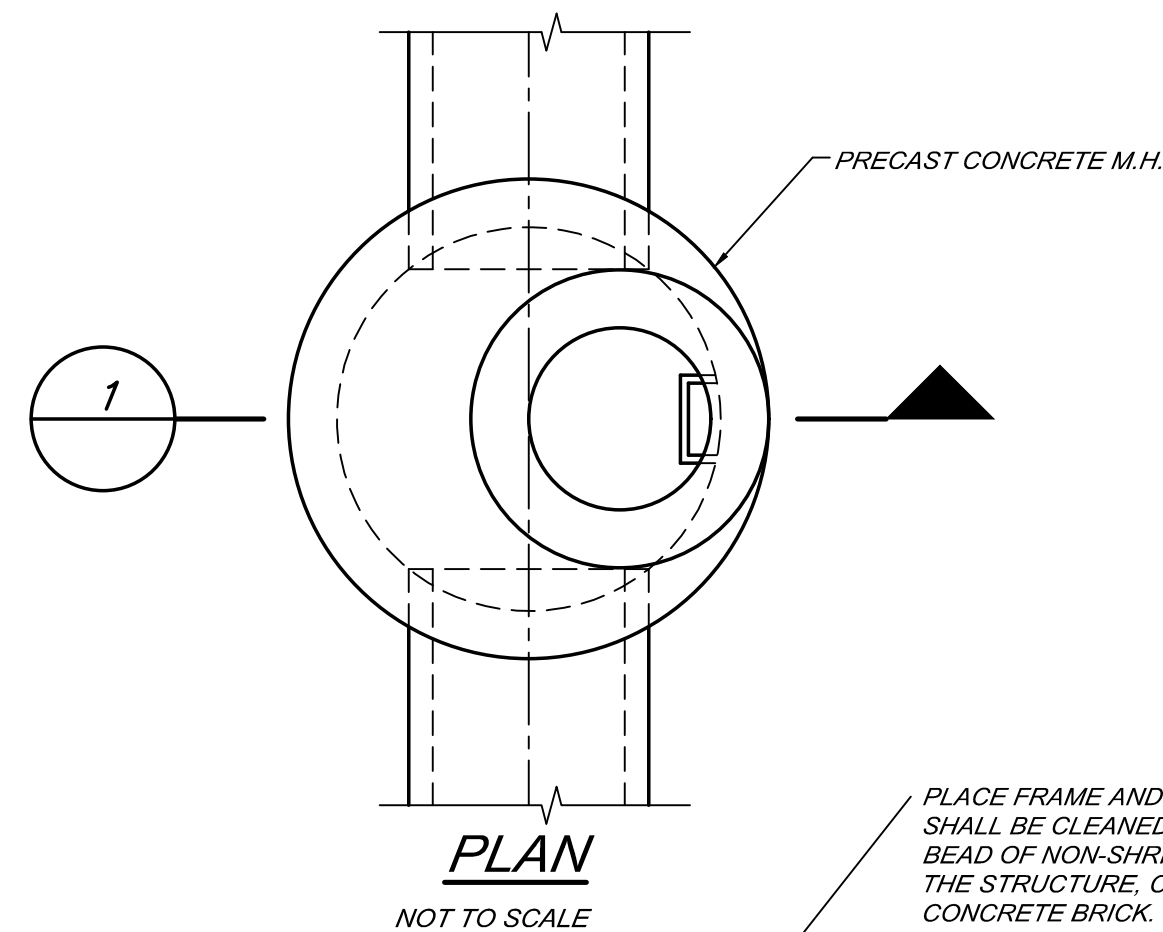


HEAVY DUTY ASPHALT PAVEMENT
NOT TO SCALE



STORM SEWER TRENCH DETAIL
NOT TO SCALE

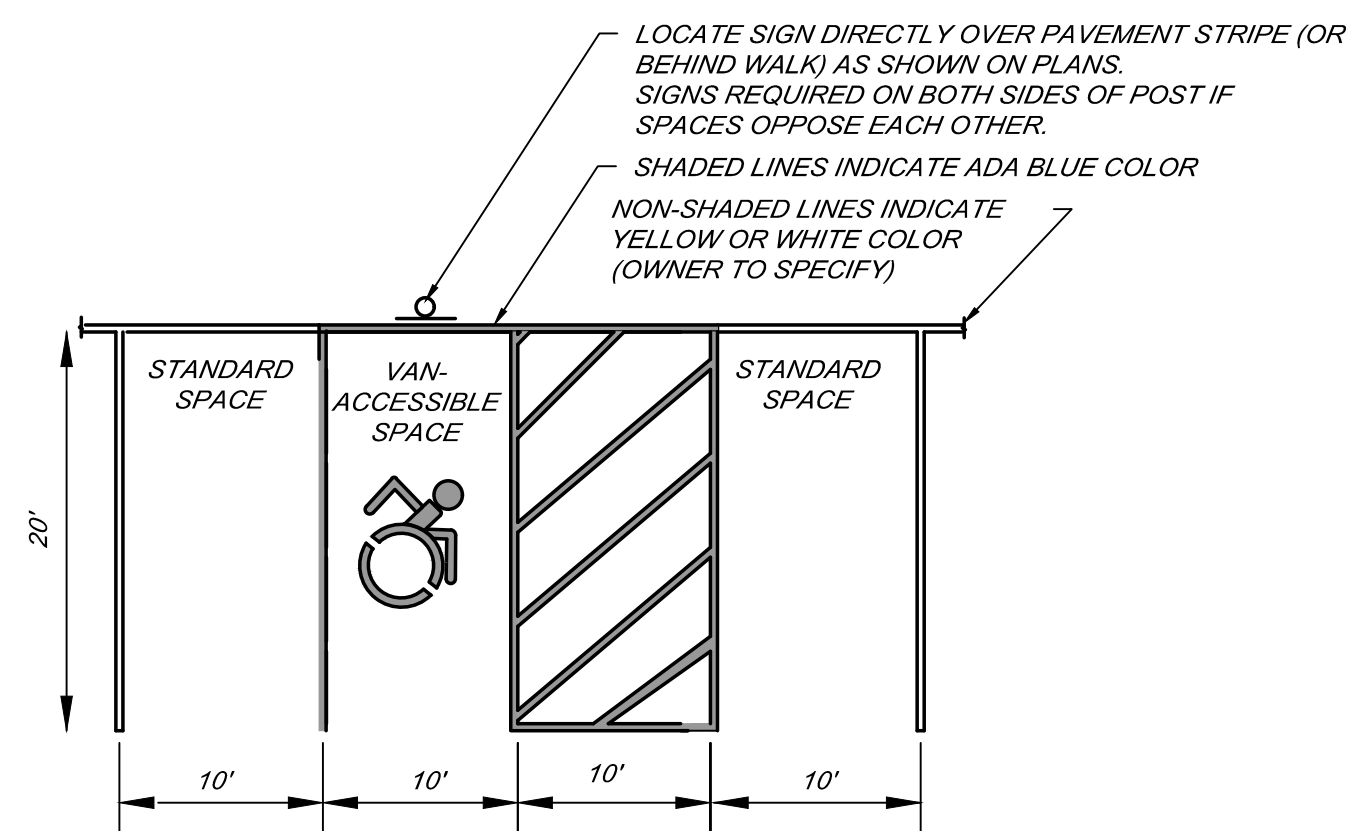
PIPE SIZE	TRENCH WIDTH	
	MINIMUM	MAXIMUM
6"	18"	24"
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	34"	40"
21"	38"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	56"	60"
LARGER THAN 36"	I.D. +20"	I.D. +24"



4' - 6' DIA. COMBINATION M.H.-C.B.



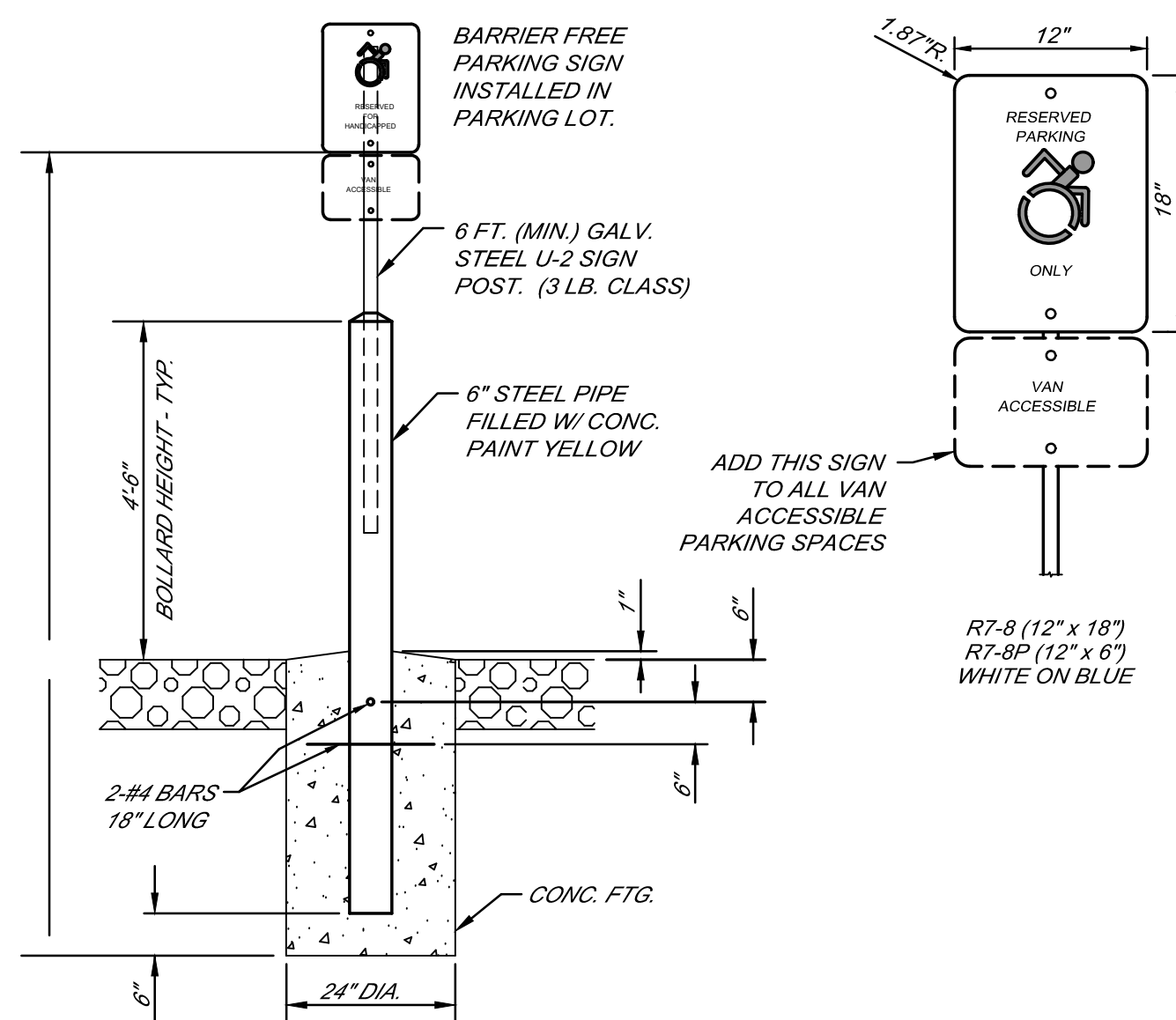
SAMPLE FREE STANDING GAS STATION SIGN DETAIL
NOT TO SCALE



VAN ACCESSIBLE SPACES SHALL BE ADJACENT TO 8' WIDE NO-PARKING AREAS AND SHALL INCLUDE AN ADDITIONAL SIGN READING "VAN ACCESSIBLE". SEE SIGN DETAILS.

Lines shall be 4" wide, waterborne-type painted stripes. Materials shall be as approved by MDOT.

PARKING SPACES DETAIL
NOT TO SCALE



SIGN POST DETAILS
NOT TO SCALE

SIDEWALK CONSTRUCTION NOTES:

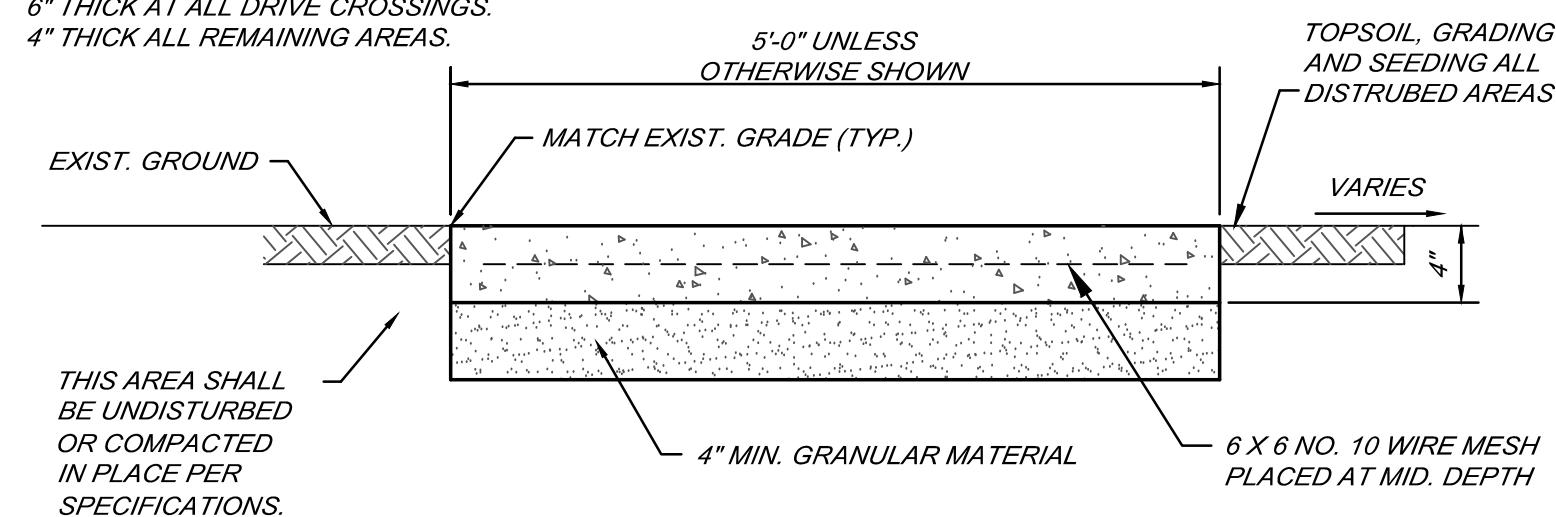
PROVIDE EXPANSION JOINTS:
- AROUND STRUCTURES LOCATED WITHIN THE SIDEWALK.

- AT SLAB ADJACENT TO DRIVEWAY CROSSING.

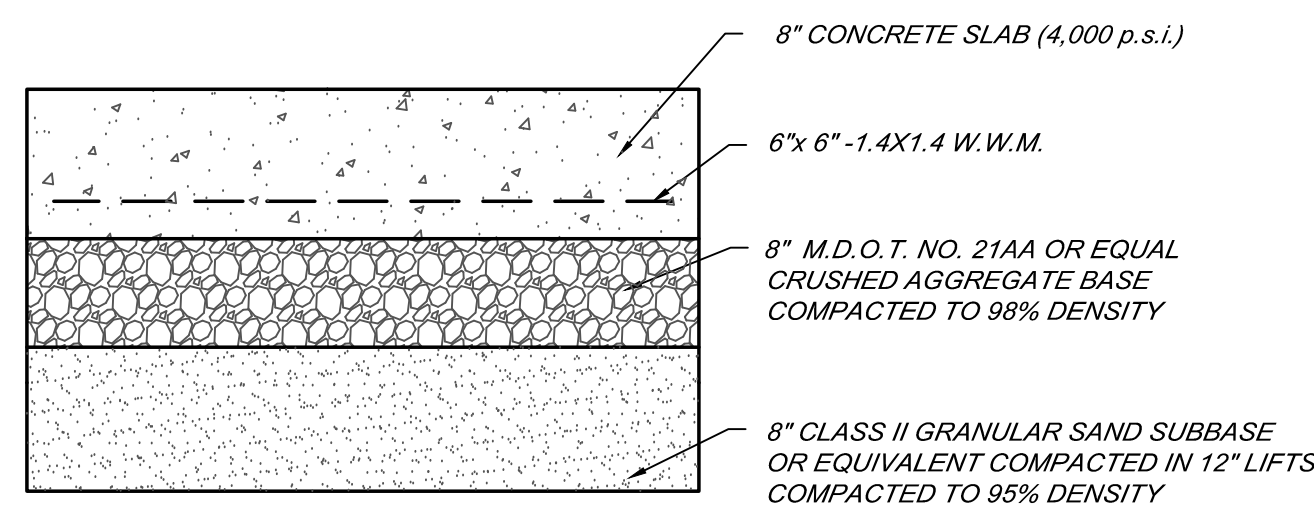
- AT SPACING AS SPECIFIED.

- AT SAWCUT JOINTS

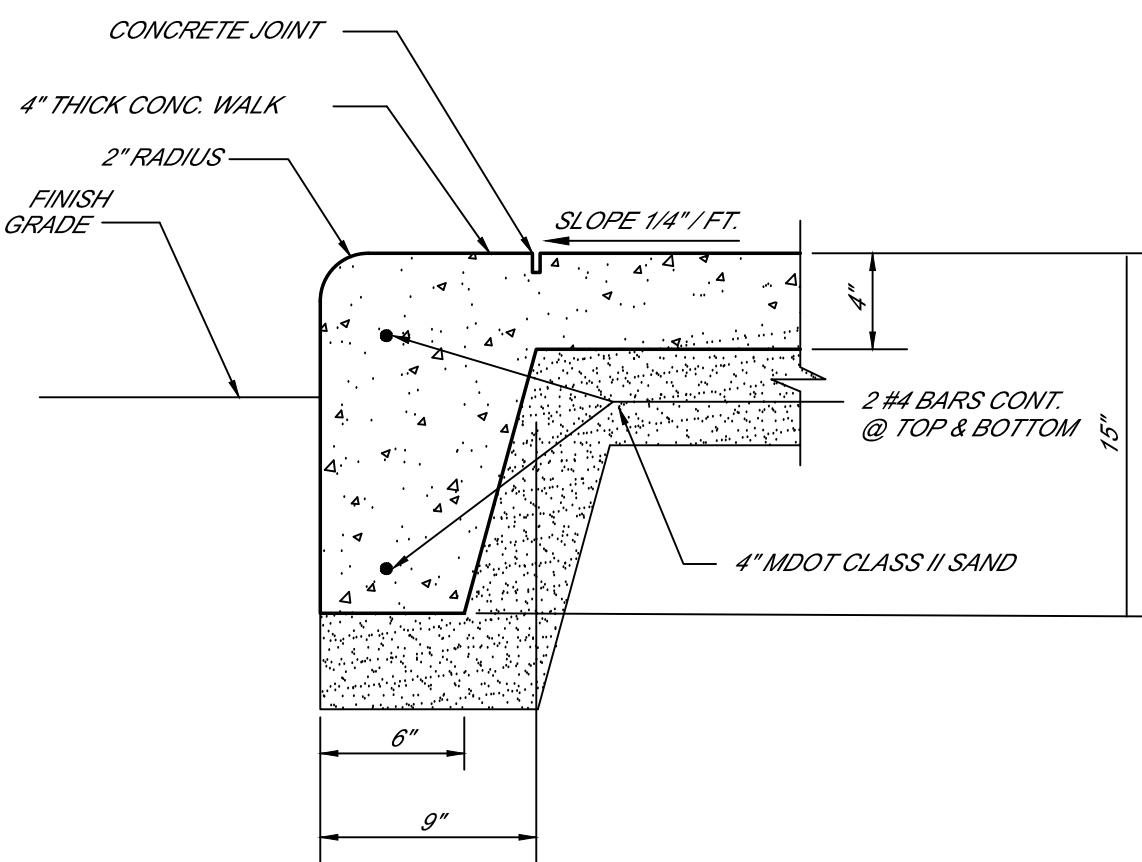
- THICKNESS OF CONCRETE SHALL BE: 6" THICK AT ALL DRIVE CROSSINGS, 4" THICK ALL REMAINING AREAS.



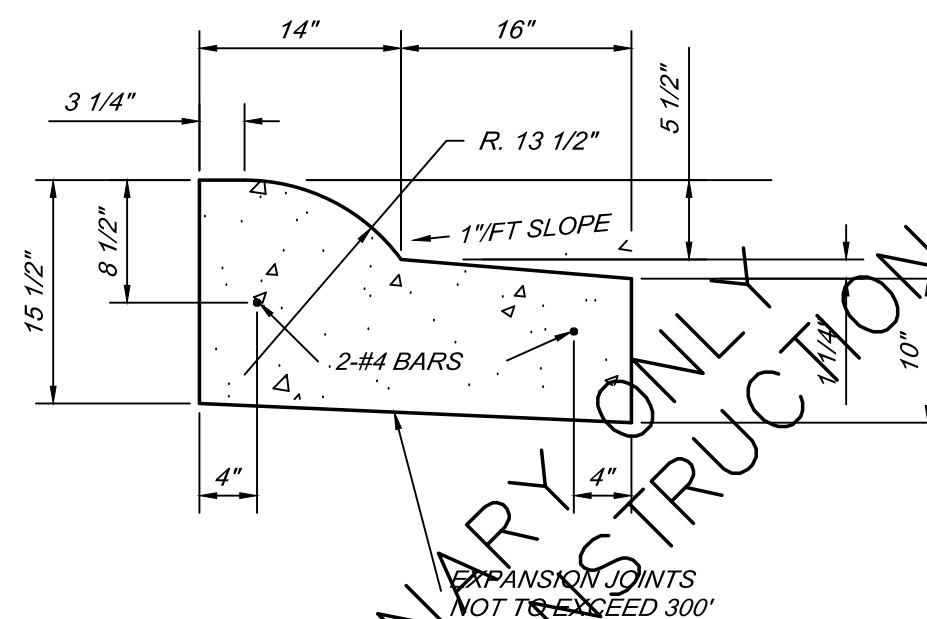
CONCRETE SIDEWALK
NOT TO SCALE



HEAVY DUTY CONCRETE PAVEMENT CROSS-SECTION
NOT TO SCALE



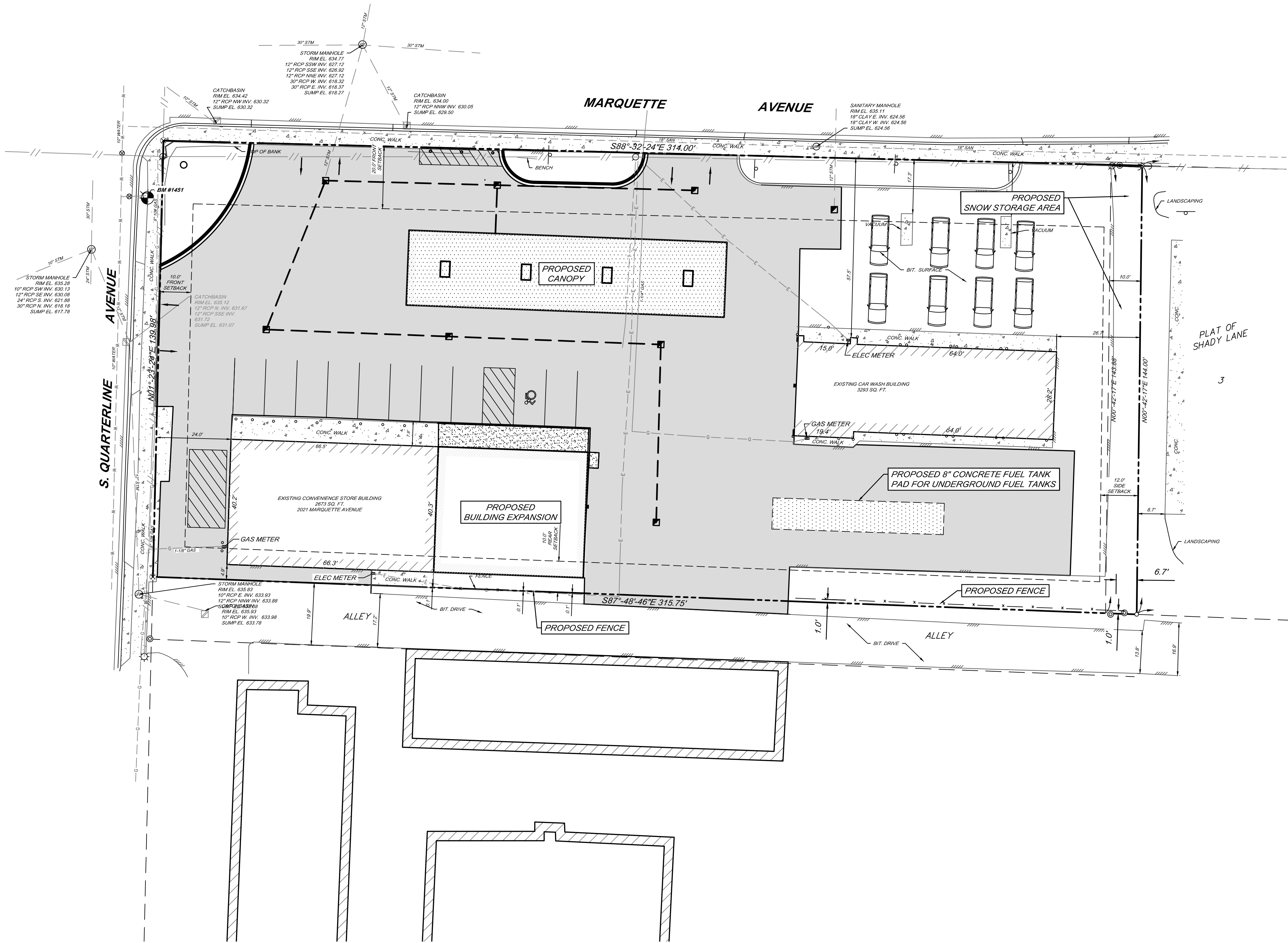
TYPICAL CONC. WALK WITH INTEGRAL CURB DETAIL
NOT TO SCALE



CONCRETE CURB AND GUTTER DETAIL ROLLED REVERSE PAN
NOT TO SCALE

MTS	SITE PLAN REVIEW SUBMITTAL	10/16/2025
BY MARK	REVISIONS	DATE
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RAJU SINGH 2021 MARQUETTE AVENUE MUSKEGON, MI 49442		
SITE DETAILS		
DE BY: MTS	CH BY: BMB	PROJECT NO. 138798SG2025
DR BY: MTS	APP BY: LMR	
STDS. -	SHEET 03 OF 08	C
DATE OCTOBER, 2025	FILE NO. D-6470-03	03
SCALE N/A		

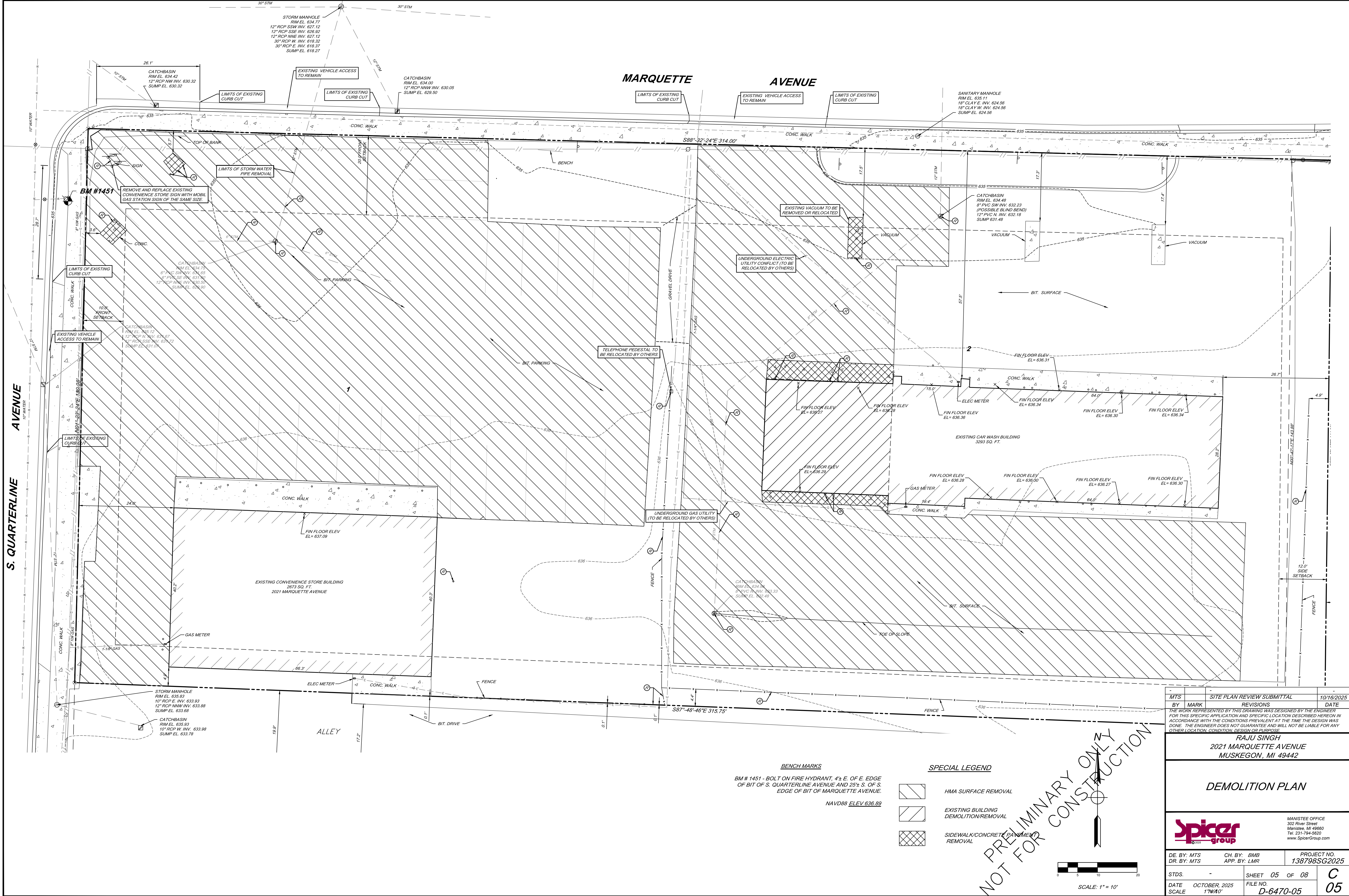
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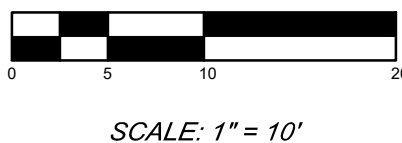


MTS	SITE PLAN REVIEW SUBMITTAL		10/16/2025
BY	MARK	REVISIONS	DATE
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RAJU SINGH 2021 MARQUETTE AVENUE MUSKEGON, MI 49442			
OVERALL PLAN			
		MANISTEE OFFICE 302 River Street Manistee, MI 49660 Tel. 231-794-5620 www.SpicerGroup.com	
DE. BY: MTS	CH. BY: BMB	PROJECT NO.	
DR. BY: MTS	APP. BY: LMR	138798SG2025	
STDs.	-	SHEET 04 OF 08	C
DATE	OCTOBER, 2025	FILE NO.	D-6470-04
SCALE	1" = 20'		04

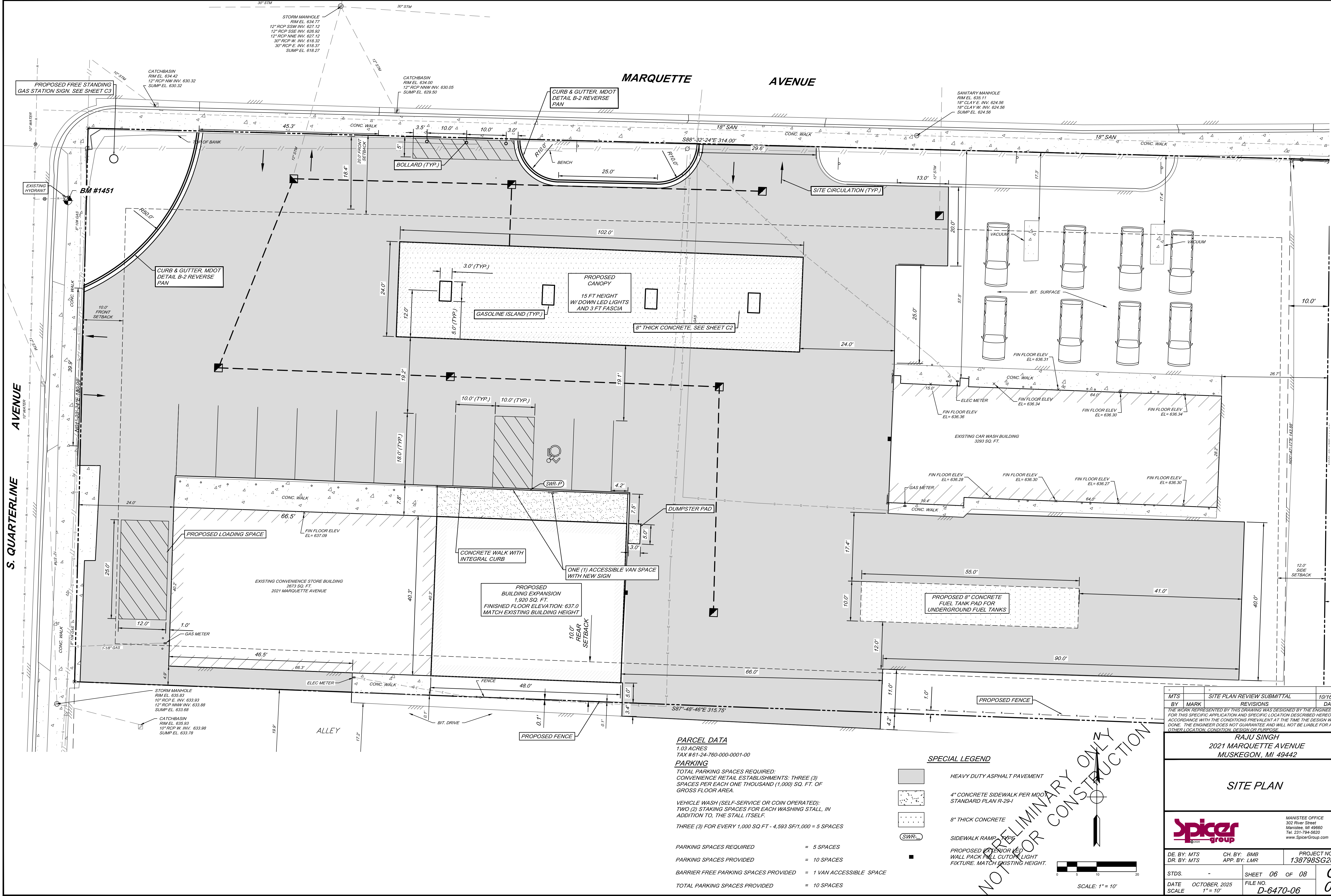


BENCH MARKS
BM # 1451 - BOLT ON FIRE HYDRANT, 4 1/4" E. OF E. EDGE OF BIT OF S. QUARTERLINE AVENUE AND 25 1/2" S. OF S. EDGE OF BIT OF MARQUETTE AVENUE.
NAVD88 ELEV 636.89

- SPECIAL LEGEND**
- HMA SURFACE REMOVAL
 - EXISTING BUILDING DEMOLITION/REMOVAL
 - SIDEWALK/CONCRETE PAVEMENT REMOVAL



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BY MARK	REVISIONS	DATE
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RAJU SINGH 2021 MARQUETTE AVENUE MUSKEGON, MI 49442		
DEMOLITION PLAN		
		
MANISTEE OFFICE 302 River Street Manistee, MI 49660 Tel. 231-794-5620 www.SpicerGroup.com		
DE. BY: MTS	CH. BY: BMB	PROJECT NO. 138798SG2025
DR. BY: MTS	APP. BY: LMR	
STDs.		SHEET 05 OF 08
DATE	OCTOBER, 2025	FILE NO. D-6470-05
SCALE	1"=40'	C 05



PARCEL DATA

1.03 ACRES
TAX #61-24-760-000-0001-00

PARKING

TOTAL PARKING SPACES REQUIRED:
CONVENIENCE RETAIL ESTABLISHMENTS: THREE (3)
SPACES PER EACH ONE THOUSAND (1,000) SQ. FT. OF
GROSS FLOOR AREA.

VEHICLE WASH (SELF-SERVICE OR COIN OPERATED):
TWO (2) STAKING SPACES FOR EACH WASHING STALL, IN
ADDITION TO, THE STALL ITSELF.

THREE (3) FOR EVERY 1,000 SQ. FT. - 4,593 SF/1,000 = 5 SPACES

PARKING SPACES REQUIRED = 5 SPACES

PARKING SPACES PROVIDED = 10 SPACES

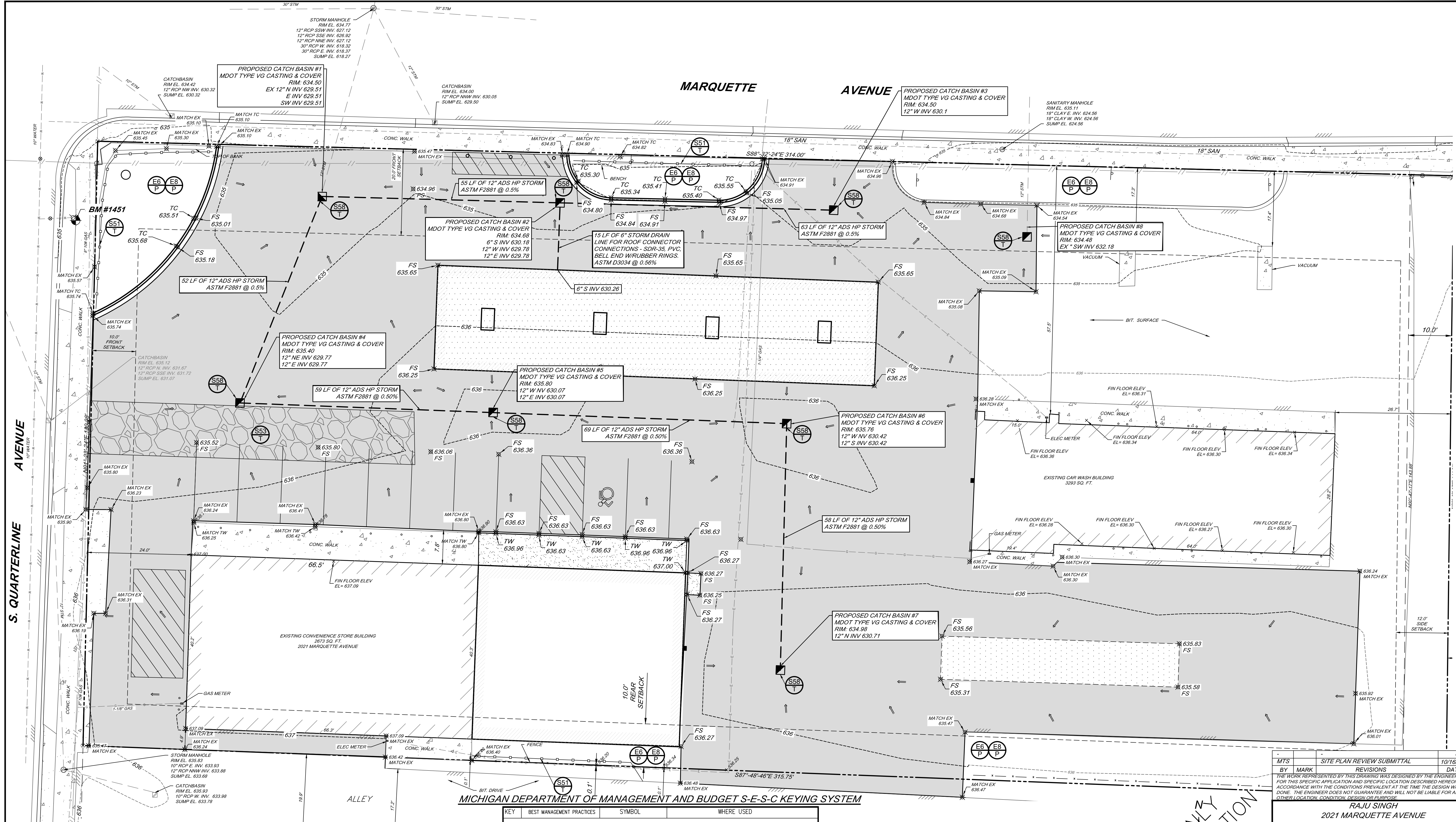
BARRIER FREE PARKING SPACES PROVIDED = 1 VAN ACCESSIBLE SPACE

TOTAL PARKING SPACES PROVIDED = 10 SPACES

SPECIAL LEGEND

- HEAVY DUTY ASPHALT PAVEMENT
- 4" CONCRETE SIDEWALK PER MDT
STANDARD PLAN R-29-1
- 8" THICK CONCRETE
- SIDEWALK RAMP, 1:12
- PROPOSED EXTERIOR LED
WALL PACK FULL CUTOFF LIGHT
FIXTURE, MATCH EXISTING HEIGHT.

MTS	SITE PLAN REVIEW SUBMITTAL	10/16/2025
BY: MARK	REVISIONS	DATE
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SITE PLAN		
DE. BY: MTS	CH. BY: BMB	PROJECT NO.
DR. BY: MTS	APP. BY: LMR	138798SG2025
STDs.	-	SHEET 06 OF 08
DATE	OCTOBER, 2025	FILE NO. D-6470-06
SCALE	1" = 10'	C 06



MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
EROSION CONTROLS			
E6	MULCH		For use in areas subject to erosive surface flows or severe wind or on newly seeded areas.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
SEDIMENT CONTROLS			
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

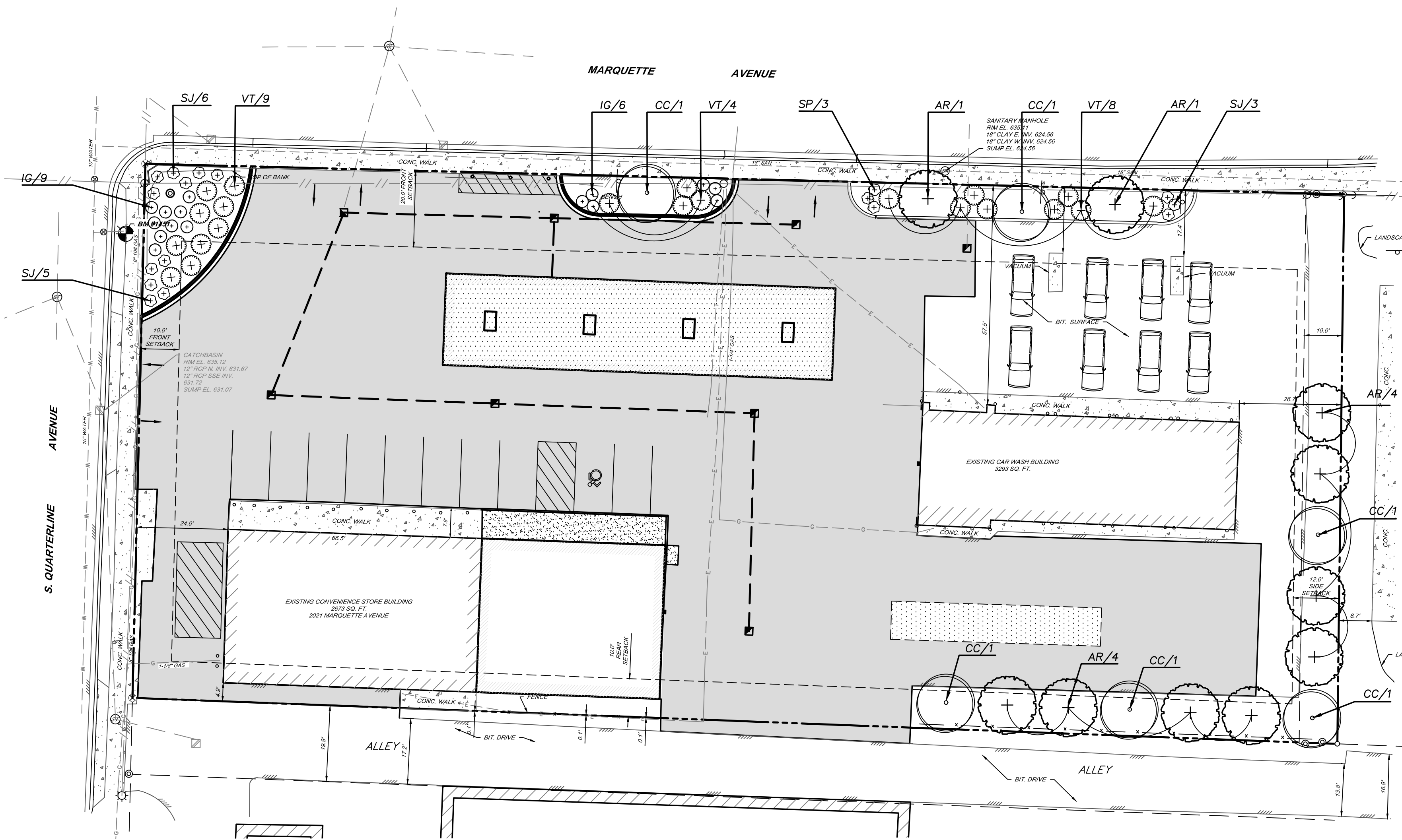
SYMBOLGY FOR INSERTION INTO CONSTRUCTION DRAWINGS:

- = PERMANENT MEASURE
- = TEMPORARY MEASURE

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RAJU SINGH 2021 MARQUETTE AVENUE MUSKEGON, MI 49442		
GRADING PLAN		
MANISTEE OFFICE 302 River Street Manistee, MI 49660 Tel. 231-794-5620 www.SpicerGroup.com		
DE BY: MTS	CH BY: BMB	PROJECT NO. 138798SG2025
DR BY: MTS	APP BY: LMR	
STDS.		SHEET 07 OF 08
DATE	OCTOBER, 2025	FILE NO. D-6470-07
SCALE	1" = 10'	C 07



PLANT_SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	SPACING
CANOPY TREES						
	CC	6	Carpinus caroliniana / American Hornbeam	B&B	2" Cal.	16' o.c.
	AR	10	Acer rubrum 'Bowhall' / Red Maple	B&B	2" Cal.	16' o.c.
UNDERSTORY TREES						
	VT	21	Viburnum trilobum / American Cranberrybush	B&B	36" Ht	5' o.c.
SHRUBS						
	IG	15	Ilex glabra 'Compacta' / Compact Inkberry	Cont.	24" Ht	30" o.c.
	SJ	17	Spiraea japonica 'Anthony Waterer' / Spirea	Cont.	18"-24" Ht	30" o.c.

LANDSCAPING CALCULATIONS

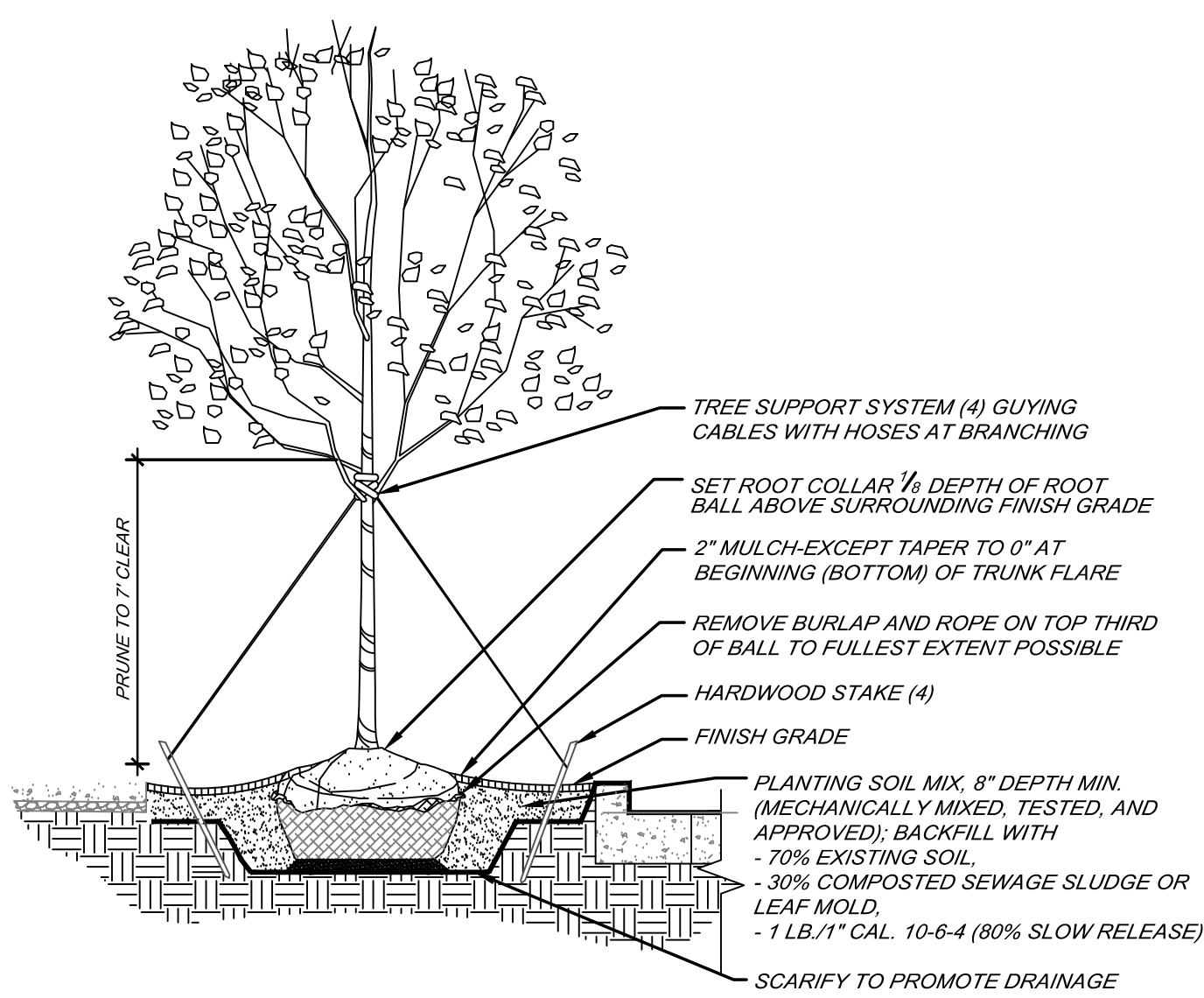
LANDSCAPING REQUIREMENTS:
- (1) CANOPY OR SHADE TREE, (2) UNDERSTORY OR EVERGREEN TREES AND (2) SHRUBS, FOR EACH THIRTY (30) LINEAL FEET (OR MAJOR PORTION THEREOF) OF FRONTAGE ABUTTING THE RIGHT-OF-WAY.

- 314 FT FRONTAGE + 139 FT FRONTAGE = 453 FT
FRONTAGE / 30 LINEAL FT = 16 CANOPY OR SHADE TREES AND 32 UNDERSTORY OR EVERGREEN TREES AND SHRUBS

LANDSCAPING PROVIDED:
PROPOSED - 16 CANOPY TREES
PROPOSED - 21 UNDERSTORY TREES
PROPOSED - 32 SHRUBS

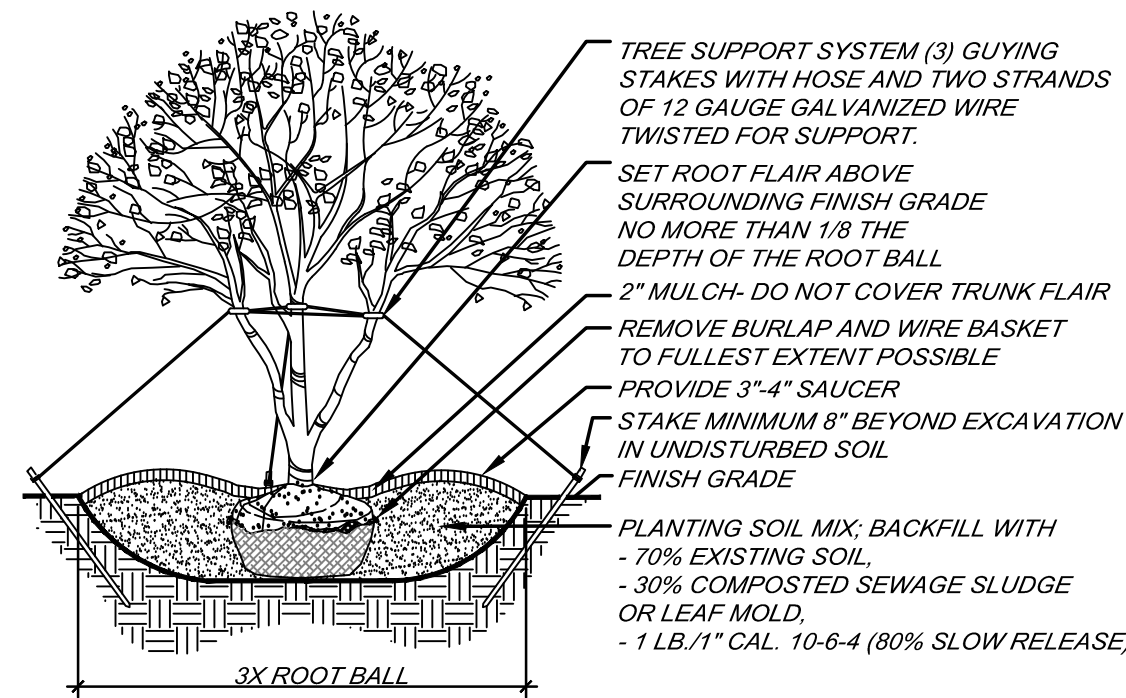
PLANTING NOTES

- DECIDUOUS CANOPY TREES SHALL BE A MINIMUM OF TWELVE (12) FEET IN HEIGHT AND A MINIMUM CALIPER OF TWO INCHES AT FOUR AND ONE-HALF FEET ABOVE THE GROUND. UNDERSTORY TREES SHALL BE A MINIMUM OF SIX FEET HIGH AT PLANTING.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL SITE UTILITIES.
- CONTRACTOR SHALL OBTAIN PROJECT MANAGER'S APPROVAL OF ALL STAKED OUT LAYOUT BEFORE PROCEEDING WITH CONSTRUCTION.
- NO PLANT MATERIAL SHALL BE PUT INTO THE GROUND BEFORE FINISHED GRADE AND BED PREP HAVE BEEN APPROVED BY THE PROJECT MANAGER.
- THE CONTRACTOR SHALL PROCEED WITH LANDSCAPE INSTALLATION IN ACCORDANCE WITH ALL THE REQUIREMENTS SHOWN ON THIS SHEET.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER. THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST IF DISCREPANCIES OCCUR.
- CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND UP TO THE TIME OF ACCEPTANCE FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, STAKING, CLEANING UP AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH, SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT THE TIME OF ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR BEYOND THE DATE OF FINAL ACCEPTANCE.



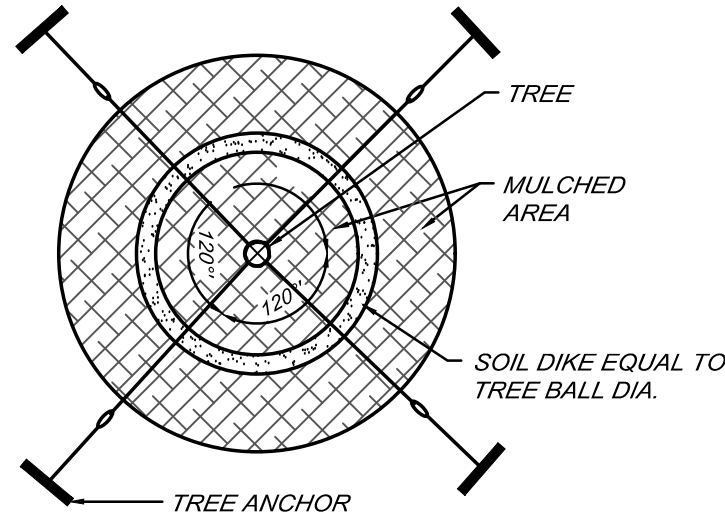
LARGE TREE PLANTING

NTS



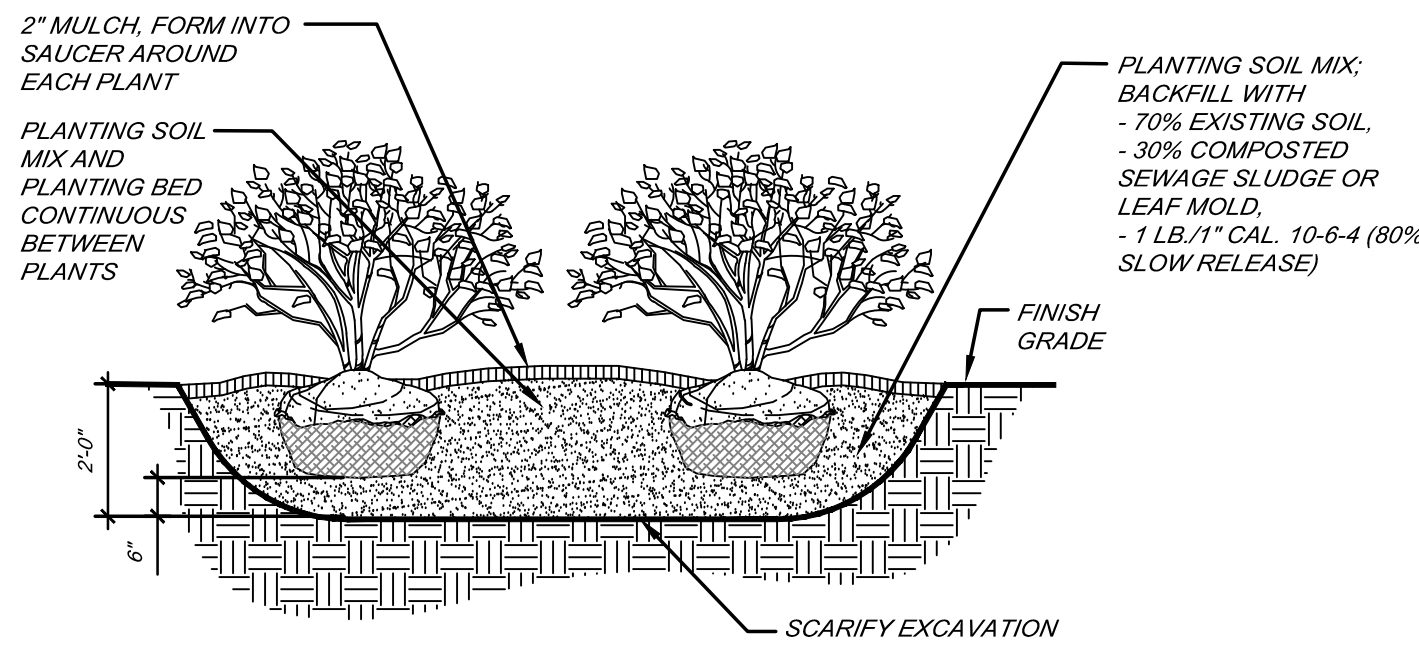
MULTISTEM TREE PLANTING

NTS



TREE PLANTING PLAN VIEW, TYP.

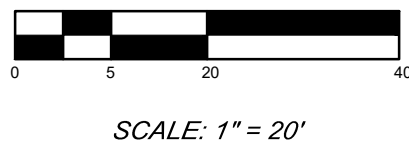
NTS



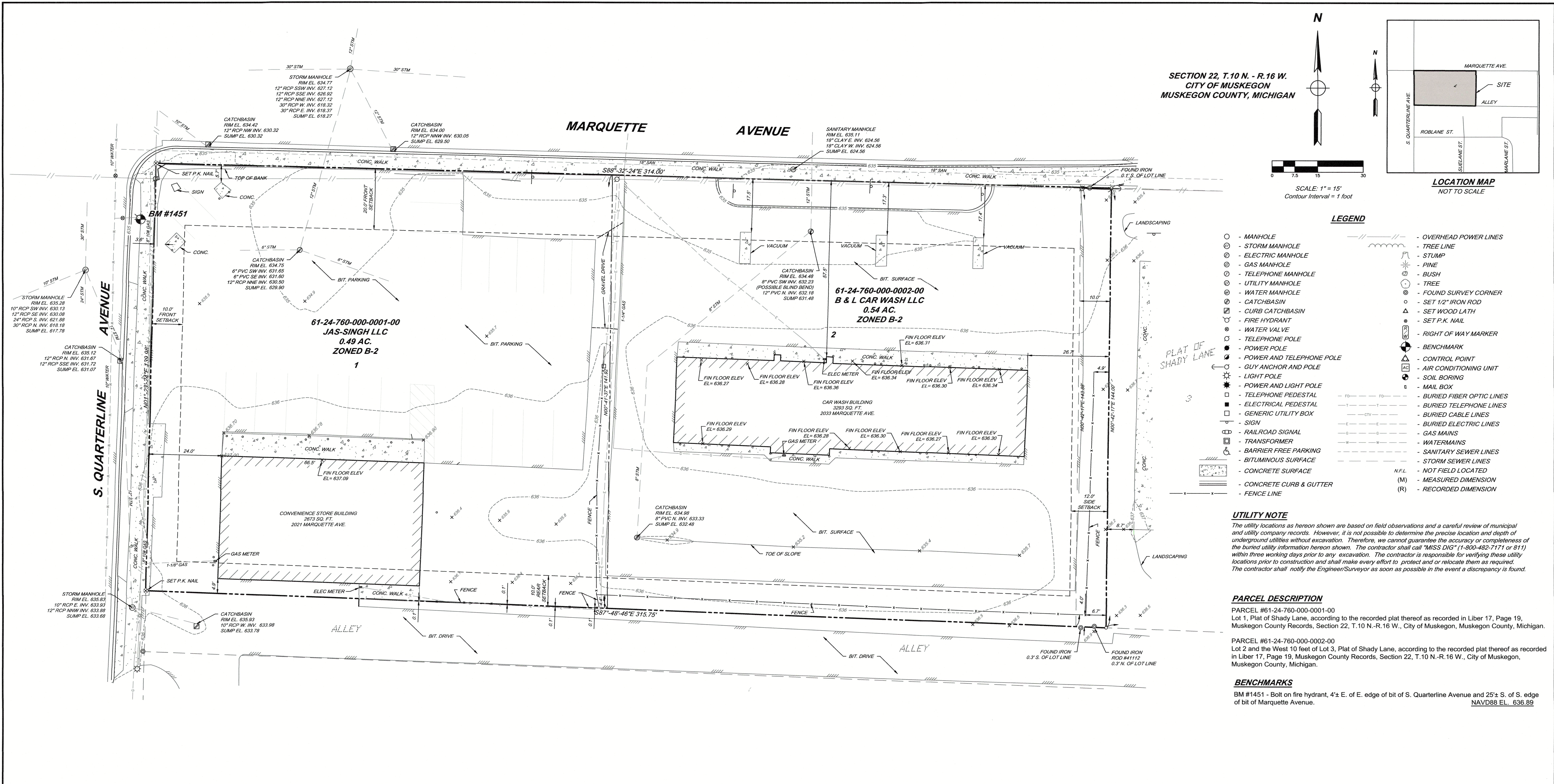
SHRUB PLANTING

NTS

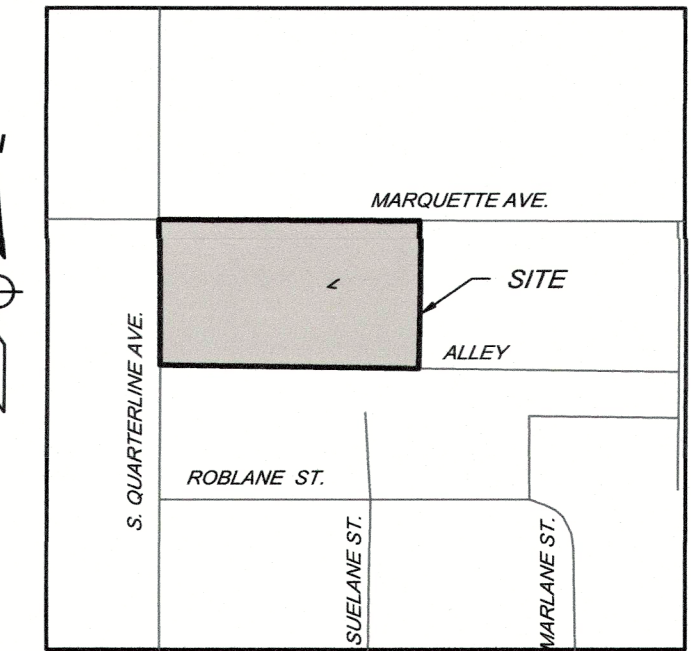
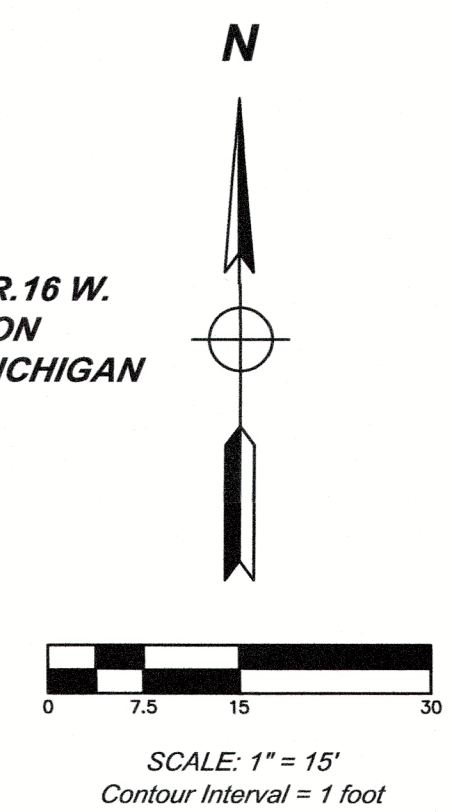
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BY	MARK	REVISIONS
DATE		
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RAJU SINGH 2021 MARQUETTE AVENUE MUSKEGON, MI 49442		
LANDSCAPING PLAN		
MANISTEE OFFICE 302 River Street Manistee, MI 49660 Tel. 231-794-5620 www.SpicerGroup.com		
DE. BY: CAT	CH. BY: CAT	PROJECT NO.
DR. BY: MMC	APP. BY: CAT	138798SG2025
STDS.	-	SHEET 08 OF 08
DATE	OCTOBER, 2025	FILE NO.
SCALE	1" = 20"	D-6470-08
		C L1



SECTION 22, T.10 N. - R.16 W.
CITY OF MUSKEGON
MUSKEGON COUNTY, MICHIGAN



LEGEND

- - MANHOLE
- ⊙ - STORM MANHOLE
- ⊕ - ELECTRIC MANHOLE
- ⊗ - GAS MANHOLE
- ⊙ - TELEPHONE MANHOLE
- ⊙ - UTILITY MANHOLE
- ⊙ - WATER MANHOLE
- ⊙ - CURB CATCHBASIN
- ⊙ - FIRE HYDRANT
- ⊙ - WATER VALVE
- ⊙ - TELEPHONE POLE
- ⊙ - POWER POLE
- ⊙ - POWER AND TELEPHONE POLE
- ⊙ - GUY ANCHOR AND POLE
- ⊙ - LIGHT POLE
- ⊙ - POWER AND LIGHT POLE
- ⊙ - TELEPHONE PEDESTAL
- ⊙ - ELECTRICAL PEDESTAL
- ⊙ - GENERIC UTILITY BOX
- ⊙ - SIGN
- ⊙ - RAILROAD SIGNAL
- ⊙ - TRANSFORMER
- ⊙ - BARRIER FREE PARKING
- ⊙ - BITUMINOUS SURFACE
- ⊙ - CONCRETE SURFACE
- ⊙ - CONCRETE CURB & GUTTER
- ⊙ - FENCE LINE
- — — — — OVERHEAD POWER LINES
- — — — — TREE LINE
- — — — — STUMP
- — — — — PINE
- — — — — BUSH
- — — — — TREE
- — — — — FOUND SURVEY CORNER
- — — — — SET 1/2" IRON ROD
- — — — — SET WOOD LATH
- — — — — SET P.K. NAIL
- — — — — RIGHT OF WAY MARKER
- — — — — BENCHMARK
- — — — — CONTROL POINT
- — — — — AIR CONDITIONING UNIT
- — — — — SOIL BORING
- — — — — MAIL BOX
- — — — — BURIED FIBER OPTIC LINES
- — — — — BURIED TELEPHONE LINES
- — — — — BURIED CABLE LINES
- — — — — BURIED ELECTRIC LINES
- — — — — GAS MAINS
- — — — — WATERMAINS
- — — — — SANITARY SEWER LINES
- — — — — STORM SEWER LINES
- — — — — NOT FIELD LOCATED
- — — — — MEASURED DIMENSION
- — — — — RECORDED DIMENSION

UTILITY NOTE

The utility locations as hereon shown are based on field observations and a careful review of municipal and utility company records. However, it is not possible to determine the precise location and depth of underground utilities without excavation. Therefore, we cannot guarantee the accuracy or completeness of the buried utility information hereon shown. The contractor shall call "MISS DIG" (1-800-482-7171 or 811) within three working days prior to any excavation. The contractor is responsible for verifying these utility locations prior to construction and shall make every effort to protect and/or relocate them as required. The contractor shall notify the Engineer/Surveyor as soon as possible in the event a discrepancy is found.

PARCEL DESCRIPTION

PARCEL #61-24-760-000-0001-00
Lot 1, Plat of Shady Lane, according to the recorded plat thereof as recorded in Liber 17, Page 19, Muskegon County Records, Section 22, T.10 N.-R.16 W., City of Muskegon, Muskegon County, Michigan.

PARCEL #61-24-760-000-0002-00
Lot 2 and the West 10 feet of Lot 3, Plat of Shady Lane, according to the recorded plat thereof as recorded in Liber 17, Page 19, Muskegon County Records, Section 22, T.10 N.-R.16 W., City of Muskegon, Muskegon County, Michigan.

BENCHMARKS

BM #1451 - Bolt on fire hydrant, 4± E. of E. edge of bit of S. Quarterline Avenue and 25± S. of S. edge of bit of Marquette Avenue.
NAVD88 EL. 636.89

PARKING SPACES

REGULAR SPACES: 18
HANDICAPPED SPACES: 1
TOTAL SPACES: 19

ZONING

The subject property is zoned B-2 "Convenience and Comparison Districts".

BUILDING SETBACKS:	
Minimum Lot Area	10,890 sq. ft.
Minimum Lot Width	100 ft.
Front Yard Setback	Express or Arterial Street: 30 ft. Collector or Major Street: 20 ft. Minor Street: 10 ft.
Side Yard Setback	1-story: 8 ft. and 12 ft. 2-story: 10 ft. and 14 ft.
Rear Yard Setback	10 ft.
Maximum Building Height or	35 ft. 2 Stories

For more Zoning Information see City of Muskegon Zoning Ordinances.

FLOODPLAIN INFORMATION

According to the Federal Emergency Management Agency (FEMA) maps, Community Panel #26121C0277D, effective date of July 6, 2015 the subject property lies within Zone X, which are areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 ft. or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.



I hereby certify that I have surveyed the parcel of land hereon shown and described within the limits accepted by the practice of Professional Surveying.
Patrick G. Bentley
Patrick G. Bentley
Professional Surveyor No. 0001047944
Date: 5-6-25

BY	MARK	REVISIONS	DATE
THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC APPLICATION AND SPECIFIC LOCATION DESCRIBED HEREON IN ACCORDANCE WITH THE CONDITIONS PREVALENT AT THE TIME THE DESIGN WAS DONE. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.			
RAJU SINGH 2021 MARUETTE AVE. MUSKEGON, MI 49442			
BOUNDARY & TOPOGRAPHIC SURVEY OF 2021 & 2033 MARQUETTE AVENUE			
MANISTEE OFFICE 302 River Street Manistee, MI 49660 Tel. 231-794-5620 www.SpicerGroup.com		PROJECT NO. 1384735G2025	
DE. BY: DR. BY: MLW	CH. BY: PGB	APP. BY:	
STDS.	SHEET 1 OF 1	FILE NO.	
DATE SCALE: 04-25-25 1" = 15'	D-6402		





AVE

ROBLANE AVENUE



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: November 13, 2025	Title: Case 2025-41: Staff-initiated request to amend Section 2307 of the zoning ordinance to modify the permitted yard encroachment criteria.							
Submitted by: Mike Franzak, Planning Director	Department: Planning							
Brief Summary: Staff-initiated request to amend Section 2307 of the zoning ordinance to modify the permitted yard encroachment criteria.								
Detailed Summary & Background: This amendment is to clarify some information found in Section 2307 (permitted yard encroachments) of the zoning ordinance. The amendment will clean up some language regarding porches that encroach on the front setback requirement and will also allow steps on a porch to encroach a little further than currently allowed. This amendment will also eliminate #4 in the section that describes regulations for subdivisions that were 90% developed prior to 1940. Zoning reform has replaced the need for these requirements. Please see the redline version of the amendments in the attachments.								
Goal/Focus Area/Action Item Addressed: <u>Key Focus Areas:</u> <u>Goal/Action Item:</u> 2027 Goal 2: Economic Development Housing and Business								
Amount Requested: N/A	Budgeted Item: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;">☐</td> <td style="width: 15%;">No</td> <td style="width: 15%;">☐</td> <td style="width: 15%;">N/A</td> <td style="width: 15%;">☒</td> <td style="width: 15%;">☐</td> </tr> </table>	Yes	☐	No	☐	N/A	☒	☐
Yes	☐	No	☐	N/A	☒	☐		
Fund(s) or Account(s): N/A	Budget Amendment Needed: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 15%;">Yes</td> <td style="width: 15%;">☐</td> <td style="width: 15%;">No</td> <td style="width: 15%;">☐</td> <td style="width: 15%;">N/A</td> <td style="width: 15%;">☒</td> <td style="width: 15%;">☐</td> </tr> </table>	Yes	☐	No	☐	N/A	☒	☐
Yes	☐	No	☐	N/A	☒	☐		
Recommended Motion: I move the request to amend Section 2307 of the zoning ordinance to modify the permitted yard encroachment criteria be recommended to the City Commission for approval.								
Approvals: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%; padding: 5px;"> Immediate Division Head </td> <td style="width: 5%; text-align: center; padding: 5px;"> ☒ </td> <td style="width: 35%;"></td> </tr> </table>	Immediate Division Head	☒		Guest(s) Invited / Presenting: No				
Immediate Division Head	☒							

Information Technology			
Other Division Heads			
Communication			
Legal Review			

SECTION 2305: REDUCTION OF PARCELS BELOW MINIMUM REQUIRED SIZE, WIDTH, OR DEPTH

No parcel, whether or not platted as a lot, shall be split or reduced in size, width, or depth by any conveyance, survey, leasing, occupancy, or other means which creates a parcel substandard in size, width, or depth according to the requirements of this zoning ordinance. The splitting of a lot or parcel to add to another shall not be allowed unless the remaining portion is of legal size, width, and depth for the zone where the split parcel is located, or it is simultaneously combined by conveyance with a contiguous parcel which will thereafter be of legal size, width, and depth. Further, if contiguous nonconforming lots or parcels whether or not of record, are under common ownership or control, they shall be combined to meet the provisions of this Ordinance prior to permitting future site development or the issuance of a building permit.

SECTION 2306: ALLOCATION OF LOT AREAS & CONFIGURATION OF LOTS

1. Setback and yard allocations: No portion of a lot can be used more than once in complying with the provisions for lot area and yard dimensions for construction or alteration of buildings.
2. Corner Lots: Corner lots shall have the minimum lot width and front setback as required by that zoning district for each property line which is adjacent to a public or private road.
 - a. A corner lot shall have the required front setback measured from both the principal and secondary front lot lines.
 - b. The remaining setbacks shall be a rear and a side setback. The rear setback shall be measured from the rear lot line.
 - c. The driveway of the principal building on a corner lot shall be located on the secondary front lot line.
 - d. The width of a corner lot shall be determined by the length of the principal front lot line.
3. Width to depth ratios: The depth of lot(s) or parcel(s) created in all zoning districts after the effective date of this Ordinance shall not be more than three (3) times longer their width.
4. Frontage required: All parcels shall have the required minimum lot width along and adjacent to a public road or approved private road.

SECTION 2307: PERMITTED YARD ENCROACHMENTS

Encroachments may be made upon required yards under the following conditions:

1. Architectural elements: Existing buildings or structures shall be permitted to encroach upon the minimum setback requirements of this Ordinance with architectural elements that are necessary to the integrity of the structure of the building, or health or safety of the occupants such as cornices, gutters, chimneys, pilasters, outside stairways, fire escapes, and similar features. Such features may project into a required setback area no more than five (5) feet.
2. Patios, porches and decks: Patios and uncovered decks no more than two feet above grade may be built to the rear or side property line where an established fence line exists. If no established fence line exists,

patios and uncovered decks no more than two feet above grade must be a minimum of three (3) feet from rear and side property lines. All decks or porches more than two feet above grade, must comply with the setback requirements of the principal structure.

3. Unenclosed structures, front yard: Unenclosed porches, ~~steps or similar facilities and stoops (not including steps)~~ may project into a required front setback ~~and beyond a required front build-to-zone~~ for a distance not to exceed ~~five (5) ten (10) feet, but shall be no closer than five (5) feet to the front property line. Steps may completely encroach into the front setback or front build-to-zone, but shall not extend beyond the front property line.~~ In the case of a handicap wheelchair ramp, the Zoning Administrator may waive setback requirements at ~~his/her~~ their discretion, if no other options are available to provide a ramp, provided that the applicant agrees to remove the ramp if it is no longer necessary on the property. ~~A performance letter or performance guarantee may be required.~~
4. ~~Additions: Additions to homes on minor streets (not collectors), built in subdivisions ninety percent (90%) developed with homes prior to 1940 may encroach upon existing yards so long as:~~
 - a. ~~A minimum 10 foot front setback is maintained~~
 - b. ~~A minimum 15 foot rear setback is maintained~~
 - c. ~~Lot coverage, with accessory structures does not exceed 50%~~
 - d. ~~The addition does not further encroach upon existing side yards~~

SECTION 2308: OUTDOOR SEATING

Outdoor seating for restaurants, cocktail lounges, and similar uses is permitted, provided:

1. The area devoted to outdoor seating must be ancillary to the main use of an indoor restaurant, cocktail lounge, bakery, coffee shop, delicatessen, specialty food store, or similar establishment.
2. Where City bollards are located, they shall be treated as the curb as it pertains to this ordinance. These bollards may be moved by the City. When the City bollards are to be moved, the outdoor seating area may be moved, and it is the responsibility of the property owner to make sure the outdoor seating area is still in compliance with this ordinance.
3. Pedestrian circulation and access to the building entrance shall not be impaired (see Figure 2-10). A minimum of six (6) feet of sidewalk leading to the entrance to the establishment must be maintained free of tables, chairs, and other encumbrances. Pedestrians must have at least six (6) feet of clearance between the outdoor seating area and the building or at least six (6) feet of clearance between the outdoor seating area and the curb or City bollards. Pedestrians must always have at least four (4) feet of clearance around any fixed object. This distance is increased to six (6) feet if the pedestrian is directed towards the curb/City bollard or any other area with a drop off such as a planting bed.
4. The seating area shall be limited to the same property directly adjacent to the permitted use to which the seating area is accessory and shall not extend into adjoining sites.



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: November 13, 2025	Title: Case 2025-42: Staff-initiated request to amend Section 2319 of the zoning ordinance to modify the residential design criteria.							
Submitted by: Mike Franzak, Planning Director	Department: Planning							
Brief Summary: Staff-initiated request to amend Section 2319 of the zoning ordinance to modify the residential design criteria.								
Detailed Summary & Background: These minor amendments are to address some incorrect information in the zoning ordinance that was created when zoning reform was approved. These changes would also require a house to have a door at the front of the house, which is not required as of now. The numbering of the design requirements has also been updated. Please see the redline version of the ordinance excerpt that is attached.								
Goal/Focus Area/Action Item Addressed: <u>Key Focus Areas:</u> <u>Goal/Action Item:</u> 2027 Goal 2: Economic Development Housing and Business								
Amount Requested: N/A	Budgeted Item: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 12.5%;">Yes</td> <td style="width: 12.5%;"></td> <td style="width: 12.5%;">No</td> <td style="width: 12.5%;"></td> <td style="width: 12.5%;">N/A</td> <td style="width: 12.5%;">X</td> <td style="width: 12.5%;"></td> </tr> </table>	Yes		No		N/A	X	
Yes		No		N/A	X			
Fund(s) or Account(s): N/A	Budget Amendment Needed: <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <tr> <td style="width: 12.5%;">Yes</td> <td style="width: 12.5%;"></td> <td style="width: 12.5%;">No</td> <td style="width: 12.5%;"></td> <td style="width: 12.5%;">N/A</td> <td style="width: 12.5%;">X</td> <td style="width: 12.5%;"></td> </tr> </table>	Yes		No		N/A	X	
Yes		No		N/A	X			
Recommended Motion: I move the request to amend Section 2319 of the zoning ordinance to modify the residential design criteria be recommended to the City Commission for approval.								
Approvals: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">Immediate Division Head</td> <td style="width: 10%; text-align: center;">X</td> <td style="width: 30%;"></td> </tr> <tr> <td>Information</td> <td></td> <td></td> </tr> </table>	Immediate Division Head	X		Information			Guest(s) Invited / Presenting: No	
Immediate Division Head	X							
Information								

Technology			
Other Division Heads			
Communication			
Legal Review			

9. The cottage court development must contain a common, shared open space that is at least twenty (20) feet but no more than sixty (60) feet in width and landscaped in grass, ground cover, perennials, and/or other natural, living, landscape material.
10. All housing units that do not front on a street must front and have their main entrance face the shared open space.
11. The lot must be serviced by an alley at the side or rear of the lot or, if an alley is not available, from a single drive approach on a side street. If both an alley and side street is not available, parking may be accessed from a single drive approach on a front street.
12. All units must meet the living area standards listed in Section 2319, and each unit shall not exceed a maximum building footprint of 30'x30'.
13. Building facades facing streets or the shared open space shall have 10% to 50% of the facade be windows between the adjacent grade and the cornice expression line or eave.
14. Accessory dwelling units are not permitted in cottage court developments.

SECTION 2319: RESIDENTIAL DESIGN CRITERIA

It is the intent and purpose of this section to establish design review standards and controls over housing development in the City of Muskegon. It is recognized that there are unique design aspects inherent in the community appearance that need to be preserved and enhanced. The adoption of these criteria will guide and ensure that all future growth fits with the unique vernacular of the City of Muskegon's urban setting. A positive community image: enhances economic development opportunity; safeguards property values; curbs blight and deterioration; and enhances public safety and welfare.

All single-family houses, duplexes, rowhouses and small multiplexes (3-6 units), other than a mobile home located in a licensed mobile home park approved under the provisions of Article V, MHP Mobile Home Park Districts, shall conform to the following regulations in addition to all other regulations of this Ordinance:

1. Each dwelling unit shall have a minimum living area of five hundred and fifty (550) square feet for a one (1) bedroom dwelling. For each bedroom, an additional 100 square feet shall be provided. This shall be measured from the outside wall of the unit as described on the site plan.
2. If a principal structure is less than 850 square feet and is to be located on a lot that is large enough to split under the zoning regulations, it must be placed in such a fashion as to allow enough room to split the lot and create an additional buildable lot. The lot does not actually have to be split at the time of construction and may be done at a later date at the property owner's discretion.

~~3. All buildings located in Neighborhood Residential districts must comply with Section 400.2 of the zoning ordinance. Multiple family dwellings are only allowed in single family residential districts if the home has already been altered with prior approval to allow for multiple dwellings.~~

- ~~4.~~ 4.3. Roof drainage in the form of a roof overhang of at least twelve inches (12") shall be provided to direct storm or meltwater way from the foundation, unless a gambrel roof or other design elements necessitate an alternative roof drainage system.

~~5-4.~~ The building shall have a minimum width across the front elevation view which is the lesser of:

- a. Twenty-four (24) feet on lots that are at least forty feet wide or
- b. The average width of the homes on the same street, one block in any direction.

~~6-5.~~ A structure with a front elevation view of over 40 linear feet shall have a design offset including but not limited to; bay windows, covered porches, or structural offsets from the principal plane of the building.

6. The main entrance to the principal structure is required to be located at the front and shall be directly accessed from and face the front street. In the case where a building contains multiple dwelling units, at least one individual entrance or shared entrance to the principal structure is required to be located at the front and shall be directly accessed from and face the front street.

7. In the case of an attached garage, garage doors may not comprise more than fifty percent (50%) of the width of the front elevation view.
8. In the event that a dwelling unit is a mobile home as defined herein, it shall be installed with the wheels removed. No dwelling unit shall have any exposed towing mechanism, undercarriage or chassis.
9. The subject building shall be aesthetically compatible in design and appearance with other buildings on the same street, one block in any direction. The review shall include but not necessarily be limited to: roof pitch, scale, size, mass, minimum transparency, orientation to the street, and overhangs. The foregoing shall not be construed to prohibit innovative design concepts involving such matters as (but not limited to) solar energy, view, or unique land contour.
10. The compatibility of design and appearance shall be determined in the first instance by the Zoning Administrator upon review of the plans submitted for a particular building. The Zoning Administrator's decision may be appealed, to the Zoning Board of Appeals within a period of fifteen (15) days from the receipt of notice to the official's decision.
11. Each building shall have established vegetative ground cover no less than 12 months after occupancy. Approval shall be given by zoning staff of the Planning Department as part of the initial residential site plan review. A minimum of one shade tree, two and one-half inches (2.5") in diameter, four feet (4') from the ground or one six foot (6') evergreen tree shall be provided. Existing landscaping may be accepted in lieu of this requirement.
12. Each building shall have a garage or a shed providing a minimum of sixty-four (64) square feet of storage.

All dwelling units within large multiplexes (6 units and above), mixed-use buildings, and accessory dwelling units shall conform to the following regulations in addition to all other regulations of this Ordinance:

~~4-13.~~ Each dwelling unit shall have a minimum size (excluding all basement area) of 375 square feet. For each bedroom, an additional 100 square feet shall be provided. This shall be measured from the outside wall of the unit as described on the site plan.

~~2. All buildings located in Neighborhood Residential districts must comply with Section 400.2 of the zoning ordinance. Multiple family dwellings are only allowed in single family residential districts if the home has already been altered with prior approval to allow for multiple dwellings. One family dwellings may not be altered to allow for multiple dwellings, nor may new homes be built for multiple dwellings.~~

~~3.14.~~ Roof drainage in the form of a roof overhang of at least twelve inches (12”) shall be provided to direct storm or meltwater away from the foundation, unless a gambrel roof or other design elements necessitate an alternative roof drainage system.

~~15. At least one individual or shared entrance to the principal structure is required to be located at the front and shall be directly accessed from and face the front street.~~

~~4.16.~~ In the case of an attached garage, garage doors may not comprise more than fifty percent (50%) of the width of the front elevation view.

~~5.17.~~ The subject building shall be aesthetically compatible in design and appearance with other buildings on the same street, one block in any direction. The review shall include but not necessarily be limited to: roof pitch, scale, size, mass, minimum transparency, orientation to the street, and overhangs. The foregoing shall not be construed to prohibit innovative design concepts involving such matters as (but not limited to) solar energy, view, or unique land contour.

~~6.18.~~ Each building shall have an established vegetative ground cover no less than 12 months after occupancy. A minimum of one shade tree, two and one-half inches (2.5”) in diameter, four feet (4’) from the ground or one six foot (6’) evergreen tree shall be provided. Existing landscaping may be accepted in lieu of this requirement.

~~7.19.~~ Each building shall have a garage or a shed providing a minimum of sixty-four (64) square feet of storage.

SECTION 2320: PRIVATE STREETS

1. Private streets shall require a development permit.
2. Regulation Michigan State Highway stops signs shall be positioned and installed in accordance with the Michigan State Manual of Uniform Traffic Control Devices on all private streets. Signs in the right of way shall be reviewed and installed by the City.
3. All private streets shall have names approved by the “911” emergency services coordinating agency.
4. All private streets shall provide an adequate right-of-way approved by the city in the event the street is eventually incorporated into the city street system.
5. Identification signs approved by the City shall be required for private streets and shall note they are private.
6. All private streets servicing or intended to serve two (2) or more lots, parcels or condominium units shall be under the control of an approved and recorded road maintenance agreement and deed restrictions which provide for the perpetual maintenance of such roads and/or easements to a necessary and