

CITY OF MUSKEGON

PLANNING COMMISSION MEETING

September 11, 2025 @ 4:00 PM

**MUSKEGON CITY COMMISSION CHAMBERS
933 TERRACE STREET, MUSKEGON, MI 49440**

CALL TO ORDER:

ROLL CALL:

APPROVAL OF MINUTES:

A. Approval of the minutes from the regular meeting of August 14, 2025.
Planning

PUBLIC HEARINGS:

A. Case 2025-36: Request to amend the Planned Unit Development at 2400 Lakeshore Dr and 2850 Lakeshore Dr (Windward Pointe) to reduce the number of residential lots and update the design criteria for housing units. Planning

B. Case 2025-37: Request to amend the Planned Unit Development (PUD) at 3400/3460/6474 Wilcox Ave, 1875 Waterworks Rd and 1490 Edgewater St (The Sand Docks) to modify parcel locations, modify parking layouts, add a sidewalk connection to the boardwalk, eliminate two multi-family buildings, and add seven single-family residential lots. Planning

UNFINISHED BUSINESS:

NEW BUSINESS:

ANY OTHER BUSINESS:

GENERAL PUBLIC COMMENT:

► Reminder: Individuals who would like to address the City Commission shall do the following: ► Fill out a request to speak form attached to the agenda or located in the back of the room. ► Submit the form to the City Clerk. ► Be recognized by the Chair. ► Step forward to the microphone. ► State name. ► Limit of 3 minutes to address the Commission.

ADJOURNMENT:

AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk's Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit:

www.shorelinecity.com

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours' notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following:

Ann Marie Meisch, MMC. City Clerk. 933 Terrace St. Muskegon, MI 49440. (231)724-6705.
clerk@shorelinecity.com

CITY OF MUSKEGON

PLANNING COMMISSION MEETING

August 14, 2025 @ 4:00 PM
MUSKEGON CITY COMMISSION CHAMBERS
933 TERRACE STREET, MUSKEGON, MI 49440

MINUTES

CALL TO ORDER

L. Willett-Leroi called the meeting to order at 4:00 p.m. and roll call was taken.

ROLL CALL

Members Present: L. Willett- Leroi, J. Seyferth, S. Gawron, D. Keener, B. Mazade, S. Blake, and L. Simmons II.

Member(s) Absent: None

Member(s) Excused: K. Johnson and J. Montgomery-Keast

Staff Present: M. Franzak and S. Romine

Others Present: None

APPROVAL OF MINUTES

A motion to approve the Minutes of the regular Planning Commission meeting on July 14, 2025, was made by J. Seyferth, supported by L. Simmons II, and unanimously approved.

PUBLIC HEARINGS

- A. Case 2025-32: Request for an amendment to the Planned Unit Development (PUD) to install coolers, build a compactor enclosure, relocate and expand the outside bar, and add a fenced-in smoking area, at 3505 Marina View Point (Dockers).** Planning

SUMMARY

The restaurant (formerly Dockers) is located within the Harbour Towne PUD. Any changes to the footprint of the building require an amendment to the PUD.

The site plan includes the following changes to the PUD:

- An additional cooler/freezer area will be added near the NE corner of the property.
- The outdoor tiki bar will be slightly increased in size (to 480 sf) and will also be slightly realigned to fit within the property line.
- A fence will be installed and will be used for an outdoor smoking area for patrons.
- The existing dumpster and enclosure will be removed and be replaced with a slightly larger trash compactor and enclosure (12' x 40').

Notice was sent to all properties within 300 feet. At the time of this writing, staff had not received any comments from the public.

STAFF RECOMMENDATION

Staff recommends approval of the PUD amendment. None of the proposed improvements appears to have any effect on neighboring properties.

PUBLIC COMMENT

David C., Harbour Towne resident - Has noise concerns and doesn't believe that the restaurant is a good fit for that area.

Jim G., Harbour Towne resident - Supports the request and is looking forward to the reopening.

Kat R., Pigeon Key Marina - Supports the request and is also looking forward to the reopening.

CLOSE PUBLIC HEARING - MOTION

A motion to close the public hearing was made by B. Mazade, supported by S. Gawron, and unanimously approved.

MOTION PASSES

MOTION

Motion by S. Gawron, seconded by B. Mazade, that the request to amend the Planned Unit Development to install coolers, build a compactor enclosure, relocate and expand the outside bar, and add a fenced-in smoking area, at 3505 Marina View Point, be recommended to the City Commission for approval with the following condition:

1. The screening around the compactor enclosure is at least 5 ft and is made of wood or masonry.

ROLL VOTE: Ayes: L. Willett-Leroi, J. Seyferth, S. Gawron, D. Keener, B. Mazade, S. Blake, and

L. Simmons II.
Nays: None

MOTION PASSES

- B. Case 2025-33: Staff-initiated request to rezone the following properties: 1181 Ransom St, 1200 Ransom St, 1176 Peck St, 1196 Peck St, 1208 Peck St, 1222 Peck St, 1250 Peck St, 1259 Peck St, 1275 Peck St, 1299 Peck St, 1302 Peck St, 1309 Peck St, 1314 Peck St, 1319 Peck St, 1322 Peck St, 1334 Peck St, 1337 Peck St, 1342 Peck St, 1347 Peck St, 1365 Peck St, 1377 Peck St, 1391 Peck St, 1410 Peck St, 1415 Peck St, 1422 Peck St, 1435 Peck St, 1440 Peck St, 1443 Peck St, 1470 Peck St, 1502 Peck St, 1516 Peck St, 1532 Peck St, 1542 Peck St, 1562 Peck St, 1576 Peck St, 1586 Peck St, 1596 Peck St, 1604 Peck St, 1624 Peck St, 1625 Peck St, 1632 Peck St, 1633 Peck St, 1640 Peck St, 1643 Peck St, 1649 Peck St, 1652 Peck St, 1659 Peck St, 1660 Peck St, 1669 Peck St, 1670 Peck St, 1691 Peck St, 1705 Peck St, 1715 Peck St, 1725 Peck St, 1735 Peck St., 19 Irwin Ave, 22 E. Southern Ave, 23 Strong Ave, 24 Morrall Ave, and 32 Iona Ave, from RM-1, Low Density Multiple-Family Residential to Form Based Code, Neighborhood Edge; 1765 Peck St, 1781 Peck St, Parcel # 61-24-205-465-0006-10, and 1778 Sanford St, from B-4, General Business, to Form Based Code, Neighborhood Core; 180 E. Laketon Ave and 1752 Peck St from B-4, General Business and MC, Medical Care, to Form Based Code, Neighborhood Edge; and 36 Catherine Ave, 1366 Peck St, 1378 Peck St, 1386 Peck St, 1394 Peck and 1469 Peck St from B-1, Limited Business, to Form Based Code, Neighborhood Edge.** Planning

SUMMARY

The RM-1 zoning designation poses many problems for existing buildings/businesses along Peck St. The biggest issue with this zoning designation is that nearly all the properties are considered legally non-conforming (grandfathered) because they do not meet the area and bulk requirements. Nearly every property falls short of the following requirements: minimum lot width of 100 feet, maximum building width of 50% (as a portion of lot width), and minimum lot size of 10,890 sf. Many others do not meet the minimum side yard setback requirements of 8, 10, or 12 feet (depending on the height of the building). These non-conformities can cause issues such as limiting expansion efforts, refinancing problems, and property sales problems. The FBC-NE designation is similar to the RM-1 designation in that it allows many of the same uses, while also limiting buildings to the same height, which is three stories. Staff are recommending that a few of the parcels closer to Laketon Ave be rezoned to FBC-NC to allow for more density closer to the Laketon Ave corridor. This designation allows for larger buildings up to five stories and could encourage denser housing options along public transit routes.

The B-1 zoning designation is very limiting to the existing businesses in the area. The uses allowed are very limiting, only allowing smaller-type businesses that serve the adjacent residential area. It also limits each use to a maximum of 2,500 sf. Also, none of the businesses between Irwin and Isabella meet the required front and side setback requirements. These buildings are built to the correct scale and placement for walkability, even though it goes against the existing zoning requirements. A rezoning to FBC-NE would bring these buildings into conformity and allow for a greater variety of businesses.

Staff held a focus group with affected property owners in June about the potential of a rezoning. There were about 15 participants at the meeting, all of whom agreed that the rezoning effort would positively affect their situations.

Please see the enclosed maps that depict the current and proposed zoning of the parcels along Peck St. The map is broken down into North Peck and South Peck to make it easier to view.

Notice was sent to all properties within 300 feet of each parcel to be rezoned. At the time of this writing, staff had not received any comments from the public.

STAFF RECOMMENDATION

I move the request to rezone the properties as listed be recommended to the City Commission for approval.

PUBLIC COMMENT

A. Bloom, resident: Had questions about the new (proposed) zoning district and what it allows for.

C. Jones, 1533 Clinton St.: Is concerned about the light commercial/industrial uses that are allowed in the proposed zoning district and asked for clarification about what exactly would be allowed.

M. Mastenbrook, 1649 Peck St: Has concerns about 5-story buildings being built and what parking would look like.

CLOSE PUBLIC HEARING - MOTION

A motion to close the public hearing was made by J. Seyferth, supported by S. Gawron, and unanimously approved.

MOTION PASSES

MOTION

Motion by J. Seyferth, seconded by D. Keener, that the request to rezone the properties as listed be recommended to the City Commission for approval.

ROLL VOTE: **Ayes:** L. Willett-Leroi, J. Seyferth, S. Gawron, D. Keener, B. Mazade, S. Blake, and L. Simmons II.

Nays: None

MOTION PASSES

- C. Case 2025-34: Staff-initiated request to rezone 3172 Edgewater St, 3182 Edgewater St, 2976 Lakeshore Dr, 2984 Lakeshore Dr, 2986 Lakeshore Dr, 3002 Lakeshore Dr, 3084 Lakeshore Dr, 3088 Lakeshore Dr, and 3092 Lakeshore Dr, from Waterfront Marine (WM) to Form Based Code, Lakeside Mixed Residential (FBC-LMR).** Planning

SUMMARY

This request is intended to bring the houses in this area into conformity. The properties are zoned Waterfront Marine (WM), but this zoning designation does not allow for housing. However, it does allow for marinas. Staff were unsure of the future plans of these property owners, so a focus group was held in June to determine the best path forward in terms of zoning. At the meeting, staff learned that some property owners intend to use their land only for housing, while others would like to run a marina along with housing on the same site. Staff determined that the best path forward would be to rezone the properties to a zoning designation that allows for housing and marinas. The Form-Based Code, Lakeside Mixed Residential district allows for housing (up to six units), and a recent zoning amendment (second reading still needed on August 12) will now allow for marinas (only on properties that have Muskegon Lake frontage).

There were two recent requests that helped staff realize there was an issue with the current zoning. The property at 2984 Lakeshore Dr was recently forced to obtain a variance to rebuild their house, since houses are not allowed in WM districts. Although the variance was granted, they were still restricted in terms of where the house could be placed, since the side setback requirements are a minimum of 10 feet for a two-story house. Also, the owner of 3092 Lakeshore Dr recently demolished the house on the site with the intention of rebuilding another housing structure. Without a rezoning, it is very likely that these issues will continue to surface.

The future land use map in the master plans identifies this area as "Lakeshore," which is defined as mixed-use along the waterfront. This new zoning designation would allow for housing, marinas, and other commercial uses.

Notice was sent to everyone within 300 feet of the affected properties. At the time of this writing, staff had not received any comments from the public.

STAFF RECOMMENDATION

Staff recommends that the request to rezone the properties as listed be recommended to the City Commission for approval.

PUBLIC COMMENT

S. Schiller, resident: Supports the request.

D. Ghezzi, resident: Has issues with the limit of 6-unit multiplexes that are allowed in the proposed zoning district and would prefer that 8 units be allowed.

S. Vanderstelt, resident: Has the same concerns as the previous speaker.

Jeff, The Vikings: Supports the request, but does have issues with multiple units being built because parking is an issue.

CLOSE PUBLIC HEARING - MOTION

A motion to close the public hearing was made by B. Mazade, supported by L. Simmons II, and unanimously approved.

MOTION PASSES

MOTION

Motion by S. Gawron, seconded by L. Simmons II, that the request to rezone the properties as listed be recommended to the City Commission for approval.

ROLL VOTE: **Ayes:** L. Willett-Leroi, J. Seyferth, S. Gawron, D. Keener, B. Mazade, S. Blake, and L. Simmons II.
 Nays: None

MOTION PASSES

D. Case 2025-35: Request for a special use permit to operate a drive-thru for a restaurant at 431 E. Laketon Ave, by Luis Santillanes. Planning

SUMMARY

The property is zoned B-2, Convenience & Comparison Business. Drive-thru restaurants are allowed with the issuance of a special use permit. There are two requirements that must be met in order to receive the special use permit:

1. A setback of at least 60 feet shall be provided from the street right-of-way line of any existing or proposed major thoroughfare.
2. Ingress and egress points shall be located at least 60 feet from the intersection of any two streets.

This request meets both of these requirements. It is not located on a major thoroughfare, and both points of ingress/egress are located over 100 feet away from the intersection.

Traffic for the drive-thru will enter the property off of Manz St, then turn right to enter the drive-thru, then exit onto Laketon Ave. Using this approach to traffic flow will provide the safest route for customers to enter and exit the premises by providing enough stacking spaces for cars waiting in line for the drive-thru. The

location of the drive-thru window will cause the driver to have to make the transaction out of the passenger-side window. However, this is not unprecedented, as other drive-thrus (Checkers on Laketon) also use this approach.

Notice was sent to all properties within 300 feet. At the time of this writing, staff had not received any comments from the public.

Planning Exercise

Prior to authorization of any Special Land Use, the Planning Commission shall give due regard to the nature of all adjacent uses and structures. It shall determine the consistency with the adjacent use and development. In addition, the Planning Commission shall find that the proposed use or activity would not be offensive or a nuisance, by reason of increased traffic, noise, vibration, or light. Further, the Planning Commission shall find that adequate water and sewer infrastructure exists or will be constructed to service the Special Land Use or activity.

Staff will answer the following questions and ask the Planning Commissioners if they disagree with each statement at the meeting (Staff answers in italics).

Would the proposed expansion be considered offensive, or a nuisance, because of any of the following:

1. Increased traffic - *No*
2. Increased noise - *No*
3. Increased vibration - *No*
4. Increased light - *No*

Does adequate water and sewer infrastructure exist, or will it be constructed to service the Special Land Use or activity? *Yes, it currently exists.*

STAFF RECOMMENDATION

Staff recommends approval of the special use permit as long as the following items are addressed on the site plan and approved by staff.

1. Traffic arrows are painted on the pavement that indicate the one-way flow of traffic.
2. The parking stripes are repainted to face the appropriate direction.
3. A barrier is installed near the north-west corner of the building to prevent parking traffic from colliding with drive-thru traffic.

PUBLIC COMMENT

None

CLOSE PUBLIC HEARING - MOTION

A motion to close the public hearing was made by S. Gawron, supported by L. Simmons II, and unanimously approved.

MOTION PASSES

MOTION

Motion by B. Mazade, seconded by S. Gawron, that the request for a special use permit to operate a drive-thru for a restaurant at 431 E. Laketon Ave, with the following conditions, based on the findings of fact in the planning exercise in the staff report:

1. Traffic flow arrows are painted to indicate the flow of traffic.
2. The parking lot lines are repainted to face the appropriate direction of traffic flow.
3. A barrier is installed near the north-west corner of the building to prevent parking traffic from colliding with drive-thru traffic.

ROLL VOTE: **Ayes:** L. Willett-Leroi, J. Seyferth, S. Gawron, D. Keener, B. Mazade, S. Blake, and L. Simmons II.
 Nays: None

MOTION PASSES

UNFINISHED BUSINESS

None.

NEW BUSINESS

None.

ANY OTHER BUSINESS

A. Strong Towns article - Parking minimums Planning

M. Franzak provided the Planning Commissioners with an article regarding parking minimums and how some cities are combating parking requirements.

GENERAL PUBLIC COMMENT

None.

ADJOURNMENT

The Planning Commission meeting adjourned at 5:11 p.m.

Respectfully Submitted,

Ann Marie Meisch, MMC City Clerk



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: September 11, 2025	Title: Case 2025-36: Request to amend the Planned Unit Development at 2400 Lakeshore Dr and 2850 Lakeshore Dr (Windward Pointe) to reduce the number of residential lots and update the design criteria for housing units.
Submitted by: Mike Franzak, Planning Director	Department: Planning
Brief Summary: Request to amend the Planned Unit Development at 2400 Lakeshore Dr and 2850 Lakeshore Dr (Windward Pointe) to reduce the number of residential lots and update the design criteria for housing units.	
Detailed Summary & Background: <p>The original PUD was approved in November 2023 and this is the first requested amendment. Due to the size, complexity and expected duration of the development, the developer and their team, along with the Michigan Department of Environment Great Lakes & Energy (EGLE), have prioritized the planning for the Phase 1 (single-family homes) portion of the project (please see Phasing Plan attached). They are projecting to commence Phase 1 development in 2026 and are continuing to work through the planning for the other phases and will have more specifics to share next year.</p> <p><u>Requested changes to the PUD</u></p> <p>Based on changes in construction methods, market conditions, and input from their consultants on Phase 1, they are requesting to convert some of the proposed staggered lot homes in the northeast corner of the site to aligned lots. They believe this will help with lot-marketability and create more variation in the homes in the area.</p> <p>The existing PUD permits the construction of 223 single family houses around the perimeter of the site. The Developer is proposing to convert the staggered lots (22' or 26' x 205') in the northeast corner of the site plan to 34' x 150'. The changes in this plan would reduce the total number of single-family residential lots from 223 to 208. The total number of housing units within the entire development will be reduced from 2,317 to 2,302.</p> <p>The 205-foot depth was necessary to account for the staggered lot concept. If the homes are not staggered, the depth is not necessary and the road can be moved closer to the water, which is expected to provide better view sheds.</p> <p>For comparison, the homes at Terrace Point Landing are on average approximately ½ the depth of what is being proposed at Windward Pointe. They anticipate more variety from home to home, and better visibility of the water from the road than what is permitted under the approved PUD for the site.</p>	

The "Building Details" attachment was adjusted to reflect the different lot dimensions for the single-family lots. The Condo/Apartment mansion lots were modified to add the depth that was removed from the waterfront lots.

The 10 lots that the City has an option to purchase remain at the same width (22'/26'), but the length is reduced to 150' due to the street relocation. The removed length was added to the planned forest park across the street.

They are proposing to move the street north by 55 feet, which will extend the length of the lots to the south. Moving the street north will also allow room for two more staggered lots that face east (overlooking Grand Trunk).

Please see the enclosed document that depicts the requested changes to the housing designs. These changes include a reduction in minimum building sizes, amending the front setback requirements for single-family houses, allowing more of the building facade to be comprised of garage doors, and increasing the size of rooftop decks on mansion lots.

The proposed site plan dated 9.11.25 has been included in the packet along with the previously approved plans from 11.6.23. All requested changes take place in the northeast corner of the project.

Notice was sent to all properties within 300 feet of the development. At the time of this writing, staff have not received any public comments.

Staff Recommendation

Staff recommend approval of the requested amendments.

Goal/Focus Area/Action Item Addressed:

Key Focus Areas:

Goal/Action Item:

2027 Goal 2: Economic Development Housing and Business

Amount Requested:

N/A

Budgeted Item:

Yes		No		N/A	X	
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Fund(s) or Account(s):

N/A

Budget Amendment Needed:

Yes		No		N/A	X	
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Recommended Motion:

(If considered a major amendment) I move the request to amend the PUD as presented in the staff report be recommended to the City Commission for approval.

(If considered a minor amendment) I move the request to amend the PUD as presented in the staff report be approved.

Approvals:

Immediate Division	X	
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Guest(s) Invited / Presenting:

No

Head		
Information Technology		
Other Division Heads		
Communication		
Legal Review		

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LEGEND

- 1 SITE ENTRANCE
- 2 SINGLE FAMILY STAGGERED LOT (26'-22" X 205' TYP. & 26'-22" X 150') - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 3 SINGLE FAMILY ALIGNED LOT (24'-34" X 150' TYP.) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 4 10-12 UNIT FRONT-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 150' TYP.)
- 5 10-12 UNIT REAR-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 115' TYP.)
- 6 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING OR POSSIBLE FUTURE GROUND FLOOR RETAIL (BUILDINGS A1-A4)
- 7 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING (BUILDINGS A5-A22)
- 8 REAR-LOAD ROWHOUSES (18' X 40' TYP.) (R1-R35)
- 9 MIXED-USE BUILDING (GROUND FLOOR RETAIL, APARTMENTS ABOVE) (MU1-MU4)
- 10 IN-OUT DRY BOAT STORAGE (155' X 720' BUILDING WITH APPROXIMATELY 350 STORAGE SPACES)
- 11 MARINA RESTROOMS
- 12 CLUBHOUSES WITH POOLS AND SPORT COURTS
- 13 CLUBHOUSE WITH RESTAURANT/EVENT SPACE, POOL, AND PUBLIC RESTROOMS
- 14 RETAIL BUILDING
- 15 PUBLIC NATURE VIEW BOARDWALK
- 16 PUBLIC PARKLET WITH WATERFRONT ACCESS AND FISHING DOCK
- 17 PUBLIC PARKLET WITH BOARDWALK, FISHING PLATFORM, AND KAYAK LAUNCH
- 18 MULTI-MODAL TRAIL CONNECTOR
- 19 POOL AND RESTROOM BUILDING FOR WINDWARD POINTE RESIDENTS
- 20 BOAT HOIST/WASH STATION AREA
- 21 STAGING SLIPS FOR IN/OUT SERVICE AND GAS DOCK / PUMP OUT DOCK
- 22 FENCED DOG PARK AND POLLINATOR GARDEN AREA
- 23 PLAYGROUND
- 24 WOODLAND PRESERVATION AREA AND ON-LEASH DOG PARK
- 25 FUTURE RESTAURANT
- 26 BREAK WALL/WAVE ATTENUATOR WITH PUBLIC WALKING PATH, FISHING PLATFORM AND TRANSIENT/VISITOR/SHOPPER DOCKING ON NORTH AND SOUTH SIDES OF PIER
- 27 POSSIBLE FUTURE 1 TO 3-STORY RETAIL/OFFICE STACK WHICH MAY INCLUDE COFFEE SHOP, SANDWICH SHOP, CONVENIENCE STORE, SHIP STORE, MARINA OFFICE, AND/OR ROOFTOP DECK
- 28 GAS DOCK AND SERVICE OFFICE
- 29 TRAFFIC CALMING STREET TREATMENTS (E.G. ROUNDABOUT, SIGNALIZED BIKE CROSSING) TO BE COORDINATED WITH CITY OF MUSKEGON

SUMMARY OF LAND USE

SITE LOCATION:	2400 & 2850 LAKESHORE DR. MUSKEGON, MICHIGAN
SITE AREA	= 122.94 AC.
ZONING OF PROPERTY	= PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED DWELLINGS	<ul style="list-style-type: none"> 24'-34" X 150' LOTS = 157 DWELLINGS 22'-26" X 150' LOTS = 10 DWELLINGS 10-12 UNIT "MANSION" LOT DWELLINGS = 41 DWELLINGS APT/CONDO BUILDINGS = 570-684 DWELLINGS (57 BLDGS) 18' X 40' TOWNHOMES = 792-1,320 DWELLINGS (22 BLDGS) MIXED-USE APARTMENTS = 35 UNITS (10 BLDGS) = 55 DWELLINGS (4 BLDGS)
PROPOSED DENSITY	= 18.72 D.U./AC.
RETAIL/OFFICE SPACE (MU1-MU4) (NOT INCLUDING FUTURE IMPROVEMENTS)	= 42,780 SQ.FT.
BOAT STORAGE	= 111,600 SQ.FT. (360 SPACES)
BOAT DOCKING SPACES	<ul style="list-style-type: none"> 115' SLIP = 1 SLIP 103' SLIP = 1 SLIP 98' SLIP = 1 SLIP 93' SLIP = 1 SLIP 60' SLIP = 24 SLIPS 50' SLIP = 77 SLIPS 45' SLIP = 84 SLIPS 40' SLIP = 56 SLIPS
TRANSIENT/VISITOR/SHOPPER DOCKING SPACES	= 1400 LINEAR FEET

SITE REGULATING STANDARDS

- MULTIPLE FAMILY BUILDINGS (A1-A22)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLINGS (APARTMENTS OF CONDOMINIUMS), SENIOR LIVING FACILITY, AND PERMITTED USES WITHIN THE B-2 DISTRICT AT GROUND FLOOR OF BUILDINGS A1-A4
 - MAXIMUM BUILDING HEIGHT = 6 STORIES OR 90 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 25 FT.
 - MINIMUM DISTANCE TO ADJACENT ROADS (EXCLUDES PARKING DRIVE ASLES) = 25 FT.
- ROWHOUSES (R1-R35)**
- ALLOWABLE USES: ATTACHED SINGLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 16 FT.
 - MINIMUM DISTANCES TO ADJACENT ROAD OR SIDEWALK = 10 FT.
- FRONT-LOADED MANSION LOTS (M1-M20 & M41-M57)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
 - FRONT YARD = 22 FT. MIN. (15 FT. MIN. ON SECONDARY FRONT YARD OF CORNER LOTS)
 - SIDE YARD = 5 FT. MIN.
 - REAR YARD = 15 FT. MIN.
- REAR-LOADED MANSION LOTS (M21-M40)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
 - FRONT YARD = 12 FT. TO 20 FT. MIN. BUILD-TO-LINE (15 FT. MIN. SETBACK ON SECONDARY FRONT YARD OF CORNER LOTS)
 - SIDE YARD = 5 FT. MIN.
 - REAR YARD = 1 FT. MIN.

GENERAL NOTES

- SPEED LIMITS THROUGHOUT THE PROPOSED DEVELOPMENT WILL BE A MAXIMUM OF 15 MPH.
- TYPICAL STREET TREE SPACING WILL BE 35 FT. TO 45 FT. ON CENTER, DEPENDING ON SPECIES AND SITE CONSTRAINTS (E.G. CONFLICTS WITH UTILITIES, STREET LIGHTS, DRIVEWAYS, ETC.)
- WAYFINDING SIGNAGE WILL BE STRATEGICALLY PLACED THROUGHOUT THE DEVELOPMENT TO DIRECT PEDESTRIANS TO SITE FEATURES INCLUDING KAYAK LAUNCHES, NATURAL FEATURES, TRAILS, FISHING PLATFORMS, PARKS, CLUBHOUSES, BIKE PATHS, RETAIL CORRIDOR(S), DOG PARKS, ETC.
- OUTDOOR ENTERTAINMENT AT THE RESTAURANT AND OTHER PUBLIC SPACES WILL BE ALLOWED BETWEEN THE HOURS OF 10 A.M. AND 11 P.M. AND NOT PERMITTED BETWEEN 11 P.M. AND 10 A.M.
- THERE WILL BE NO GATES OR FENCES WITHIN THE DEVELOPMENT EXCEPT FOR PIERS 2, 3, 4, AND 5; DOG PARKS; SPORT COURTS; PLAYGROUNDS; POOLS; DUMPSTER ENCLOSURES; AND ABOVE GROUND UTILITY SCREENING.
- ALL PUBLIC AMENITY AREAS WILL BE OWNED AND MAINTAINED BY THE DEVELOPMENT ASSOCIATION IN PERPETUITY AS A MEANS OF MAINTAINING A HIGH LEVEL OF CARE AND LESSENING THE BURDEN ON PUBLICLY FUNDED CITY AGENCIES.
- FINAL DUMPSTER ENCLOSURE LOCATIONS SHALL BE REVIEWED AND APPROVED BY CITY OF MUSKEGON MAINTENANCE PERSONNEL OR REMOVED FROM THE SITE AS NEEDED.
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- GROUND FLOOR LEVELS OF BUILDINGS A1-A4 ARE INTENDED TO BE REPURPOSED AS BUILDING AT AND RETAIL OR OFFICE SPACE AS NEEDED PER MARKET CONDITIONS. THE CONVERSION OF GROUND FLOOR USES WILL BEGIN AT BUILDING A1 AND EXTEND TO THE EAST SEQUENTIALLY ENDING AT BUILDING A4.
- AREAS P7 AND P8 WILL NOT ALLOW FOR FISHING IF ADJACENT WATERS ARE FOUND TO BE UNSUITABLE BY ENVIRONMENTAL SPECIALISTS.
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- THE PROJECT WILL BE SERVED BY PUBLIC WATERMAIN, PUBLIC SANITARY SEWER, AND PUBLIC AND PRIVATE STORMWATER MANAGEMENT SYSTEMS. WATERMAIN, SANITARY SEWER, AND STORMWATER MANAGEMENT MEASURES SHALL MEET CITY, COUNTY, AND STATE OF MICHIGAN REQUIREMENTS. "DRY UTILITIES," WHICH INCLUDE ELECTRIC SERVICE, TELECOMMUNICATIONS, AND NATURAL GAS, WILL BE INSTALLED UNDERGROUND AND WILL BE PROVIDED TO EACH SITE.
- A TRAFFIC STUDY SHALL BE CONDUCTED AND REVIEWED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
- A STORMWATER PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
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- ALL MARINA SLIPS WILL HAVE FIRE ACCESS.
- ALL APPLICABLE CITY, STATE, AND FEDERAL PERMITS SHALL BE GRANTED PRIOR TO CONSTRUCTION OF IMPACTED SITE FEATURES.

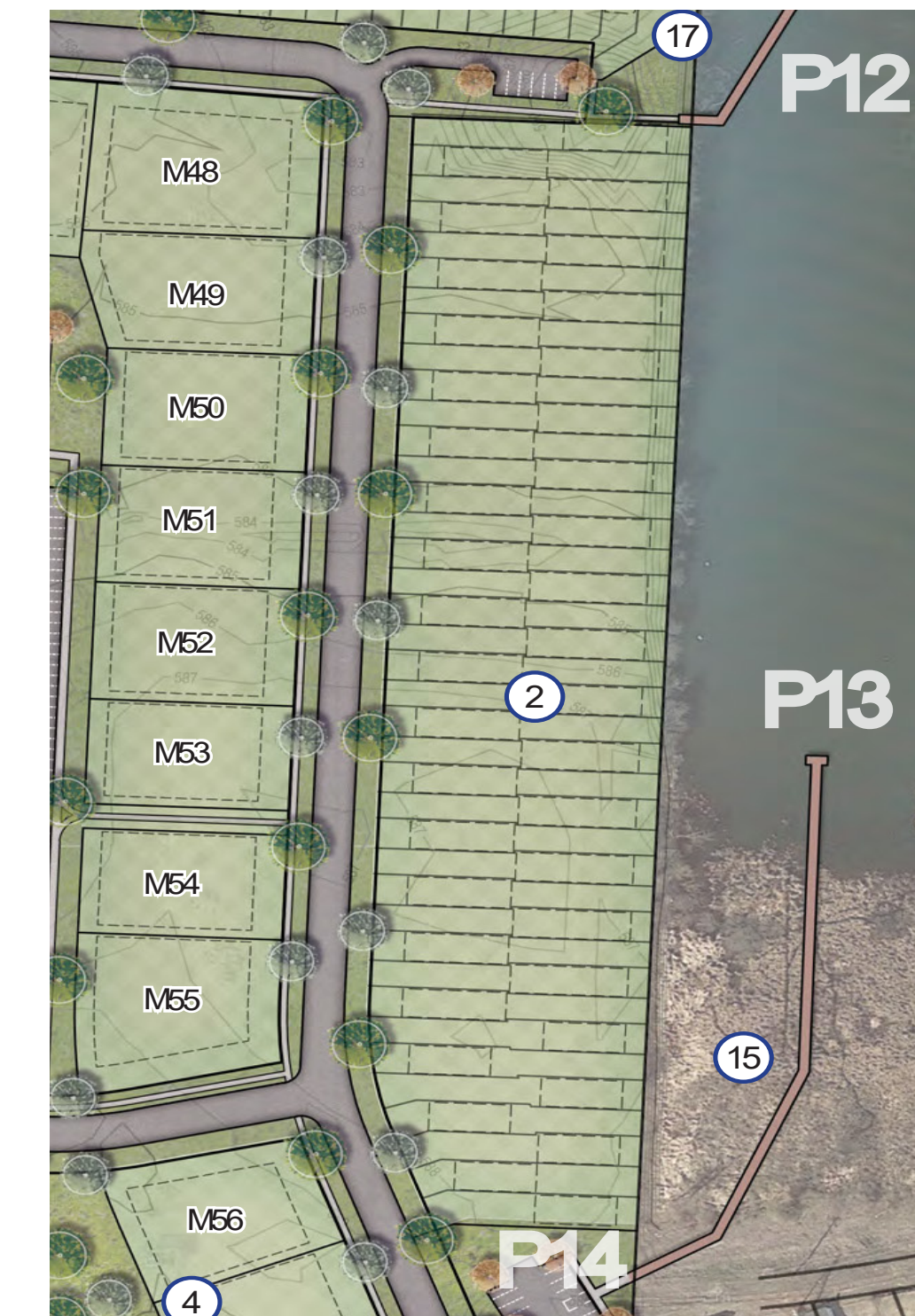
WINDWARD POINTE
FINAL PUD PLAN
project number: 23201268





2023 SUBMITTAL SITE PLAN

N.T.S.

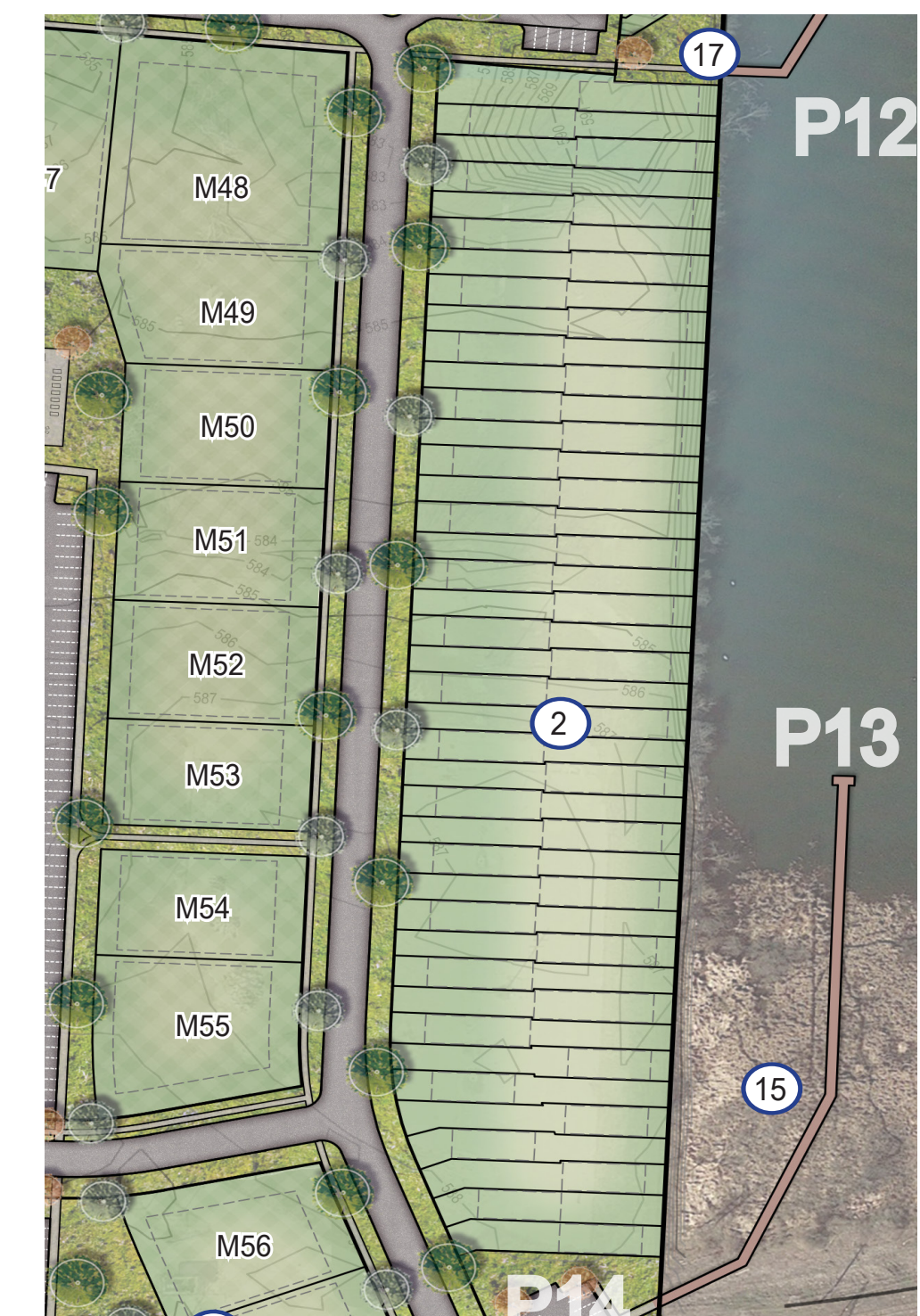


39 STAGGERED LOTS



PROPOSED AMENDMENT

N.T.S.



41 STAGGERED LOTS

September 03, 2025

23201268-20250714.DWG 1:2.0 08/14/2025 @ 12:12 PM



LEGEND

- 1 SITE ENTRANCE
- 2 SINGLE FAMILY STAGGERED LOT (26'-22" X 205' TYP. & 26'-22" X 150') - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 3 SINGLE FAMILY ALIGNED LOT (24'-34" X 150' TYP.) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 4 10-12 UNIT FRONT-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 150' TYP.)
- 5 10-12 UNIT REAR-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 115' TYP.)
- 6 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING OR POSSIBLE FUTURE GROUND FLOOR RETAIL (BUILDINGS A1-A4)
- 7 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING (BUILDINGS A5-A22)
- 8 REAR-LOAD ROWHOUSES (18' X 40' TYP.) [R1-R35]
- 9 MIXED-USE BUILDING (GROUND FLOOR RETAIL, APARTMENTS ABOVE) [MU1-MU4]
- 10 IN-OUT DRY BOAT STORAGE (155' X 720' BUILDING WITH APPROXIMATELY 350 STORAGE SPACES)
- 11 MARINA RESTROOMS
- 12 CLUBHOUSES WITH POOLS AND SPORT COURTS
- 13 CLUBHOUSE WITH RESTAURANT/EVENT SPACE, POOL, AND PUBLIC RESTROOMS
- 14 RETAIL BUILDING
- 15 PUBLIC NATURE VIEW BOARDWALK
- 16 PUBLIC PARKLET WITH WATERFRONT ACCESS AND FISHING DOCK
- 17 PUBLIC PARKLET WITH BOARDWALK, FISHING PLATFORM, AND KAYAK LAUNCH
- 18 MULTI-MODAL TRAIL CONNECTOR
- 19 POOL AND RESTROOM BUILDING FOR WINDWARD POINTE RESIDENTS
- 20 BOAT HOIST/WASH STATION AREA
- 21 STAGING SLIPS FOR IN-OUT SERVICE AND GAS DOCK / PUMP OUT DOCK
- 22 FENCED DOG PARK AND POLLINATOR GARDEN AREA
- 23 PLAYGROUND
- 24 WOODLAND PRESERVATION AREA AND ON-LEASH DOG PARK
- 25 FUTURE RESTAURANT
- 26 BREAK WALL/WAVE ATTENUATOR WITH PUBLIC WALKING PATH, FISHING PLATFORM AND TRANSIENT/VISITOR/SHOPPER DOCKING ON NORTH AND SOUTH SIDES OF PIER
- 27 POSSIBLE FUTURE 1 TO 3-STORY RETAIL/OFFICE STACK WHICH MAY INCLUDE COFFEE SHOP, SANDWICH SHOP, CONVENIENCE STORE, SHIP STORE, MARINA OFFICE, AND/OR ROOFTOP DECK
- 28 GAS DOCK AND SERVICE OFFICE
- 29 TRAFFIC CALMING STREET TREATMENTS (E.G. ROUNDABOUT, SIGNALIZED BIKE CROSSING) TO BE COORDINATED WITH CITY OF MUSKEGON

SUMMARY OF LAND USE

SITE LOCATION:	2400 & 2850 LAKESHORE DR. MUSKEGON, MICHIGAN
SITE AREA	= 122.94 AC.
ZONING OF PROPERTY	= PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED DWELLINGS	24'-34" X 150' LOTS = 157 DWELLINGS 22'-26" X 205' LOTS = 40 DWELLINGS 10-12 UNIT "MANSION" LOT DWELLINGS = 570-684 DWELLINGS (57 BLDGS) APT/CONDO BUILDINGS = 792-1,320 DWELLINGS (22 BLDGS) 18' X 40' TOWNHOMES = 35 UNITS (10 BLDGS) MIXED-USE APARTMENTS = 55 DWELLINGS (4 BLDGS)
PROPOSED DENSITY	= 18.71 D.U./AC.
RETAIL/OFFICE SPACE (MU1-MU4) (NOT INCLUDING FUTURE IMPROVEMENTS)	= 42,780 SQ.FT.
BOAT STORAGE	= 111,600 SQ.FT. (360 SPACES)
BOAT DOCKING SPACES	= 251 115' SLIP = 1 SLIP 103' SLIP = 1 SLIP 98' SLIP = 1 SLIP 93' SLIP = 1 SLIP 60' SLIP = 24 SLIPS 50' SLIP = 77 SLIPS 45' SLIP = 54 SLIPS 40' SLIP = 56 SLIPS
TRANSIENT/VISITOR/SHOPPER DOCKING SPACES	= 1400 LINEAR FEET

SITE REGULATING STANDARDS

- MULTIPLE FAMILY BUILDINGS (A1-A22)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLINGS (APARTMENTS OF CONDOMINIUMS), SENIOR LIVING FACILITY, AND PERMITTED USES WITHIN THE B-2 DISTRICT AT GROUND FLOOR OF BUILDINGS A1-A4
 - MAXIMUM BUILDING HEIGHT = 6 STORIES OR 90 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 25 FT.
 - MINIMUM DISTANCE TO ADJACENT ROADS (EXCLUDES PARKING DRIVE ASLES) = 25 FT.
- ROWHOUSES (R1-R35)**
- ALLOWABLE USES: ATTACHED SINGLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 16 FT.
 - MINIMUM DISTANCES TO ADJACENT ROAD OR SIDEWALK = 10 FT.
- FRONT-LOADED MANSION LOTS (M1-M20 & M41-M57)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 22 FT. MIN. (15 FT. MIN. ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 15 FT. MIN.
- REAR-LOADED MANSION LOTS (M21-M40)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 12 FT. TO 20 FT. MIN. BUILD-TO-LINE (15 FT. MIN. SETBACK ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 1 FT. MIN.

GENERAL NOTES

- SPEED LIMITS THROUGHOUT THE PROPOSED DEVELOPMENT WILL BE A MAXIMUM OF 15 MPH.
- TYPICAL STREET TREE SPACING WILL BE 35 FT. TO 45 FT. ON CENTER, DEPENDING ON SPECIES AND SITE CONSTRAINTS (E.G. CONFLICTS WITH UTILITIES, STREET LIGHTS, DRIVEWAYS, ETC.)
- WAYFINDING SIGNAGE WILL BE STRATEGICALLY PLACED THROUGHOUT THE DEVELOPMENT TO DIRECT PEDESTRIANS TO SITE FEATURES INCLUDING KAYAK LAUNCHES, NATURAL FEATURES, TRAILS, FISHING PLATFORMS, PARKS, CLUBHOUSES, BIKE PATHS, RETAIL CORRIDOR(S), DOG PARKS, ETC.
- OUTDOOR ENTERTAINMENT AT THE RESTAURANT AND OTHER PUBLIC SPACES WILL BE ALLOWED BETWEEN THE HOURS OF 10 A.M. AND 11 P.M. AND NOT PERMITTED BETWEEN 11 P.M. AND 10 A.M.
- THERE WILL BE NO GATES OR FENCES WITHIN THE DEVELOPMENT EXCEPT FOR PIERS 2, 3, 4, AND 5; DOG PARKS; SPORT COURTS; PLAYGROUNDS; POOLS; DUMPSTER ENCLOSURES; AND ABOVE GROUND UTILITY SCREENING.
- ALL PUBLIC AMENITY AREAS WILL BE OWNED AND MAINTAINED BY THE DEVELOPMENT ASSOCIATION IN PERPETUITY AS A MEANS OF MAINTAINING A HIGH LEVEL OF CARE AND LESSENING THE BURDEN ON PUBLICLY FUNDED CITY AGENCIES.
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WINDWARD POINTE
FINAL PUD PLAN
project number: 23201268



October 25, 2023

Jon Rooks
Parkland Acquisition Six, LLC
75 W Walton Avenue STE A
Muskegon, MI 49440

City of Muskegon
Planning Department
933 Terrace Street
Muskegon, MI 49440

RE: Windward Pointe Lot and Building Parameters for homesites, condo mansion lots, and multi-family buildings

Detached Single Family Lots [Aligned Lots and Staggered Lots]

1. The homesite dwelling unit shall have a minimum living area (excluding all basement area) of one thousand (1000) square feet with a minimum five hundred (500) square feet at the first floor. There is no maximum square footage. The second floor must be equal to or smaller than the first floor beneath including any garage.
2. Where the homesite design involves a roof pitch, it shall be a minimum pitch of 6/12, that is, for every twelve inches (12") of lateral run, the roof shall rise six inches (6"). In the case of additions or alterations to principal structures, the roof pitch shall be a minimum pitch of 6/12.
3. The roof shall have a snow load rating that meets the current Michigan Building Code.
4. Roof drainage shall be provided to direct storm or meltwater away from the foundation including hip, gambrel and mansard roofs.
5. Siding and trim systems shall be of an industry standard gauge suitable for on-site-built homes.
6. The dwelling unit shall have a minimum width of eighteen (18) feet across any front, side, and rear elevation view.
7. The front elevation view may have a design offset including but not limited to; bay windows, covered porches, or structural offsets from the principal plane of the building.
8. Any single-story, residential structure shall not be more than four (4) times longer than its width (exclusive of an attached garage).
9. Garage doors may not compromise more than seventy-five percent (75%) of the front face of the structure.
10. Newly constructed homes must be set back twenty-four (24) feet from the front property line.
11. The dwelling unit shall be firmly attached to a permanent foundation constructed on the site in accordance with the current building code, manufacturers specifications, and any other applicable requirements.

12. Any crawlspace, partial or full height basement that may exist between the foundation and ground floor of the dwelling unit shall be fully enclosed by an extension of the foundation wall along the perimeter of the building.
13. There will be no mobile home dwelling units permitted on any lot except manufactured / modular homes that meet building code.
14. There will be no mobile home dwelling units, including their undercarriage and wheel apparatus, permitted on any lot except manufactured / modular homes that meet building code.
15. The dwelling unit shall be connected to a public sewer and water supply when available, as defined by the Plumbing Code. Backflow preventers are required in the basement or crawl space of each home.
16. The compatibility of design and appearance shall be in accordance with the condominium by-laws.
17. The dwelling unit shall contain no additions of rooms or other areas which are not constructed with similar quality workmanship as the original structure, including permanent attachment to the principal structure and construction of a foundation as required herein.
18. The dwelling unit shall comply with all pertinent structural, building and fire codes.
19. All construction required herein shall be commenced only after a building permit has been obtained in accordance with the Building Code.
20. Each dwelling unit shall have an established vegetative ground cover in less than 12 months after occupancy. A minimum of two trees, two inches (2") in diameter, four feet (4') from the ground or six-foot (6') evergreen trees shall be provided.
21. Detached outbuildings, including garages, are allowed up to five hundred (500) square feet maximum at the rear yard of non-waterfront lots or the front yard of waterfront lots.
22. Front Yard Setback (Aligned and Staggered Lots): Minimum twenty-two (22') feet from the front property line.
23. Rear Yard Setback (Aligned and Staggered Lots on waterfront): Minimum fifteen (15') feet from the Ordinary High Water Mark.
24. Side Yard Setback: Aligned Lots and Staggered Lots shall maintain a minimum side yard setback of five (5) feet and zero (0) feet respectively. Buildings must also maintain a minimum of building-to-building separation to comply with Fire Code.
25. Eaves, bay windows, egress wells, fireplaces, uncovered steps, and egress wells may encroach into all yard setbacks up to three (3) feet.
26. Maximum Building Height: Three stories, plus basement or fifty-five (55) feet to the peak of any gable, gambrel or hip roofs, or to the top of any flat roofs, whichever is less.
27. Building height does not include chimneys, spires, cupolas, dormers, finials, antennae, railings, roof decks and access to the roof deck.

28. All stories above grade may contain any combination of conditioned living space, outdoor space (covered or uncovered) and garage area.
29. One six hundred (600) maximum square foot, uncovered roof deck allowed above three (3) stories. No limit on first three (3) stories.
30. Garages are required with a maximum of three (3) stalls.
31. One (1) stall maximum carport is allowed in addition to the garage attached or unattached to any building.
32. Full or partial basements are allowed that are finished or unfinished.
33. Front balcony and porches are allowed and may be up to three (3) stories tall on the front elevation.
34. Rear balcony and porches are allowed and may be up to three (3) stories tall on the rear elevation.
35. Wraparound balcony and porch are allowed and may be up to two (2) stories tall.
36. Minimum eight (8) feet of separation between any buildings on the same lot.
37. All architectural designs must comply with the Condominium Association's bylaws, master deed, rules and regulations.

Mansion Lots [Front Loaded and Rear Loaded]

38. The 'mansion' (condo and apartment) dwelling unit shall have a minimum living area (excluding all parking area) of four hundred (400) square feet. There is no maximum square footage. There may be up to 12 units per building structure.
39. Where the homesite design involves a roof pitch, it shall be a minimum pitch of 6/12, that is, for every twelve inches (12") of lateral run, the roof shall rise six inches (6"). In the case of additions or alterations to principal structures, the roof pitch shall be a minimum pitch of 6/12.
40. The roof shall have a snow load rating that meets the current Michigan Building Code.
41. Roof drainage shall be provided to direct storm or meltwater away from the foundation including hip, gambrel and mansard roofs.
42. Siding and trim systems shall be of an industry standard gauge suitable for on-site-built homes.
43. The dwelling unit shall have a minimum width of fourteen (14) feet across any front, side, and rear elevation view.
44. The front elevation view may have a design offset including but not limited to bay windows, covered porches, or structural offsets from the principal plane of the building.
45. Garage doors may not compromise more than sixty-five percent (65%) of the front face of the structure.
46. The dwelling unit shall be firmly attached to a permanent foundation constructed on the site in

accordance with the current building code, manufacturers specifications, and any other applicable requirements.

47. Any crawlspace, partial or full height basement that may exist between the foundation and ground floor of the dwelling unit shall be fully enclosed by an extension of the foundation wall along the perimeter of the building.
48. There will be no mobile home dwelling units permitted on any lot.
49. There will be no mobile home dwelling units, including their undercarriage and wheel apparatus, permitted on any lot.
50. The dwelling unit shall be connected to a public sewer and water supply when available, as defined by the Plumbing Code. Backflow preventers are required in the basement or crawl space of each home.
51. The compatibility of design and appearance shall be in accordance with the condominium by-laws.
52. The dwelling unit shall contain no additions of rooms or other areas which are not constructed with similar quality workmanship as the original structure, including permanent attachment to the principal structure and construction of a foundation as required herein.
53. The dwelling unit shall comply with all pertinent structural, building and fire codes.
54. All construction required herein shall be commenced only after a building permit has been obtained in accordance with the Building Code.
55. Each building structure shall have an established vegetative ground cover in less than 12 months after occupancy. A minimum of two shade trees, two inches (2") in diameter, four feet (4') from the ground or one six-foot (6') evergreen tree shall be provided.
56. Detached outbuildings, including garages, are allowed up to five hundred (500) square feet maximum at the rear yard.
57. Front-Loaded Mansion Lot Front Yard Setback: Minimum twenty-two (22') feet from the front property line.
58. Front-Loaded Mansion Lot Rear Yard Setback: Minimum fifteen (15) feet from the rear property line.
59. Rear-Loaded Mansion Lots Build-to-Zone: Building façade shall be placed between twelve (12) feet and twenty (20) feet from the primary front yard property line. A minimum side yard setback of fifteen (15) feet shall be maintained at any secondary front yards of corner lots. Rear yard setback is minimum one (1) feet.
60. Side Yard Setback: All Mansion Lot buildings shall maintain a minimum side yard setback of five (5) feet. Eaves, bay windows, egress wells, fireplaces, uncovered steps, and egress wells may encroach into all yard setbacks up to three (3) feet.
61. Maximum Building Height: Five (5) stories or eighty (80) feet to the peak of any gable, gambrel or hip roofs, or to the top of any flat roofs, not including any uncovered rooftop deck.

62. Building height does not include chimneys, spires, cupolas, dormers, finials, antennae, railings, roof decks and access to the roof deck.
63. All stories above grade may contain any combination of conditioned living space, outdoor space (covered or uncovered) and garage area.
64. One six hundred (600) maximum square foot, uncovered rooftop deck allowed per building structure.
65. Optional common garages with a maximum of twelve (12) interior parking spots.
66. Front balcony and porches are allowed and may be on up to five (5) stories on the front elevation area.
67. Rear balcony and porches are allowed and may be on up to five (5) stories on the front elevation area.
68. Wraparound balcony and porch are allowed and may be up to three (3) stories tall.
69. Minimum eight (8) feet of separation between any buildings on the same lot.
70. All architectural designs must comply with the Condominium Association's bylaws, master deed, rules and regulations.

Multiple-Family Buildings

71. The multi-family (condo and apartment) units shall have a minimum living area of four hundred (400) square feet. There is no maximum square footage.
72. Where the design involves a roof pitch, it shall be a minimum pitch of 6/12, that is, for every twelve inches (12") of lateral run, the roof shall rise six inches (6"). In the case of additions or alterations to principal structures, the roof pitch shall be a minimum pitch of 6/12.
73. The roof shall have a snow load rating that meets the current Michigan Building Code.
74. Roof drainage shall be provided to direct storm or meltwater away from the foundation including hip, gambrel and mansard roofs.
75. Siding and trim systems shall be of an industry standard gauge suitable for on-site-built homes.
76. The building shall have a minimum width of 10 feet across any front, side, and rear elevation view.
77. The front elevation view may have a design offset including but not limited to; bay windows, covered or uncovered balconies and porches, and structural offsets from the principal plane of the building.
78. Garage doors may not compromise more than ninety-five percent (95%) of the front face of the building.
79. The building shall be firmly attached to a permanent foundation constructed on the site in

accordance with the current building code, manufacturers specifications, and any other applicable requirements.

80. Any crawlspace, partial or full height basement that may exist between the foundation and ground floor of the structure shall be fully enclosed by an extension of the foundation wall along the perimeter of the building.
81. There will be no mobile home dwelling units permitted on any lot.
82. There will be no mobile home dwelling units, including their undercarriage and wheel apparatus, permitted on any lot.
83. The building shall be connected to a public sewer and water supply when available, as defined by the Plumbing Code. Backflow preventers are required in the basement or crawl space of each building.
84. The compatibility of design and appearance shall be in accordance with the condominium by-laws.
85. The building shall contain no additions of rooms or other areas which are not constructed with similar quality workmanship as the original structure, including permanent attachment to the principal structure and construction of a foundation as required herein.
86. The building shall comply with all pertinent structural, building and fire codes.
87. All construction required herein shall be commenced only after a building permit has been obtained in accordance with the Building Code.
88. Each building shall have an established vegetative ground cover in less than 12 months after occupancy. A minimum of two shade tree, two inches (2") in diameter, four feet (4') from the ground or one six foot (6') evergreen tree shall be provided.
89. Buildings shall be placed a minimum of twenty five (25) feet from any adjacent road pavement, excluding drive aisles and parking pavement.
90. Buildings must maintain a minimum building-to-building separation of twenty five (25) feet, measured from building foundation wall to building foundation wall.
91. Maximum Building Height: Six (6) stories or ninety (90) feet to the peak of any gable, gambrel or hip roofs, or to the top of any flat roofs, whichever is less
92. Building height does not include chimneys, spires, cupolas, dormers, finials, antennae, railings, roof decks and access to the roof deck.
93. All stories above grade may contain any combination of conditioned living space, outdoor space (covered or uncovered) and garage area.
94. One one thousand (1,000) maximum square foot, uncovered roof deck.
95. Garages are not required.
96. Carports are allowed in addition to surface lot, or garage parking with the first floor of the building.

97. Full or partial basements are allowed that are finished or unfinished.
98. Front porches and balconies are allowed and may be up to six (6) stories tall on the front elevation.
99. Rear porches and balconies are allowed and may be up to six (6) stories tall on the rear elevation.
100. Wraparound balcony or side porch is allowed and may be up to six (6) stories tall.
101. All architectural designs must comply with the Condominium Association's bylaws, master deed, rules and regulations.

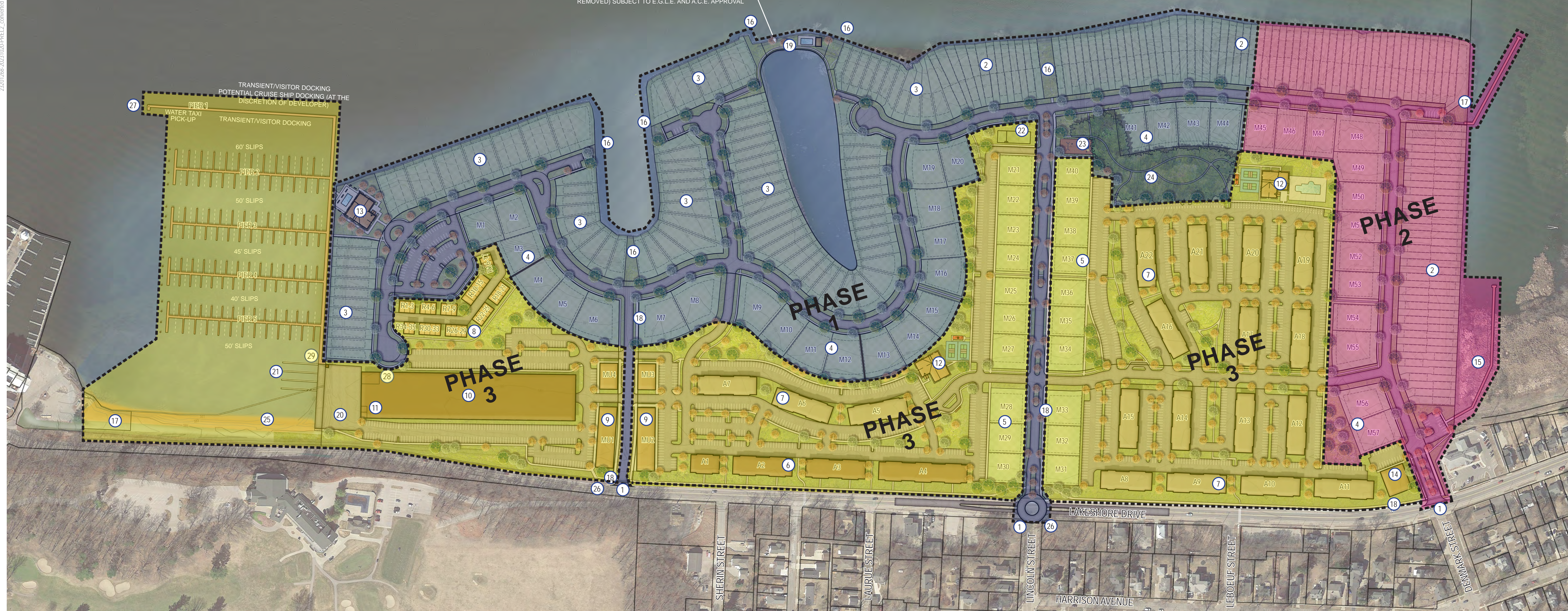
General Provisions

102. In the event of any conflict between the Site Regulating Standard and general notes on the plans, and this Windward Pointe Lot and Building Parameters document, this document shall govern.

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MUSKOGON LAKE

NOTE: AT THE DEVELOPER'S DISCRETION, THE EXISTING POND MAY CONNECT TO MUSKOGON LAKE (I.E. LAND BERM REMOVED) SUBJECT TO E.G.L.E. AND A.C.E. APPROVAL



LEGEND

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- 3 SINGLE FAMILY ALIGNED LOT (34' X 150' TYP) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 4 10-12 UNIT FRONT-LOADED CONDO OR APARTMENT "MANSSION" LOTS (100' X 150' TYP)
- 5 10-12 UNIT REAR-LOADED CONDO OR APARTMENT "MANSSION" LOTS (100' X 115' TYP)
- 6 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING OR POSSIBLE FUTURE GROUND FLOOR RETAIL (BUILDINGS A1-A4)
- 7 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING (BUILDINGS A5-A22)
- 8 REAR-LOAD ROWHOUSES (18' X 40' TYP) (R1-R35)
- 9 MIXED-USE BUILDING (GROUND FLOOR RETAIL, APARTMENTS ABOVE) (MU1-MU4)
- 10 IN-OUT DRY BOAT STORAGE (155' X 720' BUILDING WITH APPROXIMATELY 350 STORAGE SPACES)
- 11 MARINA RESTROOMS
- 12 CLUBHOUSES WITH POOLS AND SPORT COURTS
- 13 CLUBHOUSE WITH RESTAURANT/EVENT SPACE, POOL, AND PUBLIC RESTROOMS
- 14 RETAIL BUILDING
- 15 PUBLIC NATURE VIEW BOARDWALK
- 16 PUBLIC PARKLET WITH WATERFRONT ACCESS AND FISHING DOCK
- 17 PUBLIC PARKLET WITH BOARDWALK, FISHING PLATFORM, AND KAYAK LAUNCH
- 18 MULTI-MODAL TRAIL CONNECTOR
- 19 POOL AND RESTROOM BUILDING FOR WINDWARD POINTE RESIDENTS
- 20 BOAT HOIST/WASH STATION AREA
- 21 STAGING SLIPS FOR IN-OUT SERVICE AND GAS DOCK / PUMP OUT DOCK
- 22 FENCED DOG PARK AND POLLINATOR GARDEN AREA
- 23 PLAYGROUND
- 24 WOODLAND PRESERVATION AREA AND ON-LEASH DOG PARK
- 25 FUTURE RESTAURANT
- 26 TRAFFIC CALMING STREET TREATMENTS (E.G. ROUNDABOUT, SIGNALIZED BIKE CROSSING) TO BE COORDINATED WITH CITY OF MUSKOGON
- 27 BREAK WALL/WAVE ATTENUATOR WITH PUBLIC WALKING PATH, FISHING PLATFORM AND TRANSIENT/VISITOR/SHOPPER DOCKING ON NORTH AND SOUTH SIDES OF PIER
- 28 POSSIBLE FUTURE 1 TO 3-STORY RETAIL/OFFICE STACK, WHICH MAY INCLUDE COFFEE SHOP, SANDWICH SHOP, CONVENIENCE STORE, SHIP STORE, MARINA OFFICE, AND/OR ROOFTOP DECK.
- 29 GAS DOCK AND SERVICE OFFICE

SUMMARY OF LAND USE

SITE LOCATION:	2400 & 2850 LAKESHORE DR. MUSKOGON, MICHIGAN
SITE AREA	= 122.94 AC.
EXISTING ZONING	= I-2 (GENERAL INDUSTRIAL)
PROPOSED ZONING	= PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED DWELLINGS	= 108 DWELLINGS 26/22 X 205' LOTS = 115 DWELLINGS 34 X 150' LOTS = UP TO 684 DWELLINGS (67 BLDGS) "MANSSION" LOT DWELLINGS = UP TO 1,320 DWELLINGS (22 BLDGS) 18' X 40' TOWNHOMES = 35 SLIPS (10 BLDGS) MIXED-USE APARTMENTS = 55 DWELLINGS (4 BLDGS)
PROPOSED DENSITY	= 18.8 D.U./AC.
RETAIL/OFFICE SPACE (MU1-MU4) (NOT INCLUDING FUTURE IMPROVEMENTS)	= 42,780 SQ.FT.
BOAT STORAGE	= 111,600 SQ.FT. (350 SPACES)
BOAT DOCKING SPACES	= 251 718 SLIP = 1 SLIP 103 SLIP = 1 SLIP 98 SLIP = 1 SLIP 93 SLIPS = 1 SLIP 60 SLIPS = 24 SLIPS 50 SLIPS = 77 SLIPS 45 SLIPS = 54 SLIPS 40 SLIPS = 56 SLIPS TRANSIENT/VISITOR/SHOPPER DOCKING SPACES = 1400 LINEAR FEET

SITE REGULATING STANDARDS

- MULTIPLE FAMILY BUILDINGS (A1-A22)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLINGS (APARTMENTS OR CONDOMINIUMS), SENIOR LIVING FACILITY, AND PERMITTED USES WITHIN THE B-2 DISTRICT AT GROUND FLOOR OF BUILDINGS A1-A4
 - MAXIMUM BUILDING HEIGHT = 6 STORIES OR 90 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 25 FT.
 - MINIMUM DISTANCE TO ADJACENT ROADS (EXCLUDES PARKING DRIVE ASLES) = 25 FT.
- ROWHOUSES (R1-R35)**
- ALLOWABLE USES: ATTACHED SINGLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 16 FT.
 - MINIMUM DISTANCES TO ADJACENT ROAD OR SIDEWALK = 10 FT.
- FRONT-LOADED MANSION LOTS (M1-M20 & M41-M57)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 22 FT. MIN. (15 FT. MIN. ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 15 FT. MIN.
- REAR-LOADED MANSION LOTS (M21-M40)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 12 FT. TO 20 FT. MIN. BUILD-TO-LINE (15 FT. MIN. SETBACK ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 1 FT. MIN.

GENERAL NOTES

- SPEED LIMITS THROUGHOUT THE PROPOSED DEVELOPMENT WILL BE A MAXIMUM OF 15 MPH.
- TYPICAL STREET TREE SPACING WILL BE 35 FT. TO 45 FT. ON CENTER, DEPENDING ON SPECIES AND SITE CONSTRAINTS (E.G. CONFLICTS WITH UTILITIES, STREET LIGHTS, DRIVEWAYS, ETC.)
- WAYFINDING SIGNAGE WILL BE STRATEGICALLY PLACED THROUGHOUT THE DEVELOPMENT TO DIRECT PEDESTRIANS TO SITE FEATURES INCLUDING KAYAK LAUNCHES, NATURAL FEATURES, TRAILS, FISHING PLATFORMS, PARKS, CLUBHOUSES, BIKE PATHS, RETAIL CORRIDOR(S), DOG PARKS, ETC.
- OUTDOOR ENTERTAINMENT AT THE RESTAURANT AND OTHER PUBLIC SPACES WILL BE ALLOWED BETWEEN THE HOURS OF 10 AM AND 11 PM AND NOT PERMITTED BETWEEN 11 PM AND 10 AM.
- THERE WILL BE NO GATES OR FENCES WITHIN THE DEVELOPMENT EXCEPT FOR PIERS 2, 3, 4 AND 5; DOG PARKS; SPORT COURTS; PLAYGROUNDS; POOLS; DUMPSTER ENCLOSURES; AND ABOVE GROUND UTILITY SCREENING.
- ALL PUBLIC AMENITY AREAS WILL BE OWNED AND MAINTAINED BY THE DEVELOPMENT ASSOCIATION IN PERPETUITY AS A MEANS OF MAINTAINING A HIGH LEVEL OF CARE AND LESSENING THE BURDEN ON PUBLICLY FUNDED CITY AGENCIES.
- FINAL DUMPSTER ENCLOSURE LOCATIONS SHALL BE REVIEWED AND APPROVED BY CITY OF MUSKOGON STAFF.
- SNOW SHALL BE STORED IN DESIGNATED AREAS, AS SPECIFIED BY CITY OF MUSKOGON MAINTENANCE PERSONNEL OR REMOVED FROM THE SITE AS NEEDED.
- BIKE PARKING SHALL BE PROVIDED AT RETAIL CORRIDOR(S), CLUBHOUSES, AND VARIOUS PUBLIC SPACES THROUGHOUT THE DEVELOPMENT. FINAL LOCATIONS AND DESIGN OF BIKE PARKING FACILITIES TO BE COORDINATED WITH CITY OF MUSKOGON STAFF.
- PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT. LIGHTING SHALL BE COORDINATED WITH CITY STAFF TO CLUSTER IN DESIRED HIGH TRAFFIC PUBLIC AREAS. ALL LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES.
- GROUND FLOOR LEVELS OF BUILDINGS A1-A4 ARE INTENDED TO BE REPURPOSED AS ADDITIONAL RETAIL OR OFFICE SPACE AS NEEDED PER MARKET CONDITIONS. THE CONVERSION OF GROUND FLOOR USES WILL BEGIN AT BUILDING A1 AND EXTEND TO THE EAST SEQUENTIALLY ENDING AT BUILDING A4.
- AREAS P7 AND P8 WILL NOT ALLOW FOR FISHING IF ADJACENT WATERS ARE FOUND TO BE UNSUITABLE BY ENVIRONMENTAL SPECIALISTS.
- TOPOGRAPHICAL REQUIREMENT PER 201 3.E. EXISTING TOPOGRAPHY IS DEPICTED WITH CONTOURS AT 1-FT INTERVALS ON THE EXISTING CONDITIONS PLAN. FINAL TOPOGRAPHIC CHANGES SHALL BE IN COMPLIANCE WITH EGLE DUE CARE PLAN CRITERIA. AREAS OF FILL MUST BE COMPACTED TO DENSITY SPECIFIED BY GEOTECH CONSULTANT.
- THE PROJECT WILL BE SERVED BY PUBLIC WATERMAIN, PUBLIC SANITARY SEWER, AND PUBLIC AND PRIVATE STORMWATER MANAGEMENT SYSTEMS. WATERMAIN, SANITARY SEWER AND STORMWATER MANAGEMENT MEASURES SHALL MEET CITY, COUNTY, AND STATE OF MICHIGAN REQUIREMENTS. "DRY UTILITIES," WHICH INCLUDE ELECTRIC SERVICE, TELECOMMUNICATIONS, AND NATURAL GAS, WILL BE INSTALLED UNDERGROUND AND WILL BE PROVIDED TO EACH SITE.
- A TRAFFIC STUDY SHALL BE CONDUCTED AND REVIEWED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
- A STORMWATER PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- A LANDSCAPE MANAGEMENT PLAN FOR A NATIVE VEGETATION PLANTING ZONE AROUND THE WATERFRONT HOMES, PATHS AND PATIOS WITHIN 30 FEET OF THE O.H.W.M. SHALL BE SUBMITTED BY THE DEVELOPER AND APPROVED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
- A PROPOSED UTILITIES PLAN SHALL SUBMITTED TO AND APPROVED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
- ALL MARINA SLIPS WILL HAVE FIRE ACCESS.
- ALL APPLICABLE CITY, STATE, AND FEDERAL PERMITS SHALL BE GRANTED PRIOR TO CONSTRUCTION OF IMPACTED SITE FEATURES.

WINDWARD POINTE

FINAL PUD PLAN - PHASING PLAN

project number: 23201248



23201245-20231029-PRD-2 - 10/26/2023 @ 12:00 PM



LEGEND

- 1 SITE ENTRANCE
- 2 SINGLE FAMILY STAGGERED LOT (26'-22" X 205' TYP) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 3 SINGLE FAMILY ALIGNED LOT (34' X 150' TYP) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 4 10-12 UNIT FRONT-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 150' TYP)
- 5 10-12 UNIT REAR-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 115' TYP)
- 6 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING OR POSSIBLE FUTURE GROUND FLOOR RETAIL (BUILDINGS A1-A4)
- 7 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING (BUILDINGS A5-A22)
- 8 REAR-LOAD ROWHOUSES (18' X 40' TYP) (R1-R35)
- 9 MIXED-USE BUILDING (GROUND FLOOR RETAIL, APARTMENTS ABOVE) (MU1-MU4)
- 10 IN-OUT DRY BOAT STORAGE (155' X 720' BUILDING WITH APPROXIMATELY 350 STORAGE SPACES)
- 11 MARINA RESTROOMS
- 12 CLUBHOUSES WITH POOLS AND SPORT COURTS
- 13 CLUBHOUSE WITH RESTAURANT/EVENT SPACE, POOL, AND PUBLIC RESTROOMS
- 14 RETAIL BUILDING
- 15 PUBLIC NATURE VIEW BOARDWALK
- 16 PUBLIC PARKLET WITH WATERFRONT ACCESS AND FISHING DOCK
- 17 PUBLIC PARKLET WITH BOARDWALK, FISHING PLATFORM, AND KAYAK LAUNCH
- 18 MULTI-MODAL TRAIL CONNECTOR
- 19 POOL AND RESTROOM BUILDING FOR WINDWARD POINTE RESIDENTS
- 20 BOAT HOIST/WASH STATION AREA
- 21 STAGING SLIPS FOR IN-OUT SERVICE AND GAS DOCK / PUMP OUT DOCK
- 22 FENCED DOG PARK AND POLLINATOR GARDEN AREA
- 23 PLAYGROUND
- 24 WOODLAND PRESERVATION AREA AND ON-LEASH DOG PARK
- 25 FUTURE RESTAURANT
- 26 TRAFFIC CALMING STREET TREATMENTS (E.G. ROUNDABOUT, SIGNALIZED BIKE CROSSING) TO BE COORDINATED WITH CITY OF MUSKEGON
- 27 BREAK WALL/WAVE ATTENUATOR WITH PUBLIC WALKING PATH, FISHING PLATFORM AND TRANSIENT/VISITOR/SHOPPER DOCKING ON NORTH AND SOUTH SIDES OF PIER
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- 29 GAS DOCK AND SERVICE OFFICE

SUMMARY OF LAND USE

SITE LOCATION:	2400 & 2850 LAKESHORE DR. MUSKEGON, MICHIGAN
SITE AREA	= 122.94 AC.
EXISTING ZONING	= I-2 (GENERAL INDUSTRIAL)
PROPOSED ZONING	= PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED DWELLINGS	= 108 DWELLINGS 26/22 X 205' LOTS = 34 X 150' LOTS "MANSION" LOT DWELLINGS UP TO 684 DWELLINGS (67 BLDGS) UP TO 1,320 DWELLINGS (22 BLDGS) 18' X 40' TOWNHOMES MIXED-USE APARTMENTS = 55 DWELLINGS (4 BLDGS)
PROPOSED DENSITY	= 18.8 D.U./AC.
RETAIL/OFFICE SPACE (MU1-MU4) (NOT INCLUDING FUTURE IMPROVEMENTS)	= 42,780 SQ.FT.
BOAT STORAGE	= 111,600 SQ.FT. (350 SPACES)
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SITE REGULATING STANDARDS

- MULTIPLE FAMILY BUILDINGS (A1-A22)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLINGS (APARTMENTS OF CONDOMINIUMS), SENIOR LIVING FACILITY, AND PERMITTED USES WITHIN THE B-2 DISTRICT AT GROUND FLOOR OF BUILDINGS A1-A4
 - MAXIMUM BUILDING HEIGHT = 6 STORIES OR 90 FT., WHICHEVER IS LESS
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 - MINIMUM DISTANCE TO ADJACENT ROADS (EXCLUDES PARKING DRIVE ASLES) = 25 FT.
- ROWHOUSES (R1-R35)**
- ALLOWABLE USES: ATTACHED SINGLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 16 FT.
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- FRONT-LOADED MANSION LOTS (M1-M20 & M41-M57)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 22 FT. MIN. (15 FT. MIN. ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 15 FT. MIN.
- REAR-LOADED MANSION LOTS (M21-M40)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 12 FT. TO 20 FT. MIN. BUILD-TO-LINE (15 FT. MIN. SETBACK ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 1 FT. MIN.

GENERAL NOTES

- SPEED LIMITS THROUGHOUT THE PROPOSED DEVELOPMENT WILL BE A MAXIMUM OF 15 MPH.
- TYPICAL STREET TREE SPACING WILL BE 35 FT. TO 45 FT. ON CENTER, DEPENDING ON SPECIES AND SITE CONSTRAINTS (E.G. CONFLICTS WITH UTILITIES, STREET LIGHTS, DRIVEWAYS, ETC.)
- WAYFINDING SIGNAGE WILL BE STRATEGICALLY PLACED THROUGHOUT THE DEVELOPMENT TO DIRECT PEDESTRIANS TO SITE FEATURES INCLUDING KAYAK LAUNCHES, NATURAL FEATURES, TRAILS, FISHING PLATFORMS, PARKS, CLUBHOUSES, BIKE PATHS, RETAIL CORRIDOR(S), DOG PARKS, ETC.
- OUTDOOR ENTERTAINMENT AT THE RESTAURANT AND OTHER PUBLIC SPACES WILL BE ALLOWED BETWEEN THE HOURS OF 10 AM AND 11 PM AND NOT PERMITTED BETWEEN 11 PM AND 10 AM.
- THERE WILL BE NO GATES OR FENCES WITHIN THE DEVELOPMENT EXCEPT FOR PIERS 2, 3, 4 AND 5; DOG PARKS; SPORT COURTS; PLAYGROUNDS; POOLS; DUMPSTER ENCLOSURES; AND ABOVE GROUND UTILITY SCREENING.
- ALL PUBLIC AMENITY AREAS WILL BE OWNED AND MAINTAINED BY THE DEVELOPMENT ASSOCIATION IN PERPETUITY AS A MEANS OF MAINTAINING A HIGH LEVEL OF CARE AND LESSENING THE BURDEN ON PUBLICLY FUNDED CITY AGENCIES.
- FINAL DUMPSTER ENCLOSURE LOCATIONS SHALL BE REVIEWED AND APPROVED BY CITY OF MUSKEGON STAFF.
- SNOW SHALL BE STORED IN DESIGNATED AREAS, AS SPECIFIED BY CITY OF MUSKEGON MAINTENANCE PERSONNEL OR REMOVED FROM THE SITE AS NEEDED.
- BIKE PARKING SHALL BE PROVIDED AT RETAIL CORRIDORS, CLUBHOUSES, AND VARIOUS PUBLIC SPACES THROUGHOUT THE DEVELOPMENT. FINAL LOCATIONS AND DESIGN OF BIKE PARKING FACILITIES TO BE COORDINATED WITH CITY OF MUSKEGON STAFF.
- PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT. LIGHTING SHALL BE COORDINATED WITH CITY STAFF TO CLUSTER IN DESIRED HIGH TRAFFIC PUBLIC AREAS. ALL LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES.
- GROUND FLOOR LEVELS OF BUILDINGS A1-A4 ARE INTENDED TO BE REPURPOSED AS ADDITIONAL RETAIL OR OFFICE SPACE AS NEEDED PER MARKET CONDITIONS. THE CONVERSION OF GROUND FLOOR USES WILL BEGIN AT BUILDING A1 AND EXTEND TO THE EAST SEQUENTIALLY ENDING AT BUILDING A4.
- AREAS P7 AND P8 WILL NOT ALLOW FOR FISHING IF ADJACENT WATERS ARE FOUND TO BE UNSUITABLE BY ENVIRONMENTAL SPECIALISTS.
- TOPOGRAPHICAL REQUIREMENT PER 201 3.E. EXISTING TOPOGRAPHY IS DEPICTED WITH CONTOURS AT 1-FT INTERVALS ON THE EXISTING CONDITIONS PLAN. FINAL TOPOGRAPHIC CHANGES SHALL BE IN COMPLIANCE WITH EGLE DUE CARE PLAN CRITERIA. AREAS OF FILL MUST BE COMPACTED TO DENSITY SPECIFIED BY GEOTECH CONSULTANT.
- THE PROJECT WILL BE SERVED BY PUBLIC WATERMAIN, PUBLIC SANITARY SEWER, AND PUBLIC AND PRIVATE STORMWATER MANAGEMENT SYSTEMS. WATERMAIN, SANITARY SEWER AND STORMWATER MANAGEMENT MEASURES SHALL MEET CITY, COUNTY, AND STATE OF MICHIGAN REQUIREMENTS. "DRY UTILITIES," WHICH INCLUDE ELECTRIC SERVICE, TELECOMMUNICATIONS, AND NATURAL GAS, WILL BE INSTALLED UNDERGROUND AND WILL BE PROVIDED TO EACH SITE.
- A TRAFFIC STUDY SHALL BE CONDUCTED AND REVIEWED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
- A STORMWATER PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- A LANDSCAPE MANAGEMENT PLAN FOR A NATIVE VEGETATION PLANTING ZONE AROUND THE WATERFRONT PAGES, PATHS AND PATIOS WITHIN 30 FEET OF THE O.H.W.M. SHALL BE SUBMITTED BY THE DEVELOPER AND APPROVED BY THE PUBLIC WORKS DIRECTOR.
- A PROPOSED UTILITIES PLAN SHALL SUBMITTED TO AND APPROVED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
- ALL MARINA SLIPS WILL HAVE FIRE ACCESS.
- ALL APPLICABLE CITY, STATE, AND FEDERAL PERMITS SHALL BE GRANTED PRIOR TO CONSTRUCTION OF IMPACTED SITE FEATURES.

WINDWARD POINTE

FINAL PUD PLAN - PUBLIC AMENITY & PEDESTRIAN CIRCULATION EXHIBIT

project number: 23201248



23201246_2023110203-PREL2_Conceptual_11/21/2023 @ 12:00 PM



LEGEND

- 1 SITE ENTRANCE
- 2 SINGLE FAMILY STAGGERED LOT (26'-22" X 205' TYP) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 3 SINGLE FAMILY ALIGNED LOT (34' X 150' TYP) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 4 10-12 UNIT FRONT-LOADED CONDO OR APARTMENT 'MANSION' LOTS (100' X 150' TYP)
- 5 10-12 UNIT REAR-LOADED CONDO OR APARTMENT 'MANSION' LOTS (100' X 115' TYP)
- 6 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING OR POSSIBLE FUTURE GROUND FLOOR RETAIL (BUILDINGS A1-A4)
- 7 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING (BUILDINGS A5-A22)
- 8 REAR-LOAD ROWHOUSES (18' X 40' TYP) (R1-R35)
- 9 MIXED-USE BUILDING (GROUND FLOOR RETAIL, APARTMENTS ABOVE) (MU1-MU4)
- 10 IN-OUT DRY BOAT STORAGE (155' X 720' BUILDING WITH APPROXIMATELY 350 STORAGE SPACES)
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- 12 CLUBHOUSES WITH POOLS AND SPORT COURTS
- 13 CLUBHOUSE WITH RESTAURANT/EVENT SPACE, POOL, AND PUBLIC RESTROOMS
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- 16 PUBLIC PARKLET WITH WATERFRONT ACCESS AND FISHING DOCK
- 17 PUBLIC PARKLET WITH BOARDWALK, FISHING PLATFORM, AND KAYAK LAUNCH
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- 19 POOL AND RESTROOM BUILDING FOR WINDWARD POINTE RESIDENTS
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- 21 STAGING SLIPS FOR IN-OUT SERVICE AND GAS DOCK / PUMP OUT DOCK
- 22 FENCED DOG PARK AND POLLINATOR GARDEN AREA
- 23 PLAYGROUND
- 24 WOODLAND PRESERVATION AREA AND ON-LEASH DOG PARK
- 25 FUTURE RESTAURANT
- 26 TRAFFIC CALMING STREET TREATMENTS (E.G. ROUNDABOUT, SIGNALIZED BIKE CROSSING) TO BE COORDINATED WITH CITY OF MUSKOGON
- 27 BREAK WALL/WAVE ATTENUATOR WITH PUBLIC WALKING PATH, FISHING PLATFORM AND TRANSIENT/VISITOR/SHOPPER DOCKING ON NORTH AND SOUTH SIDES OF PIER
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- 29 GAS DOCK AND SERVICE OFFICE

SUMMARY OF LAND USE

SITE LOCATION:	2400 & 2850 LAKESHORE DR. MUSKOGON, MICHIGAN
SITE AREA	= 122.94 AC.
EXISTING ZONING	= I-2 (GENERAL INDUSTRIAL)
PROPOSED ZONING	= PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED DWELLINGS	= 108 DWELLINGS 26/22 X 205' LOTS = 34 X 150' LOTS "MANSION" LOT DWELLINGS UP TO 684 DWELLINGS (67 BLDGS) MULTIPLE FAMILY APTS/CONDOS UP TO 1,320 DWELLINGS (22 BLDGS) 18' X 40' TOWNHOMES = 35 UNITS (10 BLDGS) MIXED-USE APARTMENTS = 55 DWELLINGS (4 BLDGS)
PROPOSED DENSITY	= 18.8 D.U./AC.
RETAIL/OFFICE SPACE (MU1-MU4) (NOT INCLUDING FUTURE IMPROVEMENTS)	= 42,780 SQ.FT.
BOAT STORAGE	= 111,600 SQ.FT. (350 SPACES)
BOAT DOCKING SPACES	= 251 718 SLIP = 1 SLIP 103 SLIP = 1 SLIP 98 SLIP = 1 SLIP 93 SLIPS = 1 SLIP 60 SLIPS = 24 SLIPS 50 SLIPS = 77 SLIPS 45 SLIPS = 54 SLIPS 40 SLIPS = 56 SLIPS TRANSIENT/VISITOR/SHOPPER DOCKING SPACES = 1400 LINEAR FEET

SITE REGULATING STANDARDS

- MULTIPLE FAMILY BUILDINGS (A1-A22)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLINGS (APARTMENTS OR CONDOMINIUMS), SENIOR LIVING FACILITY, AND PERMITTED USES WITHIN THE B-2 DISTRICT AT GROUND FLOOR OF BUILDINGS A1-A4
 - MAXIMUM BUILDING HEIGHT = 6 STORIES OR 90 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 25 FT.
 - MINIMUM DISTANCE TO ADJACENT ROADS (EXCLUDES PARKING DRIVE ASLES) = 25 FT.
- ROWHOUSES (R1-R35)**
- ALLOWABLE USES: ATTACHED SINGLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 16 FT.
 - MINIMUM DISTANCES TO ADJACENT ROAD OR SIDEWALK = 10 FT.
- FRONT-LOADED MANSION LOTS (M1-M20 & M41-M57)**
- ALLOWABLE USES: SINGLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 22 FT. MIN. (15 FT. MIN. ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 15 FT. MIN.
- REAR-LOADED MANSION LOTS (M21-M40)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 12 FT. TO 20 FT. MIN. BUILD-TO-LINE (15 FT. MIN. SETBACK ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 1 FT. MIN.

GENERAL NOTES

- ALIGNED LOTS (34' X 150' TYP)**
- ALLOWABLE USES: DETACHED SINGLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 3 STORIES PLUS BASEMENT
 - SETBACKS
FRONT YARD = 22 FT. MIN.
SIDE YARD = 5 FT. MIN.
REAR YARD = 15 FT. MIN. FROM O.H.W.M.
- STAGGERED LOTS (22'-26" X 205' TYP)**
- ALLOWABLE USES: DETACHED SINGLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 3 STORIES PLUS BASEMENT
 - SETBACKS
FRONT YARD = 22 FT. MIN.
SIDE YARD = 0 FT. MIN.
REAR YARD = 15 FT. MIN. FROM O.H.W.M.
- CLUBHOUSE SITE FEATURES (2 AND 13 ON THE PLAN)**
- ALLOWABLE USES: COMMUNITY CENTER, EVENT CENTER, RECREATION CENTER, RESTAURANT, COCKTAIL LOUNGE, AND BREVINUB; AND MUSIC VENUE (INDOOR AND OUTDOOR)
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM DISTANCE TO OHWM = 15 FT.
 - MINIMUM DISTANCE FROM ADJACENT LOT LINES = 15 FT.
- MIXED-USE (MU1-MU4)**
- ALLOWABLE USES: GROUND FLOOR - PERMITTED USES IN THE B-2 DISTRICT, UPPER LEVELS - MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM DISTANCE FROM ADJACENT LOT LINES = 15 FT.
- BOAT STORAGE BUILDING**
- ALLOWABLE USES: BOAT STORAGE AND SIMILAR OR ACCESSORY USE, PERMITTED USES WITHIN THE B-2 DISTRICT
 - MAXIMUM BUILDING HEIGHT = 50 FT.
- SPEED LIMITS THROUGHOUT THE PROPOSED DEVELOPMENT WILL BE A MAXIMUM OF 15 MPH.
 - TYPICAL STREET TREE SPACING WILL BE 35 FT. TO 45 FT. ON CENTER, DEPENDING ON SPECIES AND SITE CONSTRAINTS (E.G. CONFLICTS WITH UTILITIES, STREET LIGHTS, DRIVEWAYS, ETC.)
 - WAYFINDING SIGNAGE WILL BE STRATEGICALLY PLACED THROUGHOUT THE DEVELOPMENT TO DIRECT PEDESTRIANS TO SITE FEATURES INCLUDING KAYAK LAUNCHES, NATURAL FEATURES, TRAILS, FISHING PLATFORMS, PARKS, CLUBHOUSES, BIKE PATHS, RETAIL CORRIDOR(S), DOG PARKS, ETC.
 - OUTDOOR ENTERTAINMENT AT THE RESTAURANT AND OTHER PUBLIC SPACES WILL BE ALLOWED BETWEEN THE HOURS OF 10 AM AND 11 PM AND NOT PERMITTED BETWEEN 11 PM AND 10 AM.
 - THERE WILL BE NO GATES OR FENCES WITHIN THE DEVELOPMENT EXCEPT FOR PIERS 2, 3, 4 AND 5; DOG PARKS; SPORT COURTS; PLAYGROUNDS; POOLS; DUMPSTER ENCLOSURES; AND ABOVE GROUND UTILITY SCREENING.
 - ALL PUBLIC AMENITY AREAS WILL BE OWNED AND MAINTAINED BY THE DEVELOPMENT ASSOCIATION IN PERPETUITY AS A MEANS OF MAINTAINING A HIGH LEVEL OF CARE AND LESSENING THE BURDEN ON PUBLICLY FUNDED CITY AGENCIES.
 - FINAL DUMPSTER ENCLOSURE LOCATIONS SHALL BE REVIEWED AND APPROVED BY CITY OF MUSKOGON STAFF.
 - SNOW SHALL BE STORED IN DESIGNATED AREAS, AS SPECIFIED BY CITY OF MUSKOGON MAINTENANCE PERSONNEL OR REMOVED FROM THE SITE AS NEEDED.
 - BIKE PARKING SHALL BE PROVIDED AT RETAIL CORRIDORS, CLUBHOUSES, AND VARIOUS PUBLIC SPACES THROUGHOUT THE DEVELOPMENT. FINAL LOCATIONS AND DESIGN OF BIKE PARKING FACILITIES TO BE COORDINATED WITH CITY OF MUSKOGON STAFF.
 - PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT. LIGHTING SHALL BE COORDINATED WITH CITY STAFF TO CLUSTER IN DESIRED HIGH TRAFFIC PUBLIC AREAS. ALL LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES.
 - GROUND FLOOR LEVELS OF BUILDINGS A1-A4 ARE INTENDED TO BE REPURPOSED AS ADJACENT RETAIL OR OFFICE SPACE AS NEEDED PER MARKET CONDITIONS. THE CONVERSION OF GROUND FLOOR USES WILL BEGIN AT BUILDING A1 AND EXTEND TO THE EAST SEQUENTIALLY ENDING AT BUILDING A4.
 - AREAS P7 AND P8 WILL NOT ALLOW FOR FISHING IF ADJACENT WATERS ARE FOUND TO BE UNSUITABLE BY ENVIRONMENTAL SPECIALISTS.
 - TOPOGRAPHICAL REQUIREMENT PER 201 3.E. EXISTING TOPOGRAPHY IS DEPICTED WITH CONTOURS AT 1-FT INTERVALS ON THE EXISTING CONDITIONS PLAN. FINAL TOPOGRAPHIC CHANGES SHALL BE IN COMPLIANCE WITH EGLE DUE CARE PLAN CRITERIA. AREAS OF FILL MUST BE COMPACTED TO DENSITY SPECIFIED BY GEOTECH CONSULTANT.
 - THE PROJECT WILL BE SERVED BY PUBLIC WATERMAIN, PUBLIC SANITARY SEWER, AND PUBLIC AND PRIVATE STORMWATER MANAGEMENT SYSTEMS. WATERMAIN, SANITARY SEWER AND STORMWATER MANAGEMENT MEASURES SHALL MEET CITY, COUNTY, AND STATE OF MICHIGAN REQUIREMENTS. "DRY UTILITIES," WHICH INCLUDE ELECTRIC SERVICE, TELECOMMUNICATIONS, AND NATURAL GAS, WILL BE INSTALLED UNDERGROUND AND WILL BE PROVIDED TO EACH SITE.
 - A TRAFFIC STUDY SHALL BE CONDUCTED AND REVIEWED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
 - A STORMWATER PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
 - A LANDSCAPE MANAGEMENT PLAN FOR A NATIVE VEGETATION PLANTING ZONE AROUND THE WATERFRONT HOMES, PATIOS AND PATIOS WITHIN 30 FEET OF THE O.H.W.M. SHALL BE SUBMITTED BY THE DEVELOPER AND APPROVED BY THE PUBLIC WORKS DIRECTOR.
 - A PROPOSED UTILITIES PLAN SHALL SUBMITTED TO AND APPROVED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
 - ALL MARINA SLIPS WILL HAVE FIRE ACCESS.
 - ALL APPLICABLE CITY, STATE, AND FEDERAL PERMITS SHALL BE GRANTED PRIOR TO CONSTRUCTION OF IMPACTED SITE FEATURES.

23.01.21.249.2023.1023.PREL2_PREL2_conceptual_10/26/2023 @ 12:00 pm



NOTE: AT THE DEVELOPER'S DISCRETION, THE EXISTING POND MAY CONNECT TO MUSKEGON LAKE (I.E. LAND BERM REMOVED) SUBJECT TO E.G.L.E. AND A.C.E. APPROVAL

LEGEND

- 1 SITE ENTRANCE
- 2 SINGLE FAMILY STAGGERED LOT (26'-22" X 205' TYP) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 3 SINGLE FAMILY ALIGNED LOT (34' X 150' TYP) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 4 10-12 UNIT FRONT-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 150' TYP)
- 5 10-12 UNIT REAR-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 115' TYP)
- 6 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING OR POSSIBLE FUTURE GROUND FLOOR RETAIL (BUILDINGS A1-A4)
- 7 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING (BUILDINGS A5-A22)
- 8 REAR-LOAD ROWHOUSES (18' X 40' TYP) (R1-R35)
- 9 MIXED-USE BUILDING (GROUND FLOOR RETAIL, APARTMENTS ABOVE) (MU1-MU4)
- 10 IN-OUT DRY BOAT STORAGE (155' X 720' BUILDING WITH APPROXIMATELY 350 STORAGE SPACES)
- 11 MARINA RESTROOMS
- 12 CLUBHOUSES WITH POOLS AND SPORT COURTS
- 13 CLUBHOUSE WITH RESTAURANT/EVENT SPACE, POOL, AND PUBLIC RESTROOMS
- 14 RETAIL BUILDING
- 15 PUBLIC NATURE VIEW BOARDWALK
- 16 PUBLIC PARKLET WITH WATERFRONT ACCESS AND FISHING DOCK
- 17 PUBLIC PARKLET WITH BOARDWALK, FISHING PLATFORM, AND KAYAK LAUNCH
- 18 MULTI-MODAL TRAIL CONNECTOR
- 19 POOL AND RESTROOM BUILDING FOR WINDWARD POINTE RESIDENTS
- 20 BOAT HOIST/WASH STATION AREA
- 21 STAGING SLIPS FOR IN-OUT SERVICE AND GAS DOCK / PUMP OUT DOCK
- 22 FENCED DOG PARK AND POLLINATOR GARDEN AREA
- 23 PLAYGROUND
- 24 WOODLAND PRESERVATION AREA AND ON-LEASH DOG PARK
- 25 FUTURE RESTAURANT
- 26 TRAFFIC CALMING STREET TREATMENTS (E.G. ROUNDABOUT, SIGNALIZED BIKE CROSSING) TO BE COORDINATED WITH CITY OF MUSKEGON
- 27 BREAK WALL/WAVE ATTENUATOR WITH PUBLIC WALKING PATH, FISHING PLATFORM AND TRANSIENT/VISITOR/SHOPPER DOCKING ON NORTH AND SOUTH SIDES OF PIER
- 28 POSSIBLE FUTURE 1 TO 3-STORY RETAIL/OFFICE STACK, WHICH MAY INCLUDE COFFEE SHOP, SANDWICH SHOP, CONVENIENCE STORE, SHIP STORE, MARINA OFFICE, AND/OR ROOFTOP DECK.
- 29 GAS DOCK AND SERVICE OFFICE

SUMMARY OF LAND USE

SITE LOCATION:	2400 & 2850 LAKESHORE DR. MUSKEGON, MICHIGAN
SITE AREA	= 122.94 AC.
EXISTING ZONING	= I-2 (GENERAL INDUSTRIAL)
PROPOSED ZONING	= PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED DWELLINGS	= 108 DWELLINGS 26/22 X 205' LOTS 34 X 150' LOTS "MANSION" LOT DWELLINGS UP TO 684 DWELLINGS (67 BLDGS) UP TO 1,320 DWELLINGS (22 BLDGS) 18 X 40' TOWNHOMES MIXED-USE APARTMENTS = 55 DWELLINGS (4 BLDGS)
PROPOSED DENSITY	= 18.8 D.U./AC.
RETAIL/OFFICE SPACE (MU1-MU4) (NOT INCLUDING FUTURE IMPROVEMENTS)	= 42,780 SQ.FT.
BOAT STORAGE	= 111,600 SQ.FT. (350 SPACES)
BOAT DOCKING SPACES	= 251 718 SLIP 103 SLIP 98 SLIP 93 SLIPS 60 SLIPS 50 SLIPS 45 SLIPS 40 SLIPS TRANSIENT/VISITOR/SHOPPER DOCKING SPACES = 1400 LINEAR FEET

SITE REGULATING STANDARDS

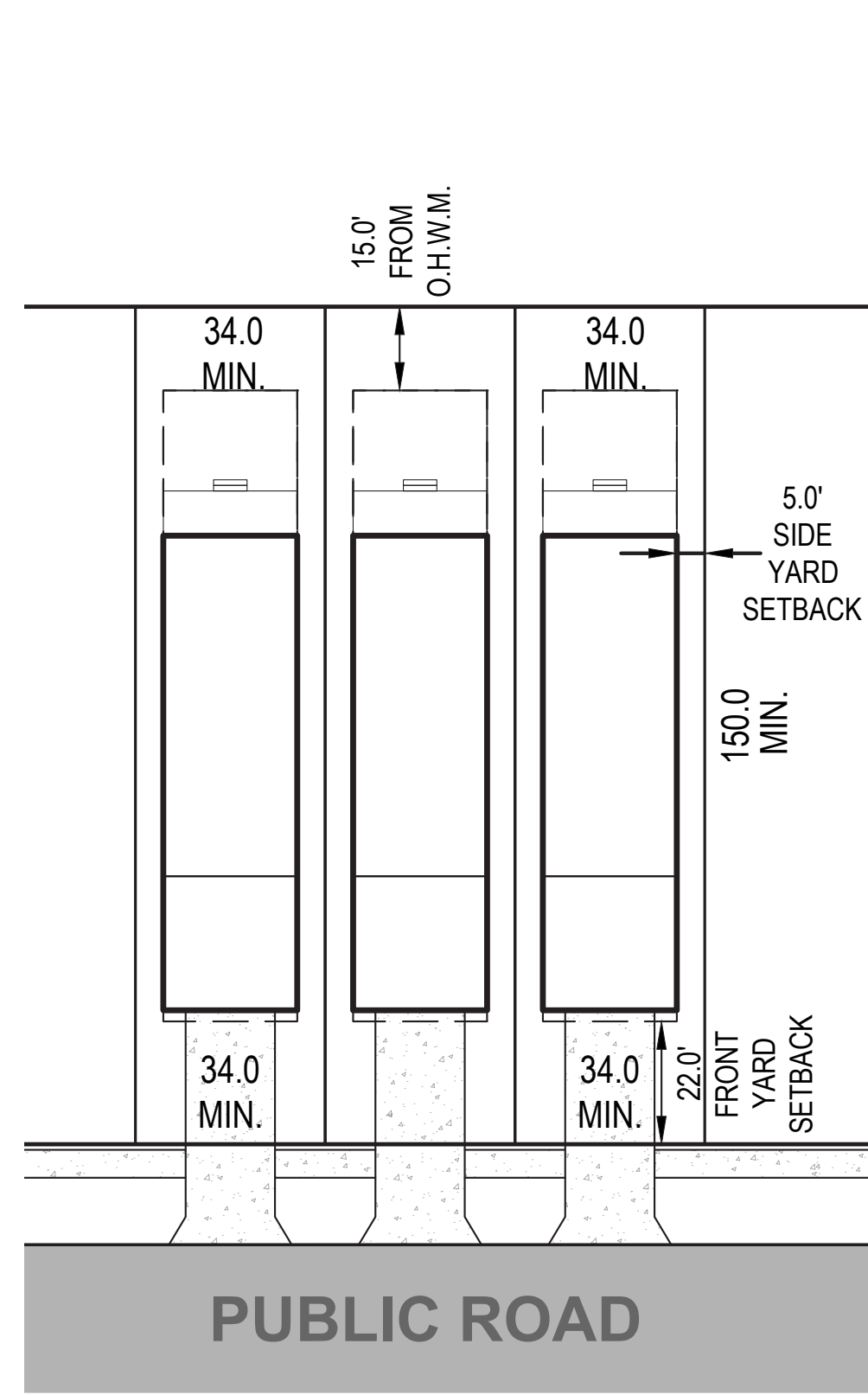
- MULTIPLE FAMILY BUILDINGS (A1-A22)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLINGS (APARTMENTS OF CONDOMINIUMS), SENIOR LIVING FACILITY, AND PERMITTED USES WITHIN THE B-2 DISTRICT AT GROUND FLOOR OF BUILDINGS A1-A4
 - MAXIMUM BUILDING HEIGHT = 6 STORIES OR 90 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 25 FT.
 - MINIMUM DISTANCE TO ADJACENT ROADS (EXCLUDES PARKING DRIVE ASLES) = 25 FT.
- ROWHOUSES (R1-R35)**
- ALLOWABLE USES: ATTACHED SINGLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 16 FT.
 - MINIMUM DISTANCES TO ADJACENT ROAD OR SIDEWALK = 10 FT.
- FRONT-LOADED MANSION LOTS (M1-M20 & M41-M57)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 22 FT. MIN. (15 FT. MIN. ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 15 FT. MIN.
- REAR-LOADED MANSION LOTS (M21-M40)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
FRONT YARD = 12 FT. TO 20 FT. MIN. BUILD-TO-LINE (15 FT. MIN. SETBACK ON SECONDARY FRONT YARD OF CORNER LOTS)
SIDE YARD = 5 FT. MIN.
REAR YARD = 1 FT. MIN.

GENERAL NOTES

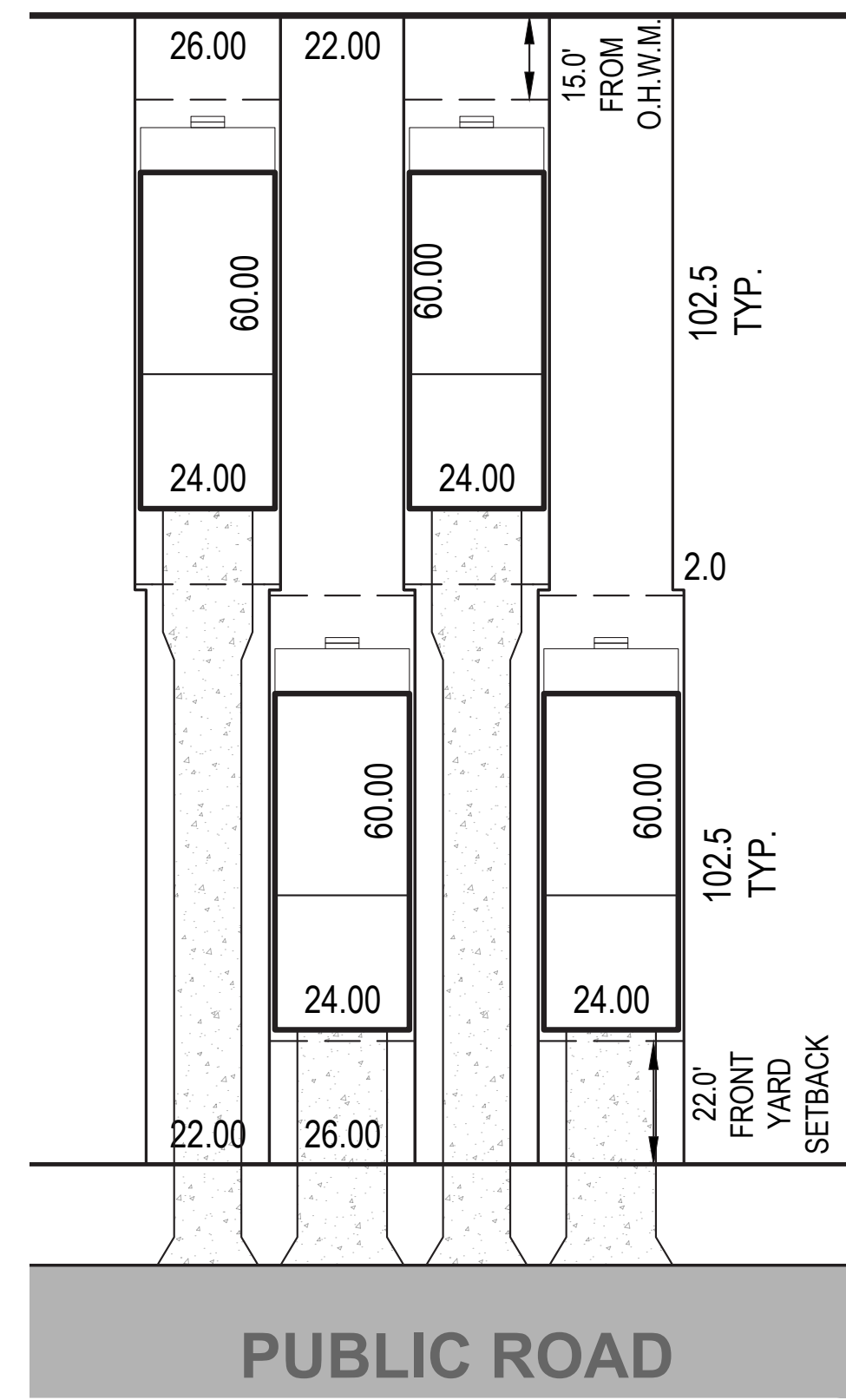
- SPEED LIMITS THROUGHOUT THE PROPOSED DEVELOPMENT WILL BE A MAXIMUM OF 15 MPH.
- TYPICAL STREET TREE SPACING WILL BE 35 FT. TO 45 FT. ON CENTER, DEPENDING ON SPECIES AND SITE CONSTRAINTS (E.G. CONFLICTS WITH UTILITIES, STREET LIGHTS, DRIVEWAYS, ETC.)
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WINDWARD POINTE
FINAL PUD PLAN
project number: 23201268

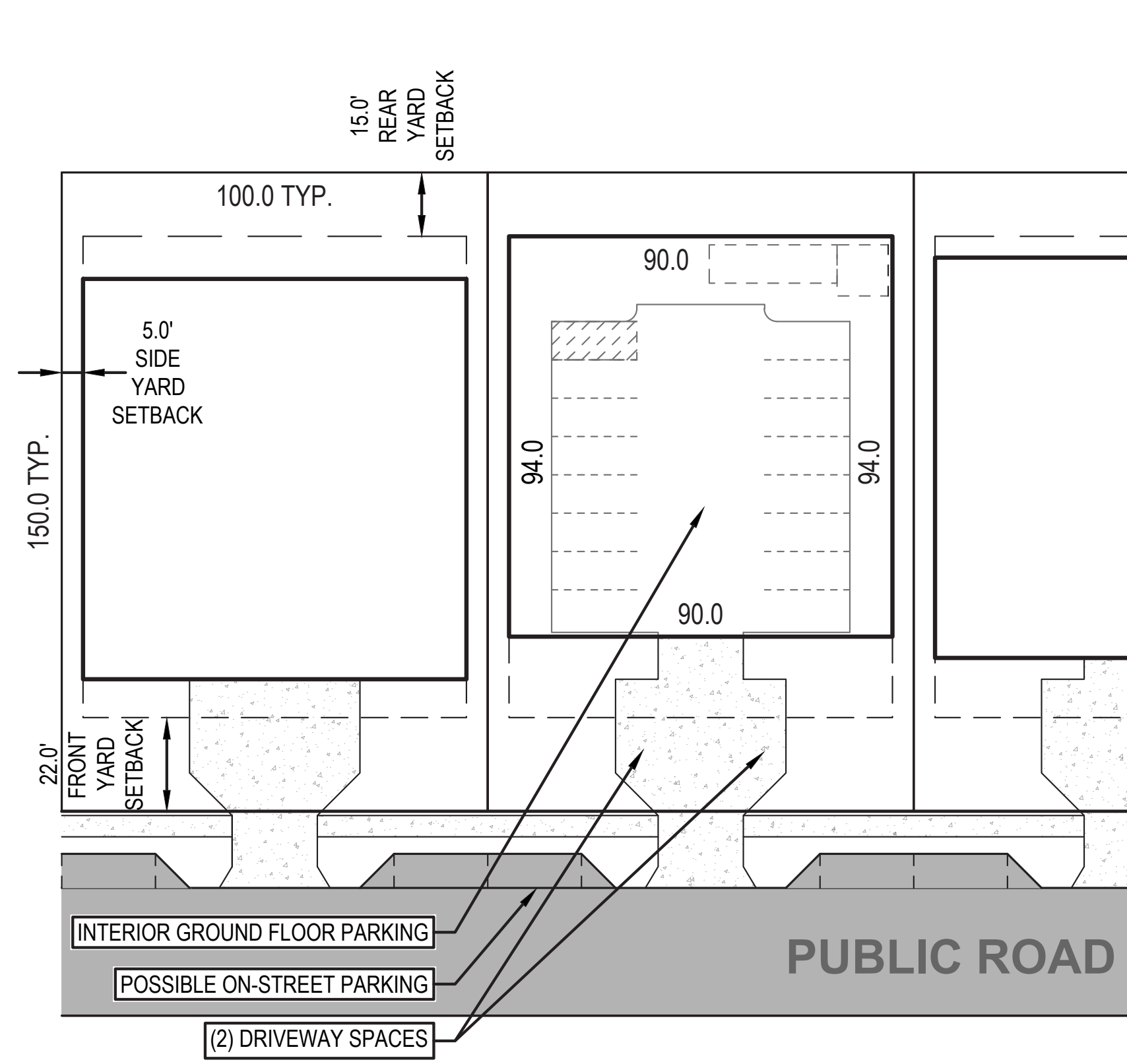




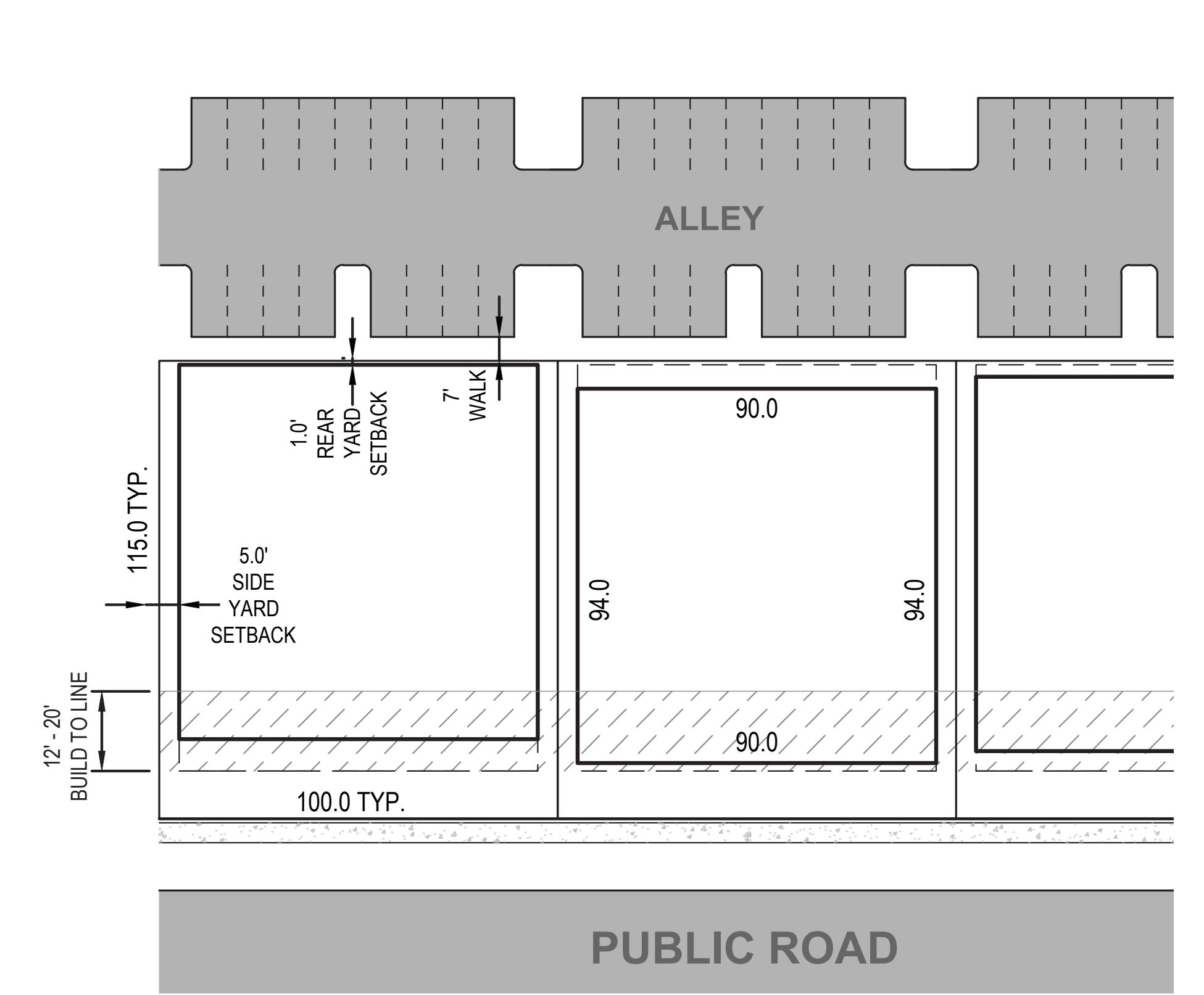
34' X 150' LOTS
3 STORY WITH BASEMENT



26'/22' X 205' LOTS
3 STORY WITH BASEMENT



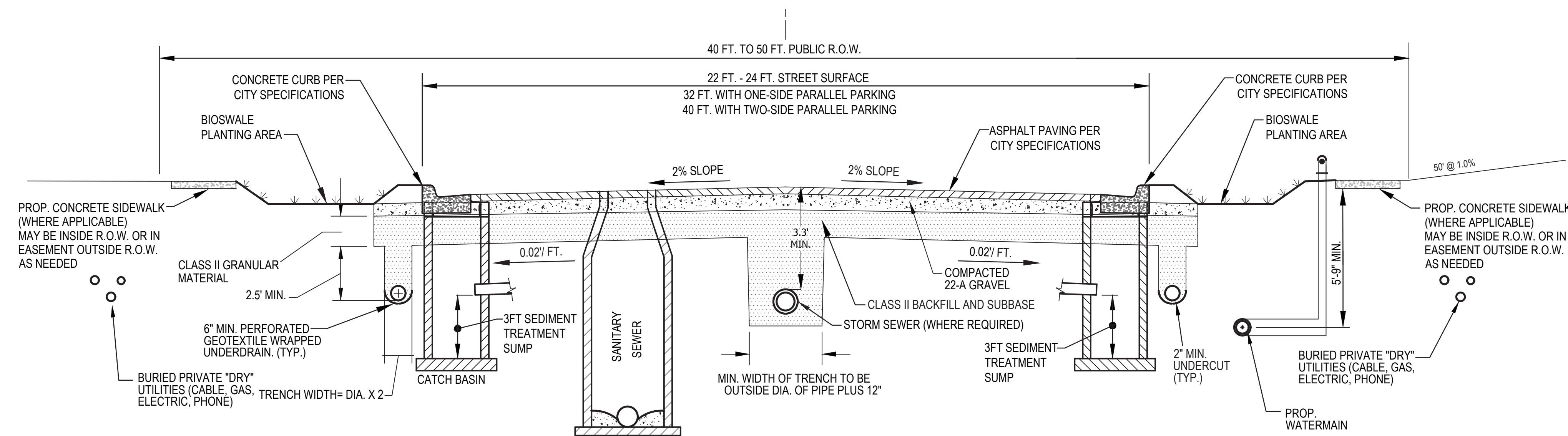
FRONT-LOADED CONDO OR APT. "MANSION" LOTS
3 TO 5 STORY STRUCTURES



REAR-LOADED CONDO OR APT. "MANSION" LOTS
3 TO 5 STORY STRUCTURES

TYPICAL LOT CONFIGURATIONS

N.T.S.



PUBLIC ROAD CROSS SECTION

N.T.S.

October 26, 2023



Windward Pointe Public Amenity Area Summary

I. Public Amenity Areas Directly on Muskegon Lake

Area	Total Area - Sq. Ft.		Public Waterfront Linear Feet		Public Waterfront Boardwalk Linear Feet	
P1	12,917	Sq. Ft.	180	LF	-	
P2	43,236	Sq. Ft.	-		1,454	LF
P3	28,538	Sq. Ft.	304	LF	-	
P4	1,473	Sq. Ft.	69	LF	-	
P5	5,349	Sq. Ft.	19	LF	-	
P6	2,926	Sq. Ft.	69	LF	-	
P7	4,325	Sq. Ft.	157	LF	-	
P8	4,412	Sq. Ft.	84	LF	-	
P9	9,856	Sq. Ft.	49	LF	-	
P10	21,181	Sq. Ft.	-		-	
P11	111,895	Sq. Ft.	-		-	
P12	4,721	Sq. Ft.	90	LF	-	
P13	4,152	Sq. Ft.	-		519	LF
P14	17,505	Sq. Ft.	-		-	
P15	Length is 4,093 LF		-		-	
Totals	272,486	Sq. Ft.	1,021	LF	1,973	LF

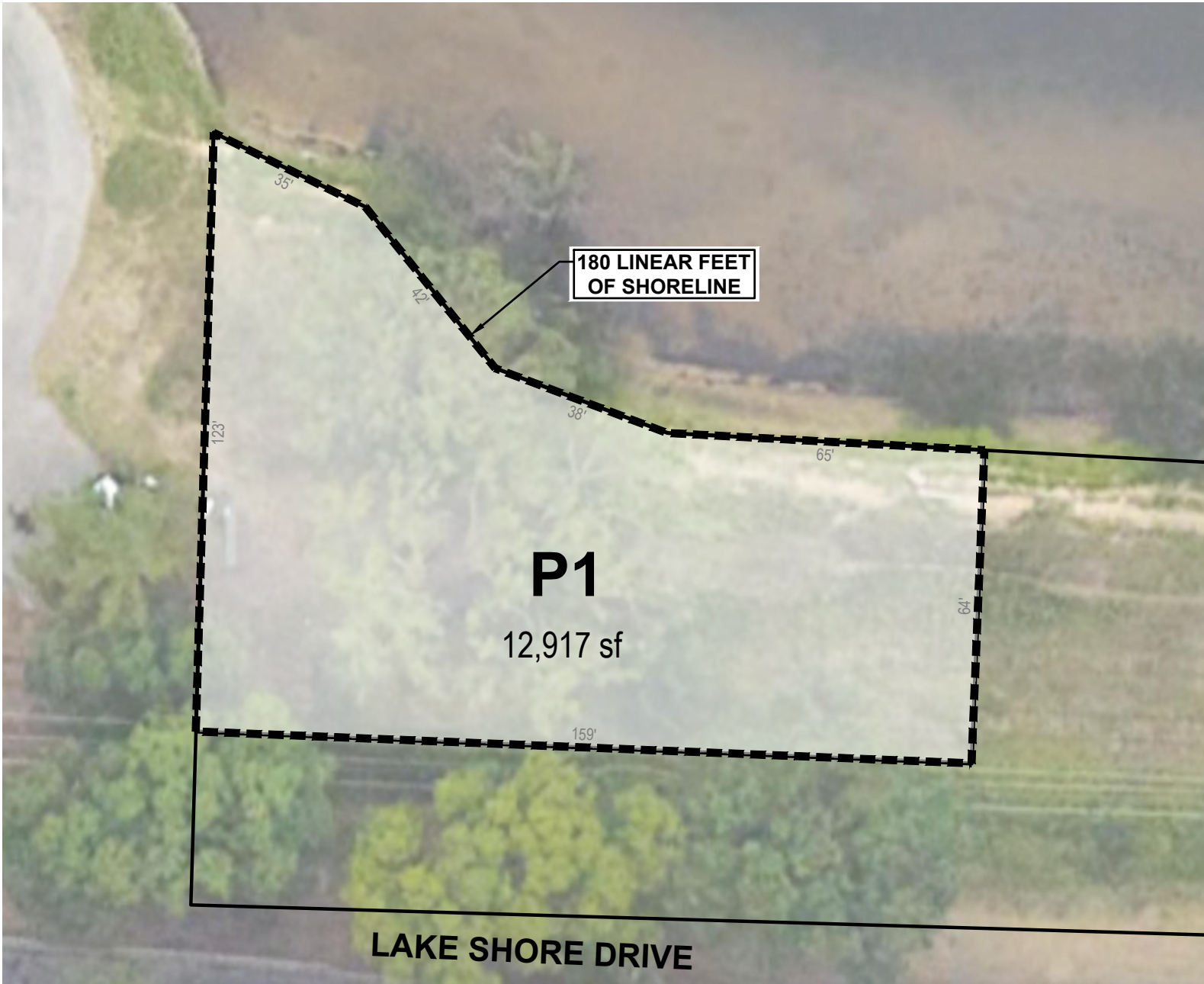
(~ 12% of waterfront land frontage)

Total Length of Waterfront Access	2,994 LF
--	-----------------

Total Area of Waterfront Amenities	272,486 SqFt
	6.26 Acres

II. Other Public Amenity Areas - Internal to Site

Public Bike Trail Length	4,093 LF
Public Bike Trail Area	32,744 Sq.Ft. (0.75 acres)
New Public Sidewalk Length	26,459 LF
New Public Sidewalk Area	132,295 Sq.Ft. (3.04 acres)
New 15 MPH Roadway Length	10,394 LF
New 15 MPH Roadway Area	703,817 Sq.Ft. (16.16 acres)



October 24, 2023

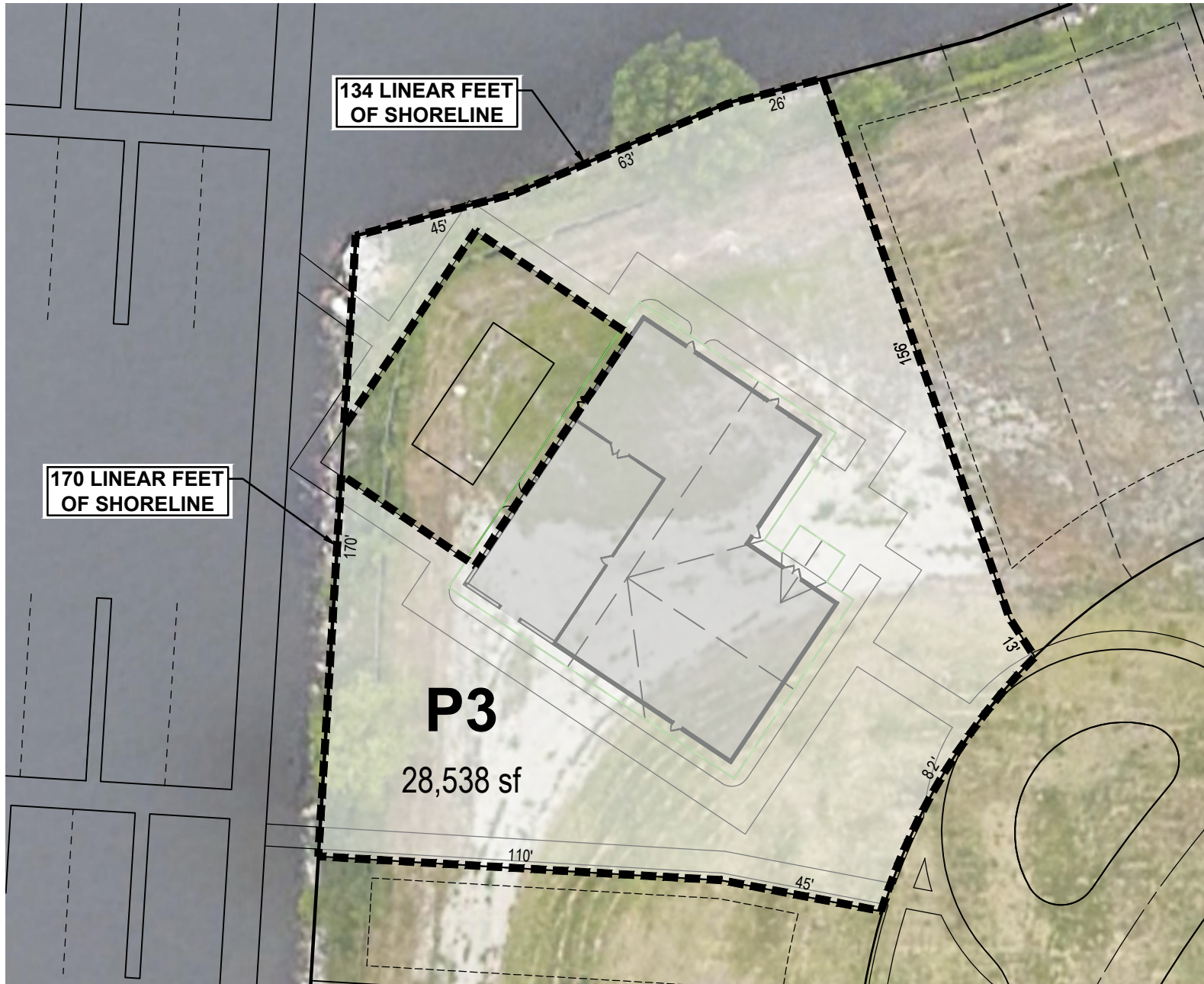


N. 0' 15' 30' 60' S:1"=30'

WINDWARD POINTE

PUBLIC AMENITY (P1)





October 25, 2023



N 0' 20' 40' 80' S:1"=40'

WINDWARD POINTE

PUBLIC AMENITY (P3)



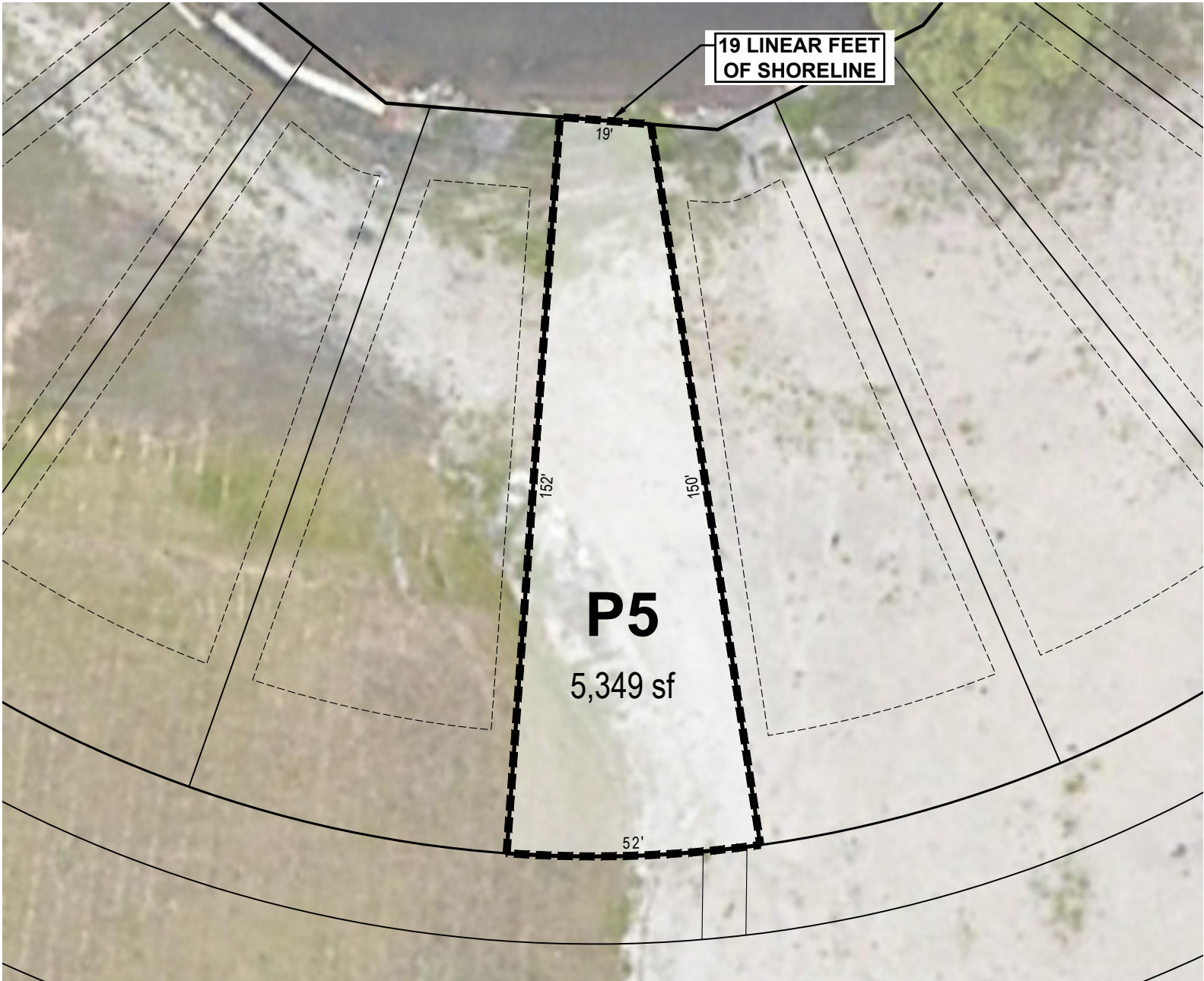
October 24, 2023



N. 0' 10' 20' 40' S:1"=20'

WINDWARD POINTE

PUBLIC AMENITY (P4)



October 24, 2023



N. 0' 15' 30' 60' S:1"=30'

WINDWARD POINTE

PUBLIC AMENITY (P5)





October 24, 2023



N. 0' 10' 20' 40' S:1"=20'

WINDWARD POINTE

PUBLIC AMENITY (P6)



October 24, 2023

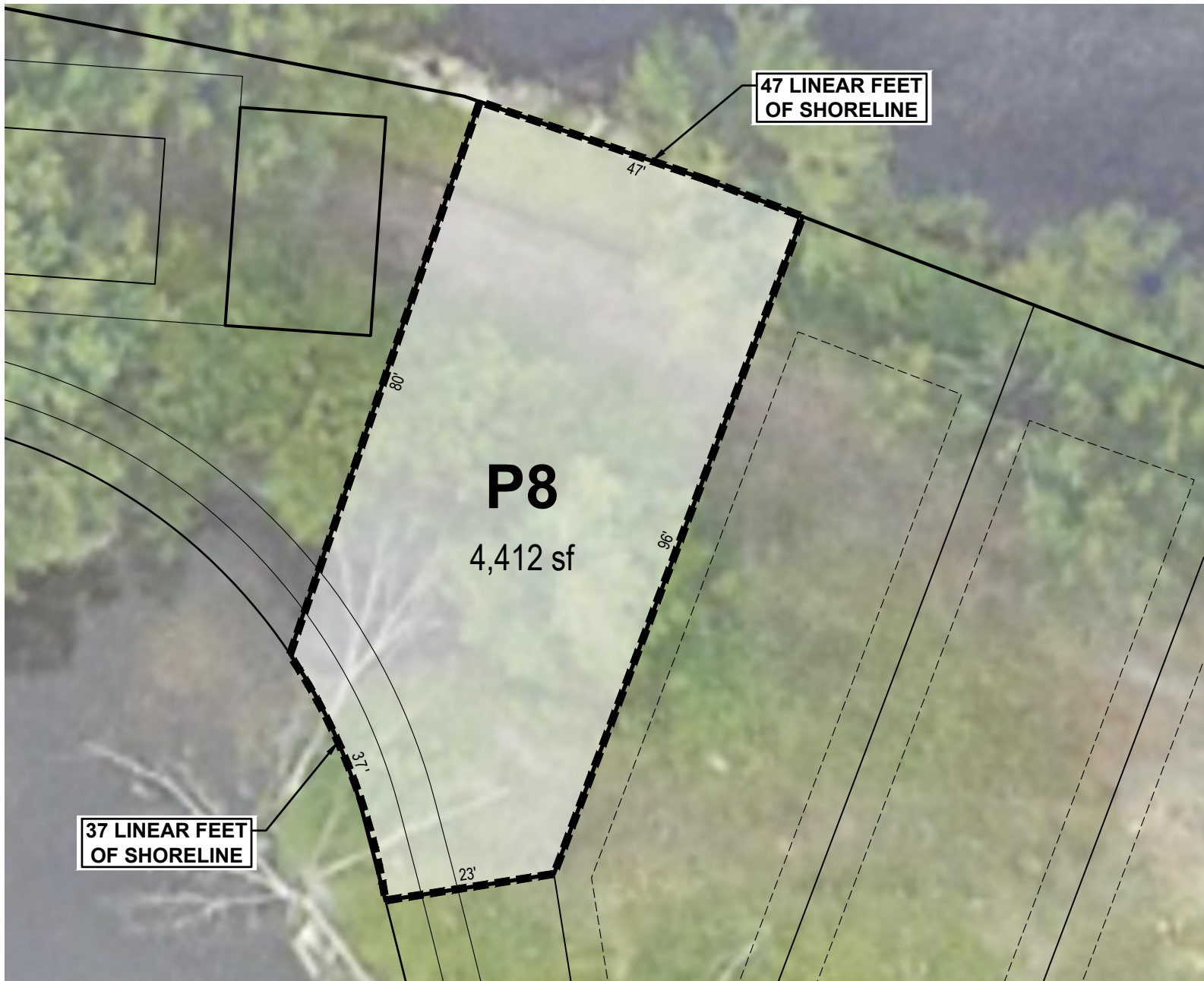


N. 0' 15' 30' 60' S:1"=30'

WINDWARD POINTE

PUBLIC AMENITY (P7)





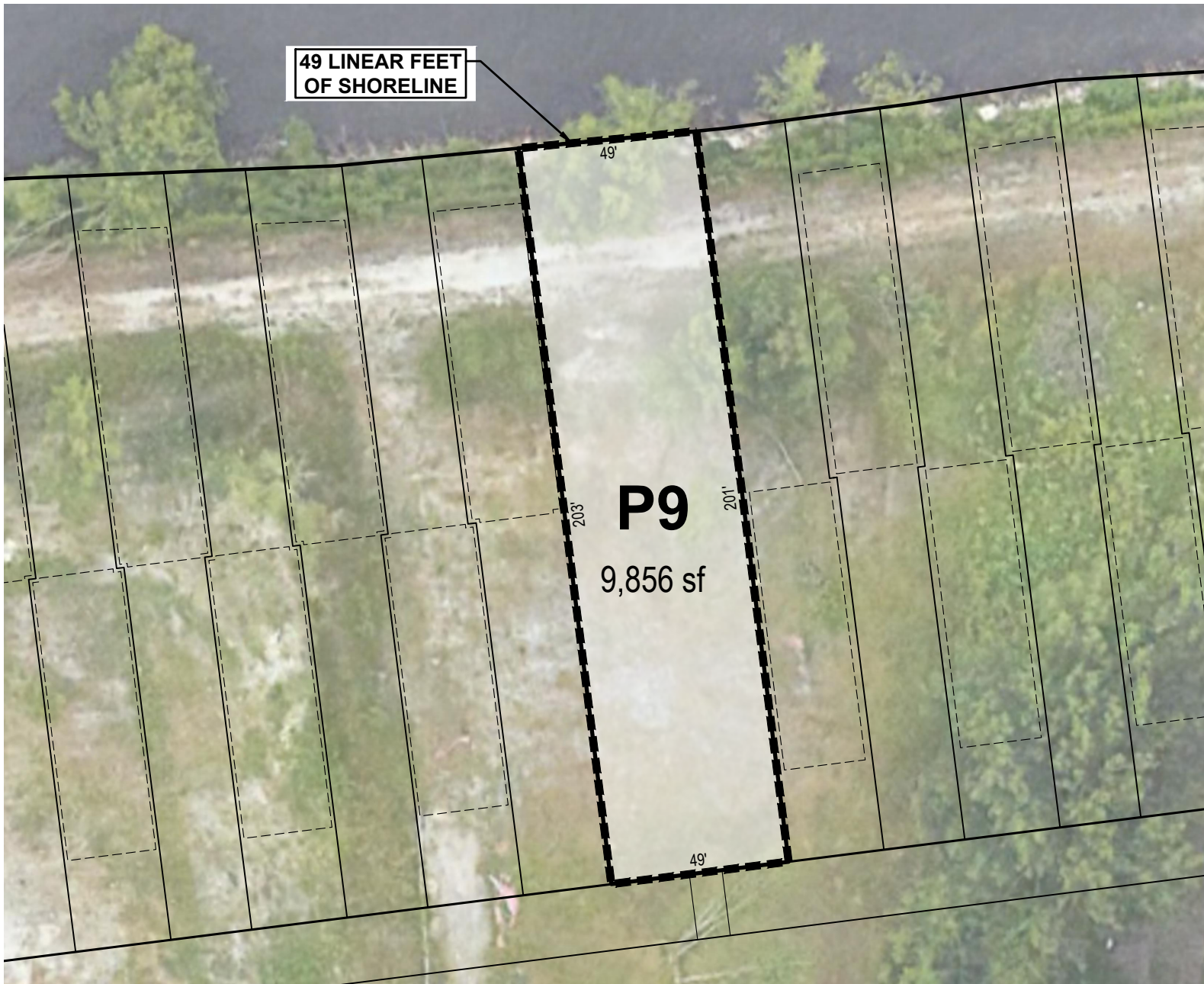
October 24, 2023



N. 0' 10' 20' 40' S:1"=20'

WINDWARD POINTE

PUBLIC AMENITY (P8)



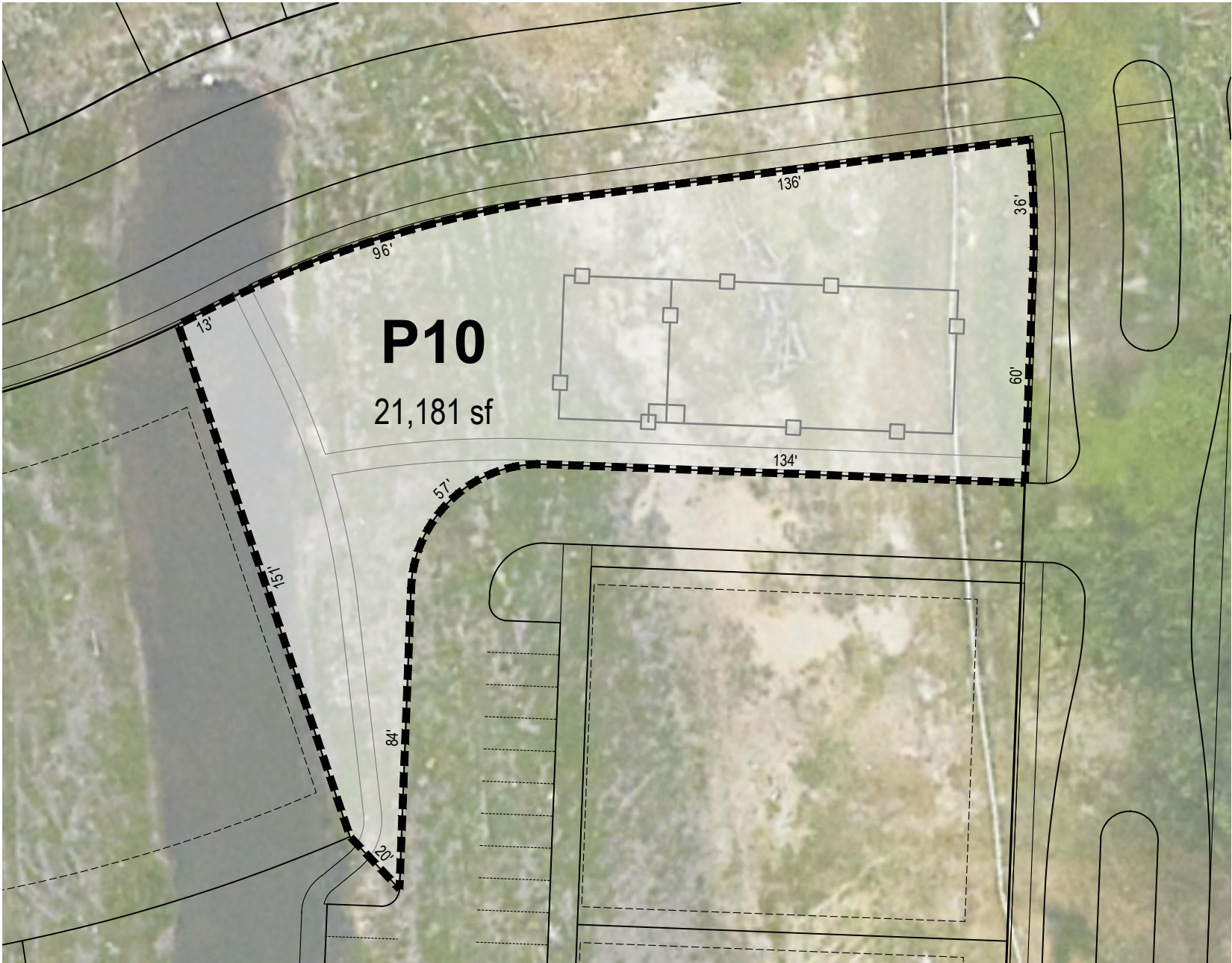
October 24, 2023



N. 0' 20' 40' 80' S:1"=40'

WINDWARD POINTE

PUBLIC AMENITY (P9)



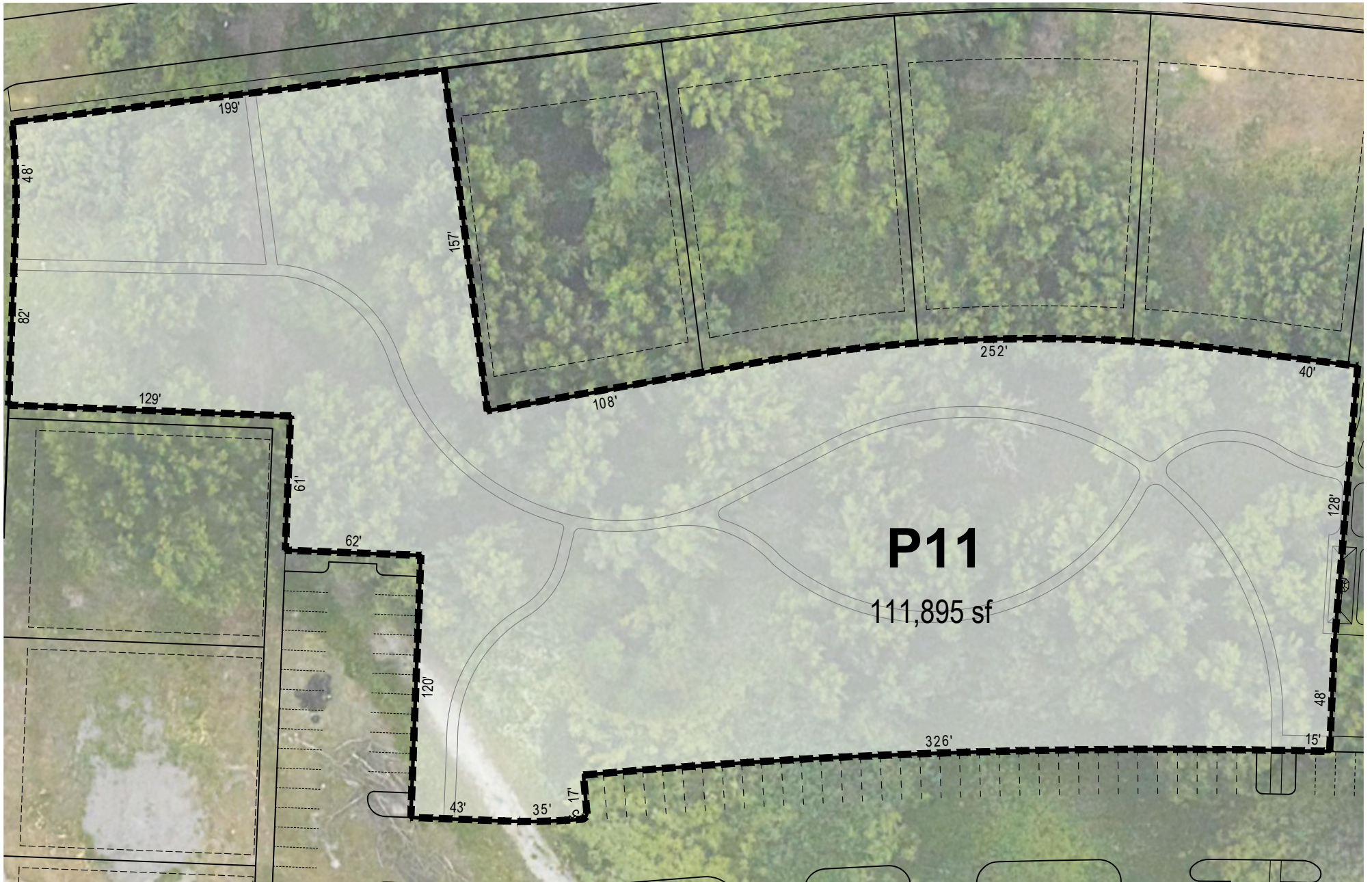
October 24, 2023



N. 0' 20' 40' 80' S:1"=40'

WINDWARD POINTE

PUBLIC AMENITY (P10)



October 24, 2023



N. 0' 30' 60' 120' S:1"=60'

WINDWARD POINTE

PUBLIC AMENITY (P11)



October 24, 2023



N. 0' 10' 20' 40' S:1"=20'

WINDWARD POINTE

PUBLIC AMENITY (P12)





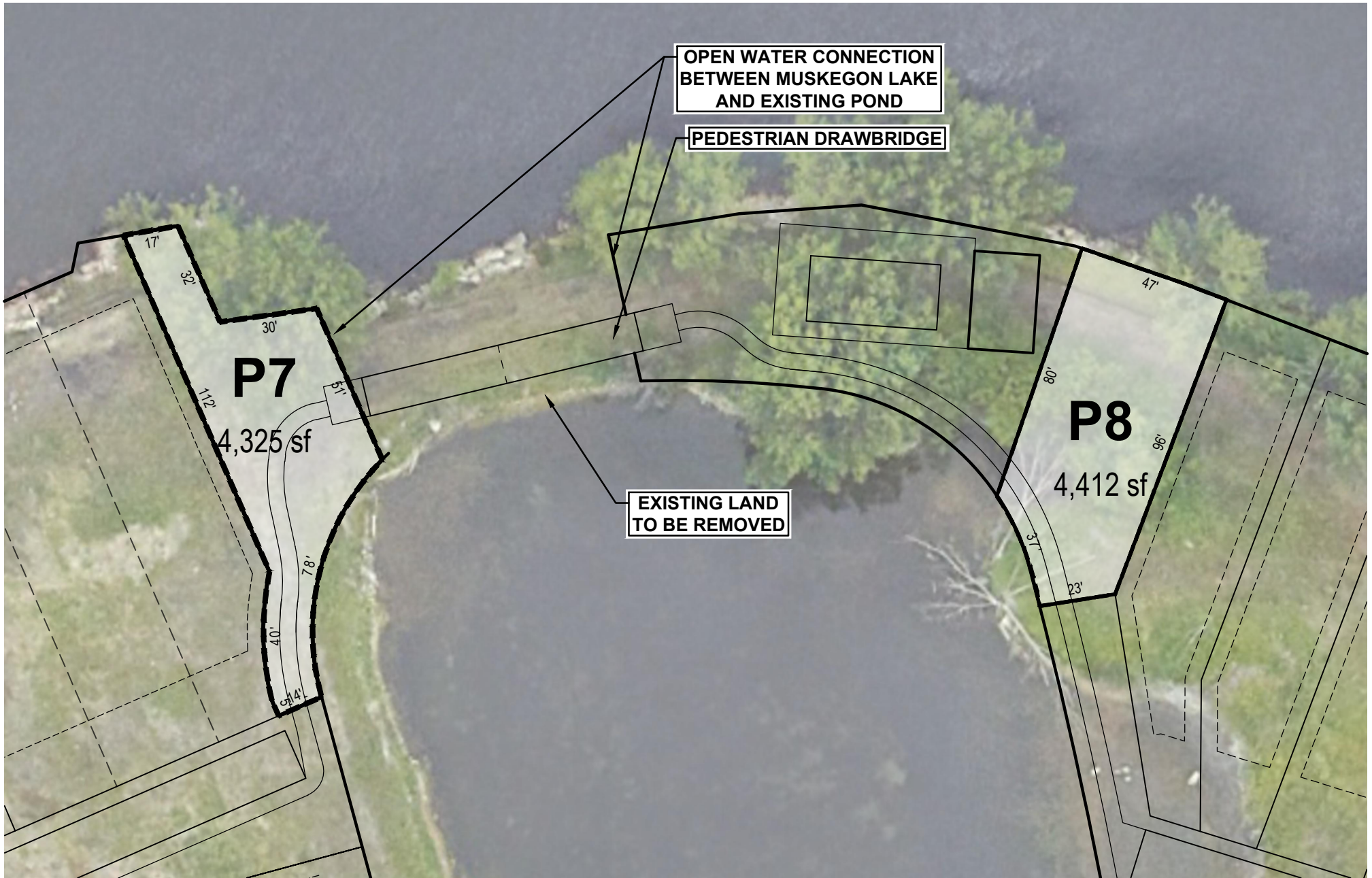
October 24, 2023



N. 0' 20' 40' 80' S:1"=40'

WINDWARD POINTE

PUBLIC AMENITY (P14)



OPEN WATER CONNECTION
BETWEEN MUSKEGON LAKE
AND EXISTING POND

PEDESTRIAN DRAWBRIDGE

P7

4,325 sf

P8

4,412 sf

EXISTING LAND
TO BE REMOVED

October 24, 2023



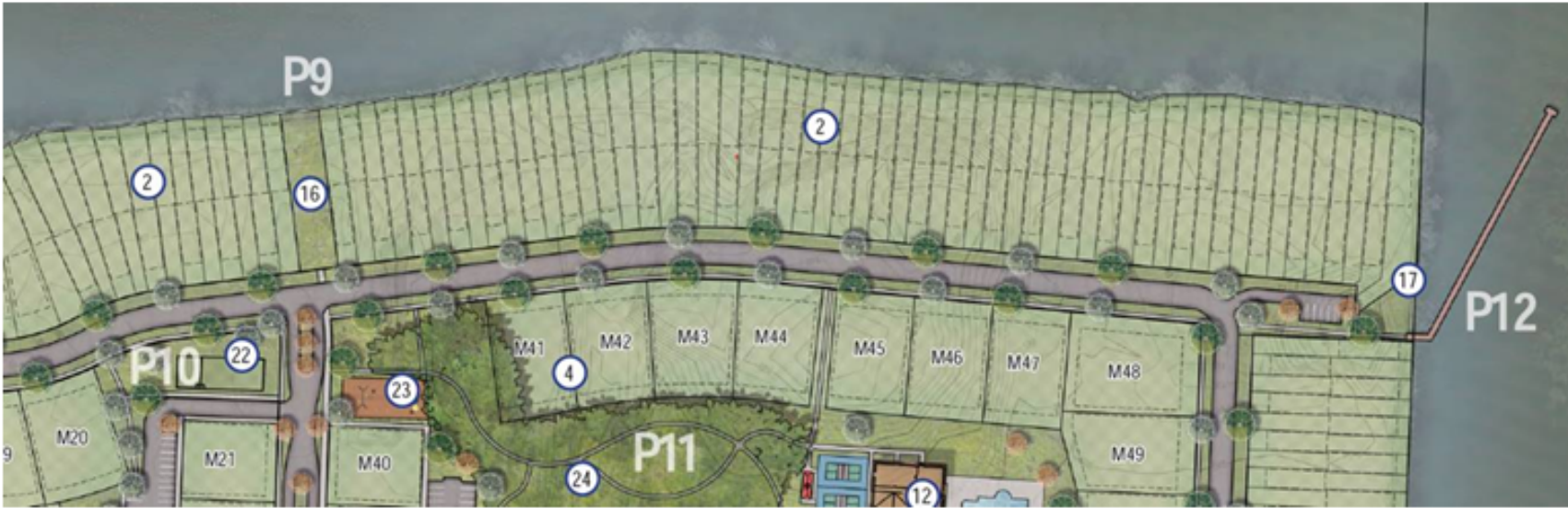
N. 0' 20' 40' 80' S:1"=40'

WINDWARD POINTE

PUBLIC AMENITY (P7/8 OPTION B)



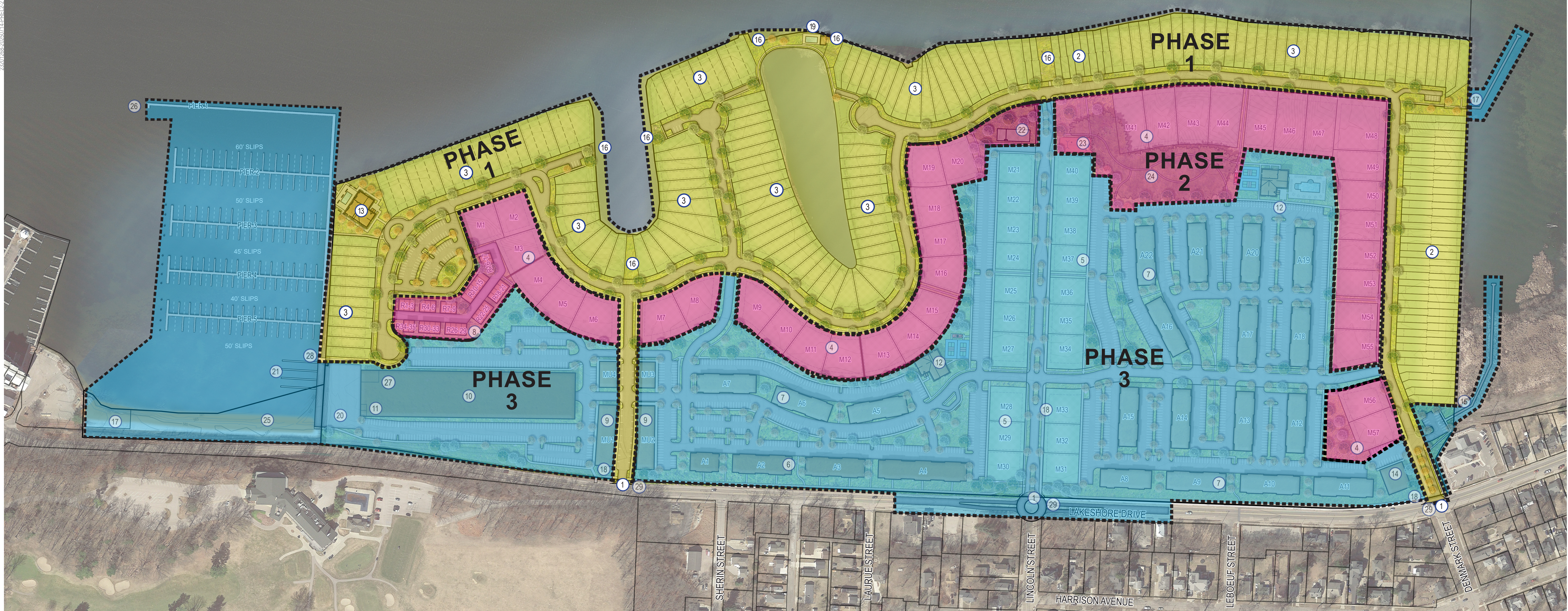
Original PUD



Updated PUD



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LEGEND

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- 2 SINGLE FAMILY STAGGERED LOT (26'-22" X 205' TYP. & 26'-22" X 150') MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 3 SINGLE FAMILY ALIGNED LOT (24'-34" X 150' TYP.) - MAY BE COMBINED TO CREATE LARGER WATERFRONT LOTS
- 4 10-12 UNIT FRONT-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 150' TYP.)
- 5 10-12 UNIT REAR-LOADED CONDO OR APARTMENT "MANSION" LOTS (100' X 115' TYP.)
- 6 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING OR POSSIBLE FUTURE GROUND FLOOR RETAIL (BUILDINGS A1-A4)
- 7 4 TO 6-STORY APARTMENT OR CONDO BUILDING WITH GROUND FLOOR PARKING (BUILDINGS A5-A22)
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- 9 MIXED-USE BUILDING (GROUND FLOOR RETAIL, APARTMENTS ABOVE) (MU1-MU4)
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- 13 CLUBHOUSE WITH RESTAURANT/EVENT SPACE, POOL, AND PUBLIC RESTROOMS
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- 24 WOODLAND PRESERVATION AREA AND ON-LEASH DOG PARK
- 25 FUTURE RESTAURANT
- 26 BREAK WALL/WAVE ATTENUATOR WITH PUBLIC WALKING PATH, FISHING PLATFORM AND TRANSIENT/VISITOR/SHOPPER DOCKING ON NORTH AND SOUTH SIDES OF PIER
- 27 POSSIBLE FUTURE 1 TO 3-STORY RETAIL/OFFICE STACK WHICH MAY INCLUDE COFFEE SHOP, SANDWICH SHOP, CONVENIENCE STORE, SHIP STORE, MARINA OFFICE, AND/OR ROOFTOP DECK
- 28 GAS DOCK AND SERVICE OFFICE
- 29 TRAFFIC CALMING STREET TREATMENTS (E.G. ROUNDABOUT, SIGNALIZED BIKE CROSSING) TO BE COORDINATED WITH CITY OF MUSKEGON

SUMMARY OF LAND USE

SITE LOCATION:	2400 & 2850 LAKESHORE DR. MUSKEGON, MICHIGAN
SITE AREA	= 122.94 AC.
ZONING OF PROPERTY	= PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED DWELLINGS	= 157 DWELLINGS
24'-34" X 150' LOTS	= 10 DWELLINGS
22'-26" X 205' LOTS	= 40 DWELLINGS
10-12 UNIT "MANSION" LOT DWELLINGS	= 570-684 DWELLINGS (57 BLDGS)
APT/CONDO BUILDINGS	= 792-1,320 DWELLINGS (22 BLDGS)
18' X 40' TOWNHOMES	= 35 UNITS (10 BLDGS)
MIXED-USE APARTMENTS	= 55 DWELLINGS (4 BLDGS)
PROPOSED DENSITY	= 18.71 D.U./AC.
RETAIL/OFFICE SPACE (MU1-MU4) (NOT INCLUDING FUTURE IMPROVEMENTS)	= 42,780 SQ.FT.
BOAT STORAGE	= 111,600 SQ.FT. (350 SPACES)
BOAT DOCKING SPACES	= 251
115' SLIP	= 1 SLIP
103' SLIP	= 1 SLIP
98' SLIP	= 1 SLIP
93' SLIP	= 1 SLIP
60' SLIPS	= 24 SLIPS
50' SLIPS	= 77 SLIPS
45' SLIPS	= 54 SLIPS
40' SLIPS	= 56 SLIPS
TRANSIENT/VISITOR/SHOPPER DOCKING SPACES	= 1400 LINEAR FEET

SITE REGULATING STANDARDS

- MULTIPLE FAMILY BUILDINGS (A1-A22)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLINGS (APARTMENTS OF CONDOMINIUMS), SENIOR LIVING FACILITY, AND PERMITTED USES WITHIN THE B-2 DISTRICT AT GROUND FLOOR OF BUILDINGS A1-A4
 - MAXIMUM BUILDING HEIGHT = 6 STORIES OR 90 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 25 FT.
 - MINIMUM DISTANCE TO ADJACENT ROADS (EXCLUDES PARKING DRIVE ASLES) = 25 FT.
- ROWHOUSES (R1-R35)**
- ALLOWABLE USES: ATTACHED SINGLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM BUILDING TO BUILDING SEPARATION (FOUNDATION WALL TO FOUNDATION WALL) = 16 FT.
 - MINIMUM DISTANCES TO ADJACENT ROAD OR SIDEWALK = 10 FT.
- FRONT-LOADED MANSION LOTS (M1-M20 & M41-M57)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
 - FRONT YARD = 22 FT. MIN. (15 FT. MIN. ON SECONDARY FRONT YARD OF CORNER LOTS)
 - SIDE YARD = 5 FT. MIN.
 - REAR YARD = 15 FT. MIN.
- REAR-LOADED MANSION LOTS (M21-M40)**
- ALLOWABLE USES: MULTIPLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 5 STORIES OR 80 FT., WHICHEVER IS LESS
 - SETBACKS
 - FRONT YARD = 12 FT. TO 20 FT. MIN. BUILD-TO-LINE (15 FT. MIN. SETBACK ON SECONDARY FRONT YARD OF CORNER LOTS)
 - SIDE YARD = 5 FT. MIN.
 - REAR YARD = 1 FT. MIN.

GENERAL NOTES

- ALIGNED LOTS (24'-34" X 150' TYP.)**
- ALLOWABLE USES: DETACHED SINGLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 3 STORIES PLUS BASEMENT
 - SETBACKS
 - FRONT YARD = 22 FT. MIN.
 - SIDE YARD = 5 FT. MIN.
 - REAR YARD = 15 FT. MIN. FROM O.H.W.M.
- STAGGERED LOTS (22'-26" X 205' TYP. & 22'-26" X 150' TYP.)**
- ALLOWABLE USES: DETACHED SINGLE FAMILY DWELLING
 - MAXIMUM BUILDING HEIGHT = 3 STORIES PLUS BASEMENT
 - SETBACKS
 - FRONT YARD = 22 FT. MIN.
 - SIDE YARD = 0 FT. MIN.
 - REAR YARD = 15 FT. MIN. FROM O.H.W.M.
- CLUBHOUSE (SITE FEATURES 12 AND 13 ON THE PLAN)**
- ALLOWABLE USES: COMMUNITY CENTER, EVENT CENTER RECREATION CENTER, RESTAURANT, COCKTAIL LOUNGE, AND BREVINUB, AND MUSIC VENUE (INDOOR AND OUTDOOR)
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM DISTANCE TO OHWM = 15 FT.
 - MINIMUM DISTANCE FROM ADJACENT LOT LINES = 15 FT.
- MIXED USE (MU1-MU4)**
- ALLOWABLE USES: GROUND FLOOR - PERMITTED USES IN THE B-2 DISTRICT, UPPER LEVELS - MULTIPLE FAMILY DWELLINGS
 - MAXIMUM BUILDING HEIGHT = 3 STORIES OR 50 FT., WHICHEVER IS LESS
 - MINIMUM DISTANCE FROM ADJACENT LOT LINES = 15 FT.
- BOAT STORAGE BUILDING**
- ALLOWABLE USES: BOAT STORAGE AND SIMILAR OR ACCESSORY USE, PERMITTED USES WITHIN THE B-2 DISTRICT
 - MAXIMUM BUILDING HEIGHT = 50 FT.
- SPEED LIMITS THROUGHOUT THE PROPOSED DEVELOPMENT WILL BE A MAXIMUM OF 15 MPH.
 - TYPICAL STREET TREE SPACING WILL BE 35 FT. TO 45 FT. ON CENTER, DEPENDING ON SPECIES AND SITE CONSTRAINTS (E.G. CONFLICTS WITH UTILITIES, STREET LIGHTS, DRIVEWAYS, ETC.)
 - WAYFINDING SIGNAGE WILL BE STRATEGICALLY PLACED THROUGHOUT THE DEVELOPMENT TO DIRECT PEDESTRIANS TO SITE FEATURES INCLUDING KAYAK LAUNCHES, NATURAL FEATURES, TRAILS, FISHING PLATFORMS, PARKS, CLUBHOUSES, BIKE PATHS, RETAIL CORRIDOR(S), DOG PARKS, ETC.
 - OUTDOOR ENTERTAINMENT AT THE RESTAURANT AND OTHER PUBLIC SPACES WILL BE ALLOWED BETWEEN THE HOURS OF 10 A.M. AND 11 P.M. AND NOT PERMITTED BETWEEN 11 P.M. AND 10 A.M.
 - THERE WILL BE NO GATES OR FENCES WITHIN THE DEVELOPMENT EXCEPT FOR PIERS 2, 3, 4, AND 5; DOG PARKS; SPORT COURTS; PLAYGROUNDS; POOLS; DUMPSTER ENCLOSURES; AND ABOVE GROUND UTILITY SCREENINGS
 - ALL PUBLIC AMENITY AREAS WILL BE OWNED AND MAINTAINED BY THE DEVELOPMENT ASSOCIATION IN PERPETUITY AS A MEANS OF MAINTAINING A HIGH LEVEL OF CARE AND LESSENING THE BURDEN ON PUBLICLY FUNDED CITY AGENCIES
 - FINAL DUMPSTER ENCLOSURE LOCATIONS SHALL BE REVIEWED AND APPROVED BY CITY OF MUSKEGON STAFF.
 - SNOW SHALL BE STORED IN DESIGNATED AREAS, AS SPECIFIED BY CITY OF MUSKEGON MAINTENANCE PERSONNEL OR REMOVED FROM THE SITE AS NEEDED.
 - BIKE PARKING SHALL BE PROVIDED AT RETAIL CORRIDOR(S), CLUBHOUSES, AND VARIOUS PUBLIC SPACES THROUGHOUT THE DEVELOPMENT. FINAL LOCATIONS AND DESIGN OF BIKE PARKING FACILITIES TO BE COORDINATED WITH CITY OF MUSKEGON STAFF.
 - PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES BOTH FITTED WITH DOWN CAST TYPE FIXTURES TO BE SPECIFIED BY LIGHTING CONSULTANT. LIGHTING SHALL BE COORDINATED WITH CITY STAFF TO CLUSTER IN DESIRED HIGH TRAFFIC PUBLIC AREAS. ALL LIGHTING SHALL BE SHIELDED FROM ADJACENT PROPERTIES.
 - GROUND FLOOR LEVELS OF BUILDINGS A1-A4 ARE INTENDED TO BE REPURPOSED AS ADJACENT RETAIL OR OFFICE SPACE AS NEEDED PER MARKET CONDITIONS. THE CONVERSION OF GROUND FLOOR USES WILL BEGIN AT BUILDING A1 AND EXTEND TO THE EAST SEQUENTIALLY ENDING AT BUILDING A4.
 - AREAS P7 AND P8 WILL NOT ALLOW FOR FISHING IF ADJACENT WATERS ARE FOUND TO BE UNSUITABLE BY ENVIRONMENTAL SPECIALISTS.
 - TOPOGRAPHICAL REQUIREMENT PER 201 J.E. EXISTING TOPOGRAPHY IS DEPICTED WITH CONTOURS AT 1-FT INTERVALS ON THE EXISTING CONDITIONS PLAN. FINAL TOPOGRAPHIC CHANGES SHALL BE IN COMPLIANCE WITH EGLE DUE CARE PLAN CRITERIA. AREAS OF FILL MUST BE COMPACTED TO DENSITY SPECIFIED BY GEOTECH CONSULTANT.
 - THE PROJECT WILL BE SERVED BY PUBLIC WATERMAIN, PUBLIC SANITARY SEWER, AND PUBLIC AND PRIVATE STORMWATER MANAGEMENT SYSTEMS. WATERMAIN, SANITARY SEWER, AND STORMWATER MANAGEMENT MEASURES SHALL MEET CITY, COUNTY, AND STATE OF MICHIGAN REQUIREMENTS. "DRY UTILITIES," WHICH INCLUDE ELECTRIC SERVICE, TELECOMMUNICATIONS, AND NATURAL GAS, WILL BE INSTALLED UNDERGROUND AND WILL BE PROVIDED TO EACH SITE.
 - A TRAFFIC STUDY SHALL BE CONDUCTED AND REVIEWED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
 - A STORMWATER PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
 - LANDSCAPE MANAGEMENT PLAN FOR A NATIVE VEGETATION PLANTING ZONE SHALL BE SUBMITTED AND APPROVED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
 - A PROPOSED UTILITIES PLAN SHALL SUBMITTED TO AND APPROVED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION.
 - ALL MARINA SLIPS WILL HAVE FIRE ACCESS.
 - ALL APPLICABLE CITY, STATE, AND FEDERAL PERMITS SHALL BE GRANTED PRIOR TO CONSTRUCTION OF IMPACTED SITE FEATURES.

August 18, 2025

Jon Rooks
Parkland Acquisition Six, LLC
75 W Walton Avenue STE A
Muskegon, MI 49440

City of Muskegon
Planning Department
933 Terrace Street
Muskegon, MI 49440

RE: Windward Pointe Lot and Building Parameters for homesites, condo mansion lots, and multi-family buildings

Detached Single Family Lots [Aligned Lots and Staggered Lots]

1. The homesite dwelling unit shall have a minimum living area (~~excluding all basement area~~) of one thousand (~~1000~~1,000) square feet with a minimum of five hundred (500) square feet at the first floor. There is no maximum square footage. ~~The second floor must be equal to or smaller than the first floor beneath including any garage.~~
2. Where the homesite design involves a roof pitch, it shall be a minimum pitch of 64/12, that is, for every twelve inches (12") of lateral run, the roof shall rise ~~six~~four inches (~~6"~~4"). In the case of additions or alterations to principal structures, the roof pitch shall be a minimum pitch of 64/12.
3. The roof shall have a snow load rating that meets the current Michigan Building Code.
4. Roof drainage shall be provided to direct storm or meltwater away from the ~~foundation including hip, gambrel and mansard roofs~~dwelling unit.
5. Siding and trim systems shall be of an industry standard gauge suitable for on-site-built homes.
 1. ~~The dwelling unit shall have a minimum width of eighteen (18) feet across any front, side, and rear elevation view.~~
 6. The dwelling unit shall have a minimum width of fourteen (14) feet across any front, side, and rear elevation view.
7. The front elevation view may have a design offset including but not limited to: bay windows, covered porches, or structural offsets from the principal plane of the building.
8. Any single-story, residential structure shall not be more than four (4) times longer than its width (exclusive of an attached garage).
9. Garage doors may not compromise more than ~~seventy-five~~ninety percent (~~75~~90%) of the front face of the structure.
 2. ~~Newly constructed homes must be set back twenty-four (24) feet from the front property line.~~

10. The dwelling unit ~~shall be~~ may be constructed using podium style construction, metal or concrete pilings, ground improvement, rigid inclusion, firmly attached to a permanent foundation constructed on the site, and/or other acceptable construction methods that are in accordance with the current building code, manufacturers specifications, and any other applicable requirements.

- ~~3. Any crawlspace, partial or full height basement that may exist between the foundation and ground floor of the dwelling unit shall be fully enclosed by an extension of the foundation wall along the perimeter of the building.~~
11. There will be no mobile home dwelling units permitted on any lot except manufactured / modular homes that meet building code.
 12. There will be no mobile home dwelling units, including their undercarriage and wheel apparatus, permitted on any lot except manufactured / modular homes that meet building code.
 13. The dwelling unit shall be connected to a public sewer and water supply when available, as defined by the Plumbing Code. ~~Backflow preventers are required in the basement or crawl space of each home.~~
 14. The compatibility of design and appearance shall be in accordance with the condominium by-laws.
 15. The dwelling unit shall contain no additions of rooms or other areas which are not constructed with similar quality workmanship as the original structure, ~~including permanent attachment to the principal structure and construction of a foundation as required herein.~~
 16. The dwelling unit shall comply with all pertinent structural, building and fire codes.
 17. All construction required herein shall be commenced only after a building permit has been obtained in accordance with the Building Code.
 18. Each dwelling unit shall have an established vegetative ground cover in less than 12 months after occupancy. A minimum of two trees, two inches (2") in diameter, four feet (4') from the ground or six-foot (6') evergreen trees shall be provided.
 19. Detached outbuildings, including garages, are allowed up to five hundred (500) square feet maximum at the rear yard of non-waterfront lots or the front yard of waterfront lots.
 20. Front Yard Setback (Aligned and Staggered Lots): ~~Minimum twenty-two (22')~~ minimum of fifteen (15') feet from the front property line.
 21. Rear Yard Setback (Aligned and Staggered Lots on waterfront): ~~Minimum~~ minimum of fifteen (15') feet from the Ordinary High-Water Mark.
 22. Side Yard Setback: Aligned Lots and Staggered Lots shall maintain a minimum side yard setback of five (5) feet and zero (0) feet respectively. Buildings must also maintain a minimum of building-to-building separation to comply with Fire Code.
 23. Eaves, bay windows, egress wells, fireplaces, uncovered steps, and egress wells may encroach into all yard setbacks up to three (3) feet.
 24. Maximum Building Height: ~~Three~~ four (4) stories, ~~three (3) stories~~ plus a basement, or fifty-five (55) feet to the peak of any gable, gambrel or hip roofs, or to the top of any flat roofs, whichever is less.
 25. Building height does not include chimneys, spires, cupolas, dormers, finials, antennae, railings, roof decks and access to the roof deck.

26. All stories above grade may contain any combination of conditioned living space, outdoor space (covered or uncovered) and garage area.
27. One six hundred (600) maximum square foot, uncovered roof deck allowed above three (3) stories. No limit on first three (3) stories.
28. Garages are required with a maximum of ~~three (3)~~four (4) stalls.
29. One (1) stall maximum carport is allowed in addition to the garage attached or unattached to any building.
- ~~30. Full or partial basements are allowed that are finished or unfinished.~~

Front balcony

- ~~4. —~~Balcony and porches are allowed and may be up to three (3) stories tall ~~on the front elevation.~~
31. ~~Rear balcony and porches are allowed and may be up to three (3) stories tall on the rear elevation.~~
32. Wraparound balcony and porch are allowed and may be up to two (2) stories tall.
33. Minimum eight (8) feet of separation between any buildings on the same lot.

34. Lots may be combined with adjacent lots to create larger lots. In such instances, the guidelines outlined above shall be applied to the new lot as modified.

34.35. All architectural designs must comply with the Condominium Association’s bylaws, master deed, rules and regulations.

Mansion Lots [Front Loaded and Rear Loaded]

~~35.36.~~ The ‘mansion’ (condo and apartment) dwelling unit shall have a minimum living area (excluding all parking area) of four hundred (400) square feet. There is no maximum square footage. There may be up to ~~425~~ units per building structure.

~~36.37.~~ Where the homesite design involves a roof pitch, it shall be a minimum pitch of ~~6~~4/12, that is, for every twelve inches (12") of lateral run, the roof shall rise ~~six~~four inches (~~6"~~4"). In the case of additions or alterations to principal structures, the roof pitch shall be a minimum pitch of ~~6~~4/12.

~~37.38.~~ The roof shall have a snow load rating that meets the current Michigan Building Code.

~~38.39.~~ Roof drainage shall be provided to direct storm or meltwater away from the ~~foundation including hip, gambrel and mansard roofs~~building.

~~39.40.~~ Siding and trim systems shall be of an industry standard gauge suitable for on-site-built homes.

41. The dwelling unit shall have a minimum width of ten (10) feet across any front, side, and rear elevation view.

~~40.42.~~ ~~The dwelling unit shall have a minimum width of fourteen (14) feet across any front, side, and rear elevation view.~~

41.43. The front elevation view may have a design offset including but not limited to bay windows, covered porches, or structural offsets from the principal plane of the building.

42.44. Garage doors may not compromise more than ~~sixty-five~~ninety percent (~~65~~90%) of the front face of the structure.

5. ~~The dwelling unit shall be~~building may be constructed using podium style construction, metal or concrete pilings, ground improvement, rigid inclusion, firmly attached to a permanent foundation constructed on the site, and/or other acceptable construction methods that are in

- 43.45. _____ accordance with the current building code, manufacturers specifications, and any other applicable requirements.
- 44.46. _____ Any crawlspace, partial or full height basement that may exist between the foundation and ground floor of the dwelling unit shall be fully enclosed by an extension of the foundation wall along the perimeter of the building. This condition shall not apply to any structures that are built using podium style construction or with a first-floor parking area.
- 45.47. _____ There will be no mobile home dwelling units permitted on any lot.
- 46.48. _____ There will be no mobile home dwelling units, including their undercarriage and wheel apparatus, permitted on any lot.
- 47.49. _____ The ~~dwelling unit~~building shall be connected to a public sewer and water supply when available, as defined by the Plumbing Code. ~~Backflow preventers are required in the basement or crawl space of each home.~~
- 48.50. _____ The compatibility of design and appearance shall be in accordance with the condominium by-laws.
- 49.51. _____ The ~~dwelling unit~~building shall contain no additions of rooms or other areas which are not constructed with similar quality workmanship as the original structure, ~~including permanent attachment to the principal structure and construction of a foundation as required herein.~~
- 50.52. _____ The ~~dwelling unit~~building shall comply with all pertinent structural, building and fire codes.
- 51.53. _____ All construction required herein shall be commenced only after a building permit has been obtained in accordance with the Building Code.
- 52.54. _____ Each building ~~structure~~ shall have an established vegetative ground cover in less than 12 months after occupancy. A minimum of two shade trees, two inches (2") in diameter, four feet (4') from the ground or one six-foot (6') evergreen tree shall be provided.
- 53.55. _____ Detached outbuildings, including garages, are allowed up to five hundred (500) square feet maximum at the rear yard.
- 54.56. _____ Front-Loaded Mansion Lot Front Yard Setback: ~~Minimum~~minimum twenty-two (~~22'~~22) feet from the front property line.
- 55.57. _____ Front-Loaded Mansion Lot Rear Yard Setback: ~~Minimum~~minimum fifteen (15) feet from the rear property line.
- 56.58. _____ Rear-Loaded Mansion Lots Build-to-Zone: Building façade shall be placed between twelve (12) feet and twenty (20) feet from the primary front yard property line. A minimum side yard setback of fifteen (15) feet shall be maintained at any secondary front yards of corner lots. Rear yard setback is minimum one (1) ~~feet~~foot.
- 57.59. _____ Side Yard Setback: All Mansion Lot buildings shall maintain a minimum side yard setback of five (5) feet. Eaves, bay windows, egress wells, fireplaces, uncovered steps, and egress wells may encroach into all yard setbacks up to three (3) feet.

58.60. Maximum Building Height: Five (5) stories or eighty (80) feet to the peak of any gable, gambrel or hip roofs, or to the top of any flat roofs, not including any uncovered rooftop deck.

~~59.61.~~ Building height does not include chimneys, spires, cupolas, dormers, finials, antennae, railings, roof decks and access to the roof deck.

~~60.62.~~ All stories above grade may contain any combination of conditioned living space, outdoor space (covered or uncovered) and garage area.

~~61.63.~~ One ~~six hundred (600)~~ thousand (1,000) maximum square foot, uncovered rooftop deck allowed per building structure.

~~64. Garage is not required.~~

~~62.65.~~ Optional common garages with a maximum of ~~twelve (12)~~ twenty-five (25) interior parking spots.

~~63.66.~~ Full or partial basements are allowed that are finished or unfinished.

~~6. Front balcony~~ Balcony and porches are allowed and may be on up to five (5) stories ~~on the front elevation area.~~

~~64.67.~~ Rear balcony and porches are allowed and may be on up to five (5) stories on the front elevation area.

~~65.68.~~ Wraparound balcony and porch are allowed and may be up to three (3) stories tall.

~~66.69.~~ Minimum eight (8) feet of separation between any buildings on the same lot.

~~67.70.~~ All architectural designs must comply with the Condominium Association's bylaws, master deed, rules and regulations.

Multiple-Family Buildings

~~68.71.~~ The multi-family (condo and apartment) units shall have a minimum living area of four hundred (400) square feet. There is no maximum square footage.

~~69.72.~~ Where the design involves a roof pitch, it shall be a minimum pitch of ~~64~~/12, that is, for every twelve inches (12") of lateral run, the roof shall rise ~~six~~ four inches (~~6"~~ 4"). In the case of additions or alterations to principal structures, the roof pitch shall be a minimum pitch of ~~64~~/12.

~~70.73.~~ The roof shall have a snow load rating that meets the current Michigan Building Code.

~~71.74.~~ Roof drainage shall be provided to direct storm or meltwater away from the ~~foundation including hip, gambrel and mansard roofs~~ building.

~~72.75.~~ Siding and trim systems shall be of an industry standard gauge suitable for on-site-built homes.

~~73.76.~~ The building shall have a minimum width of 10 feet across any front, side, and rear elevation view.

74.77. The front elevation view may have a design offset including but not limited to; bay windows, covered or uncovered balconies and porches, and structural offsets from the principal plane of the building.

75.78. Garage doors may not compromise more than ninety-five percent (95%) of the front face of the building.

7.—The building ~~shall be~~may be constructed using podium style construction, metal or concrete pilings, ground improvement, rigid inclusion, firmly attached to a permanent foundation constructed on the site, and/or other acceptable construction methods that are in

~~76:79.~~ _____ accordance with the current building code, manufacturers specifications, and any other applicable requirements.

~~77:80.~~ _____ Any crawlspace, partial or full height basement that may exist between the foundation and ground floor of the structure shall be fully enclosed by an extension of the foundation wall along the perimeter of the building. This condition shall not apply to any structures that are built using podium style construction or with a first-floor parking area.

~~78:81.~~ _____ There will be no mobile home dwelling units permitted on any lot.

~~79:82.~~ _____ There will be no mobile home dwelling units, including their undercarriage and wheel apparatus, permitted on any lot.

~~80:83.~~ _____ The building shall be connected to a public sewer and water supply when available, as defined by the Plumbing Code. Backflow preventers are required in the basement or crawl space of each building.

~~81:84.~~ _____ The compatibility of design and appearance shall be in accordance with the condominium by-laws.

~~82:85.~~ _____ The building shall contain no additions of rooms or other areas which are not constructed with similar quality workmanship as the original structure, ~~including permanent attachment to the principal structure and construction of a foundation as required herein.~~

~~83:86.~~ _____ The building shall comply with all pertinent structural, building and fire codes.

~~84:87.~~ _____ All construction required herein shall be commenced only after a building permit has been obtained in accordance with the Building Code.

~~85:88.~~ _____ Each building shall have an established vegetative ground cover in less than 12 months after occupancy. A minimum of two shade tree, two inches (2") in diameter, four feet (4') from the ground or one six-foot (6') evergreen tree shall be provided.

~~86:89.~~ _____ Buildings shall be placed a minimum of twenty-five (25) feet from any adjacent road pavement, excluding drive aisles and parking pavement.

~~87:90.~~ _____ Buildings must maintain a minimum building-to-building separation of twenty-five (25) feet, measured from building foundation wall to building foundation wall.

~~88:91.~~ _____ Maximum Building Height: Six (6) stories or ninety (90) feet to the peak of any gable, gambrel or hip roofs, or to the top of any flat roofs, whichever is less

~~89:92.~~ _____ Building height does not include chimneys, spires, cupolas, dormers, finials, antennae, railings, roof decks and access to the roof deck.

~~90:93.~~ _____ All stories above grade may contain any combination of conditioned living space, outdoor space (covered or uncovered) and garage area.

~~91:94.~~ _____ One ~~one~~ thousand (1,000) maximum square foot, uncovered roof deck allowed per building structure.

~~92:95.~~ _____ ~~Garages are~~Garage is not required.

93.96. Carports are allowed in addition to surface lot, or garage parking with the first floor of the building.

94.97. Full or partial basements are allowed that are finished or unfinished.

8. ~~Front porches~~ Porches and balconies are allowed and may be up to six (6) stories tall ~~on the front elevation.~~

95.98. ~~Rear porches and balconies are allowed and may be up to six (6) stories tall on the rear elevation.~~

96.99. Wraparound balcony or side porch is allowed and may be up to six (6) stories tall.

97.100. All architectural designs must comply with the Condominium Association's bylaws, master deed, rules and regulations.

General Provisions

101. These Site Regulating Standards replace and supersede any previously approved Site Regulating Standards for the Windward Pointe site.

98.102. In the event of any conflict between the Site Regulating Standard and general notes on the plans, and this Windward Pointe Lot and Building Parameters document, this document shall govern.



Agenda Item Review Form

Muskegon Planning Commission

Commission Meeting Date: September 11, 2025	Title: Case 2025-37: Request to amend the Planned Unit Development (PUD) at 3400/3460/6474 Wilcox Ave, 1875 Waterworks Rd and 1490 Edgewater St (The Sand Docks) to modify parcel locations, modify parking layouts, add a sidewalk connection to the boardwalk, eliminate two multi-family buildings, and add seven single-family residential lots.
Submitted by: Mike Franzak, Planning Director	Department: Planning
Brief Summary: Request to amend the Planned Unit Development at 3400/3460/6474 Wilcox Ave, 1875 Waterworks Rd and 1490 Edgewater St (The Sand Docks) to modify parcel locations, modify parking layouts, add a sidewalk connection to the boardwalk, eliminate two multi-family buildings, and add seven single-family residential lots.	
Detailed Summary & Background: The original PUD was approved in June 2019 and this request would be the third amendment. <u>Requested changes to the PUD</u> The amendments to the site plan are described below and also within the attachment "The Sand Docks PUD Amendment — Pt 1," which also includes a descriptive map of what is changing. The complete updated site plan can be viewed in the attachment "The Sand Docks PUD Amendment — Pt 2." Exhibit B (attachment 1) *Increasing lots 1–12 from 38-feet deep to 70-feet deep. *Lots 1–6 have been shifted to the south to allow for a sidewalk connection to the boardwalk, between lots 6 and 7. *The parking on the east side of the median was eliminated. Exhibit C (attachment 1) *The configuration of the public road and alleys was simplified, placing lots on each side of the road. *The number of single-family home lots was increased from 19 to 26 in this section. *Two multi-family buildings with a total of 10 residential units were eliminated from this section. Notice was sent to all properties within 300 feet of the development. At the time of this writing, staff had not received any comments from the public. <u>Staff Recommendation</u> Staff recommends approval of the PUD amendment. The site plan was updated after submittal, at	

the recommendation of the Engineering Department, to correct the revised on-street parking layout on the south end of the property (Exhibit B).

Goal/Focus Area/Action Item Addressed:

Key Focus Areas:

Goal/Action Item:

2027 Goal 2: Economic Development Housing and Business

Amount Requested:

N/A

Budgeted Item:

Yes		No		N/A	X	
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Fund(s) or Account(s):

N/A

Budget Amendment Needed:

Yes		No		N/A	X	
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Recommended Motion:

(If considered a major amendment) I move the request to amend the PUD as presented in the staff report be recommended to the City Commission for approval.

(If considered a minor amendment) I move the request to amend the PUD as presented in the staff report be approved.

Approvals:

Immediate Division Head	X	
Information Technology		
Other Division Heads		
Communication		
Legal Review		

Guest(s) Invited / Presenting:

No

THE
SAND
DOCKS



Planned unit Development

Application for Third Amendment to PUD

September 11, 2025

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- Landscape and Architecture of the Development
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EXHIBITS

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- B. Proposed Changes to PUD Site Plan
- C. Proposed Changes to PUD Site Plan
- D. Drawings
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 - C-300 Grading and Drainage Plan
 - C-400 Utility Layout Plan
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Executive Summary

The Sand Docks is situated between 1000' feet of existing Muskegon Lake shoreline on the East and a short walk to Lake Michigan on the West. The site location is shown on Exhibit A. The Sand Docks emphasizes engagement of the water and open space throughout the pedestrian-oriented development. Greenspace, dune ridges and landscaping form the perimeter and buffer the development from neighboring residents.

The Sand Docks' has permitted a new 11.6 acre boat basin that takes center stage, providing immediate access to Muskegon Lake and just minutes away from Lake Michigan via the Muskegon channel. This feature provides one mile of new waterfront, varying in width from 90' to 280' and contains a variety of shoreline conditions from gradual sloping sand shore to hard seawall, enabling for a variety of uses. The boat basin will include slips for approximately 106 boats with a combination of marina docks and docks at private residences.

Common amenities include boardwalks, parks, trails and firepits. Residents may enjoy over-water decks, docks, boathouses. Anchoring the boat basin is the community center with a pool, fitness center, pickleball courts, a kayak launch and other amenities for residents and a neighborhood restaurant for public enjoyment. Waterfront homes, including some with boathouses make up one area while cottages fronting on pocket parks and boardwalks find their place in another.

The underlying zoning for the property is R-1. As a PUD The Sand Docks is an innovative design incorporating mixed and varied uses, clustering homes in some areas while providing significant open space in the form of parks, wetlands, walkways and water. The density under the proposed PUD is 238 units, approximately the same as was approved in 2024.

In addition to residential units there are 17 standalone garages/storage sheds. One non-residential building will house a restaurant, ice cream store and convenience/marine supply store, community room, fitness room and locker rooms.

Changes from the Approved PUD.

The City Commission approved the Planned Unit Development (PUD) for The Sand Docks on June 25, 2019 followed by an approval of an amendment on June 23, 2020 and a second amendment on August 27, 2024.

The current site plan has two minor changes from that which was approved in 2024 shown in Exhibits B and C and summarized below.

Exhibit B

1. The lots numbered 1 through 12 were increased in size from 35 wide x 38 deep to 35 wide x 70 deep.
2. Lots 1 through 6 have been shifted to the south to allow for a sidewalk connection to the boardwalk, between lots 6 and 7.
3. The parking on the east side of the road was eliminated

Exhibit C

1. The configuration of the public road and alleys was simplified, placing lots on each side of the road.
2. The number of single-family home lots was increased from 19 to 26 in this section.
3. Two multi-family buildings with a total of 10 residential units were eliminated from this section.

The Planned Unit Development Requirements

The Sand Docks has not been designed as a PUD to increase density, or cluster homes to reduce infrastructure cost but rather to take advantage of the reduced area, width and setbacks below the normal minimums, which allow homes to be more engaged with the newly created 11.6 - acre boat basin.

Following are the calculations of the density, open space and waterfront access requirements of the zoning ordinance.

POST DEVELOPMENT DENSITY CALCULATION

UNDEVELOPABLE AREAS

Wetland Area/Conservation Easement	9.88	<i>Area Dedicated for Conservation Easement</i>
Surface Water/Floodplain	11.61	<i>Boat Basin</i>
Street R.O.W	10.1	
Private Easement	2.44	
Marina Parking	0.44	
Total Vehicle Access	12.98	<i>Public R.O.W., Private Access Easment, Parking</i>
Area of Infiltration Basins	2.3	
Area of Steep Slopes	8.4	<i>Includes Critical Dune Area and Banks above wetland</i>
Total Undevelopable Area	45.17	
Overall Area of Site	76.68	
Net Developable Area	31.51	
Allowed Dwelling Units	228	<i>Net Developable Area / Minimum Lot Size of 6,000 sq ft (R-1 Zoning)</i>
Density - units per acre	7.24	
Proposed Dwelling Units	238	
Density - units per acre	7.55	

Bonus Units: Where developer provides additional open space or amenities within development, additional density may be granted. A maximum of a 10% unit bonus may be granted to the development for additional amenities such as public trail easement, additional open space, additional common water front area, and additional landscaping.

OPEN SPACE CALCULATION

Section 403.4 requires a minimum of 15% of the site to be dedicated common open space. At least one third of the dedicated open space shall be usable open space.

Wetland	5.18	<i>Area of Non-Impacted Wetland</i>
Conservation Easement - outside wetland	4.7	<i>Easements Surrounding Non-impacted Wetlands</i>
Green Belts and Parks	9.67	<i>Excludes Stormwater Basins</i>
Critical Dune/Steep Slopes	8.40	
Total Open Space	27.95	
Overall Area of Site	76.68	
Percentage Open Space	36.5%	
Usable Open Space (Green Belts, Parks and	22.77	
Percentage Usable Open Space	81.5%	

WATERFRONT ACCESS CALCULATION

Section 403.6 requires a minimum of 50% of the shoreline be open space

Accessible Waterfront - in feet	
Boardwalk	1,201
Green Belt (Boat Basin)	2,988
Green Belt (Muskegon Lake)	300
Total Accessible Waterfront	<u>4,489</u>
Total Waterfront - in feet	
Muskegon Lake	1,000
Boat Basin	5,577
Total Length of Waterfront	<u>6,577</u>
Percentage Accessible Waterfront	68.3%

Drawings Sheet FIG-3 included in EXHIBIT D depicts the areas used in the above calculations.

Landscape and Architecture of the Development

The Sand Docks will consist of 130 site condominium lots for detached homes, 66 townhomes, an 18-unit, two/three-story condominium building, a 15-unit, two/three-story condominium building and a 9-unit, two/three-story condominium building. Entering the The Sand Docks from Waterworks you will climb the dedicated access road (completed in 2023) at a 7% grade and at the crest, be sitting 30 feet above the boat basin with views of the entire development and out to Muskegon Lake. As you descend toward the south end of the boat basin you will pass a variety of townhomes on both sides of the road. In addition to 32 lots with private boat slips there will be approximately 50 boat slips located throughout the basin for residents not able to have private docks.

The south end of the development has the highest density and in addition to the townhomes includes a condominium building site, the pool, kayak launch, pickle ball courts and a public plaza. A building at this location will house a restaurant, ice cream store and convenience/marine supply store, community room, fitness room and locker rooms. The restaurant overlooking the marina will have seating for 85 indoors and additional outdoor seating on a seasonal basis.

Waterfront homes on the east side of the basin will be close to the water and include boat houses and private docks. Sidewalks through this east neighborhood lead to a boardwalk through the wetlands fronting the south side of the entrance to the basin from Muskegon Lake. The homes and 9-unit condo building at the furthest point out on Public Road E are elevated with multi directional views of Muskegon Lake and the wetlands. Smaller cottage style homes

in the east neighborhood front natural dune landscaping with a boardwalk leading to greenspace on the boat basin.

Along the west side of the basin the architecture transitions from small Nantucket style “fish huts” on the boardwalk to homes with large lots and public greenspace fronting the boat basin. Further north are homes looking across the road to the Marina channel and on the opposite side of the alley, homes and townhomes overlooking Harbour Towne marina. On Muskegon Lake at the furthest northeast corner there are 9 Muskegon Lake lots.

Conceptual architecture of housing is included in EXHIBIT F.

The Vision of The Sand Docks is set forth in greater detail in the Design Guidelines. Adherence to the Design Guidelines and hence the vision will be controlled through a Design Review Board.

Engineering and Development Strategy

The project is well situated within the City of Muskegon to be serviced by existing infrastructure. We, in collaboration with our development team, have completed a detailed due diligence evaluation of the property and available infrastructure to support it. The project is bordered on all sides with existing development including the Harbour Towne Condominium development and the Lake Michigan Park Plat to the west, the original City of Muskegon Plat to the south, the Edgewater Plat to the East and Harbour Towne Marina and Harbour Towne Beach to the north. This existing development has created a network of roadways and utility corridors that are sufficient to support the proposed development.

Preliminary meetings and correspondence with the City of Muskegon Fire Marshall influenced the width of streets and alleys and emergency vehicle operational areas. Further review of the plan is anticipated.

The entry into The Sand Docks is at the intersection of Wilcox Avenue and Plum Street. An additional gated, emergency access will be located on the northwest side of the development across from Harbour Townes’s “Sand Dock Ct”.

During design and construction of the Harbour Towne development, future development on the property currently proposed as The Sand Docks was anticipated and utility connection stubs were provided at the south end of that development. With regards to public water supply, there is adequate flow and pressure in the existing network to support the proposed development. The development engineering team has met with City Engineering staff and we

have worked with them to identify connection points and main sizes that will strengthen flows and pressures in the area and provide redundancy as required by the Michigan Department of Environmental Quality (MDEQ) and good engineering practices. It should be noted that the water filtration plant is located almost due south of this development. During the previously approved PUD the City Engineering Department was in agreement with the layout of our proposed piping, reserving the right to offer further comments during the design and permitting stage.

Sanitary waste from The Sand Docks is proposed to connect to the existing 10-inch sewer stub at the south end of the Harbour Towne Condominiums and to an existing manhole located at the end of Sand Docks Court in the Harbour Towne development. These connection points flow to an existing pump station in Harbour Towne and then is pumped to Wilcox Avenue where it will flow by gravity into the City's system. It is clear that the Harbour Towne lift station was designed to accommodate a future development and that there is extra capacity in the system. The Basis of Design Developed for the existing Harbour Towne lift station indicates that it has the capacity for about 426 residential equivalent units (REU's). An REU is the amount a normal residential household would be expected to discharge to the system. It has been estimated that there are about 200 REU's connected to the lift station leaving a capacity of 226 REU's. Based on this, the Harbour Towne Lift station would require only minor modifications to accommodate the Sand Docks Development and then only once the final phase of the development commences. Meanwhile, flows to the lift station will be monitored to verify the design assumptions. The engineering team will be working closely with City Staff during detailed design to ensure that the proposed infrastructure meets the City's requirements for development.

Utility and Grading Plans as well as the Site Survey are included under EXHIBIT D.

Project Phasing

A Special Exception Permit from the Michigan Department of Environmental Quality was received on May 23, 2018. This permit allowed for the removal of vegetation, construction of an access road and pedestrian walkway and revegetation of the disturbed areas of the critical dune. This work was completed between December of 2022 and April of 2023.

Multiple meetings have been held with the Michigan Department of Environment, Greta Lakes and Energy (EGLE, formerly MDEQ) to discuss the project and the joint permit application was subsequently submitted to the EGLE and United States Army Corps of Engineers. This permit will cover dredging below the ordinary high water mark of Muskegon Lake to connect the new

boat basin to the lake, removal of old piling and mooring dolphin in Muskegon Lake, unavoidable impact to certain wetlands that were incidentally created as a result of historical mining operations at the site, off-site compensatory wetland mitigation, installation of rip-rap breakwaters at the entrance to the connecting channel, rip-rap placement at various shoreline locations, installation of fixed pier and/or floating docks in the boat basin, kayak/canoe launching areas and marina pump out facilities as may be required.

The permit from EGLE has been signed as of this month.

ENTRANCE ROAD – completed April, 2023

PHASE 1 will begin is anticipated to be in the spring of 2026. This phase includes construction of the boat basin, the completion of Public Roads A, lots 1 through 53 and condominium building 27. A permit from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) was received July 24, 2025.

PHASE 2 includes Public Roads B and C, the townhome and condominium sites and community amenities at the south end of the basin, lots 58 to 118 and buildings 54, 55, 107, 108, 119, and 142 to 147.

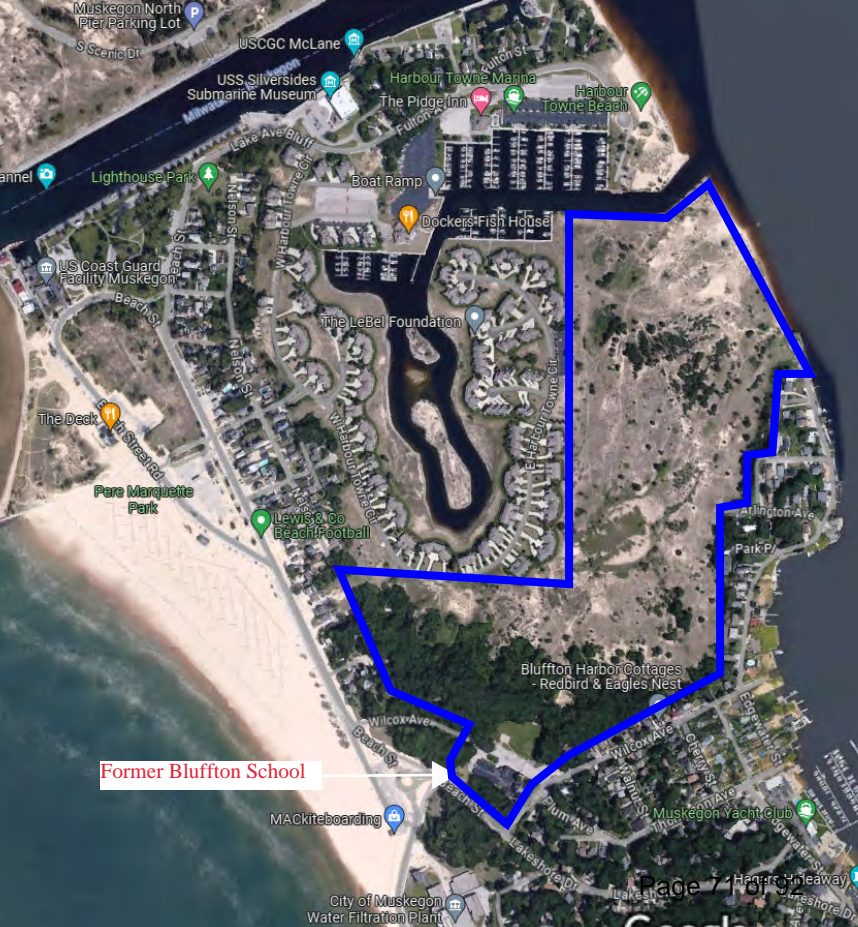
PHASE 3 includes Public Road D along with lots 122 through 140 and townhome sites 120, 121 and 141.

Drawing FIG-2 in EXHIBIT D shows the phasing.

LOCATION OF THE SITE



Sand Docks Site

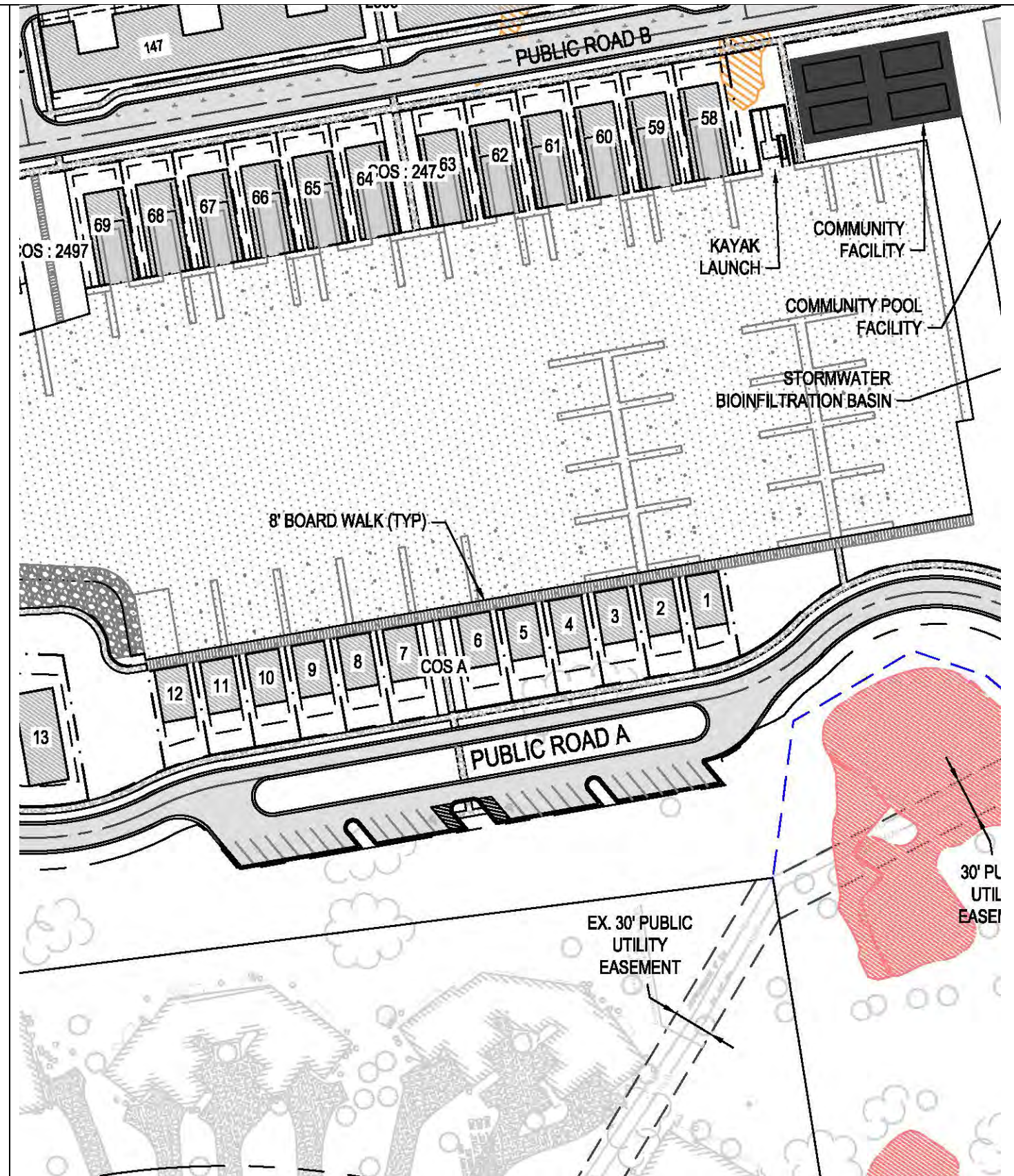


Former Bluffton School





APPROVED LAYOUT



PROPOSED LAYOUT

Exhibit B

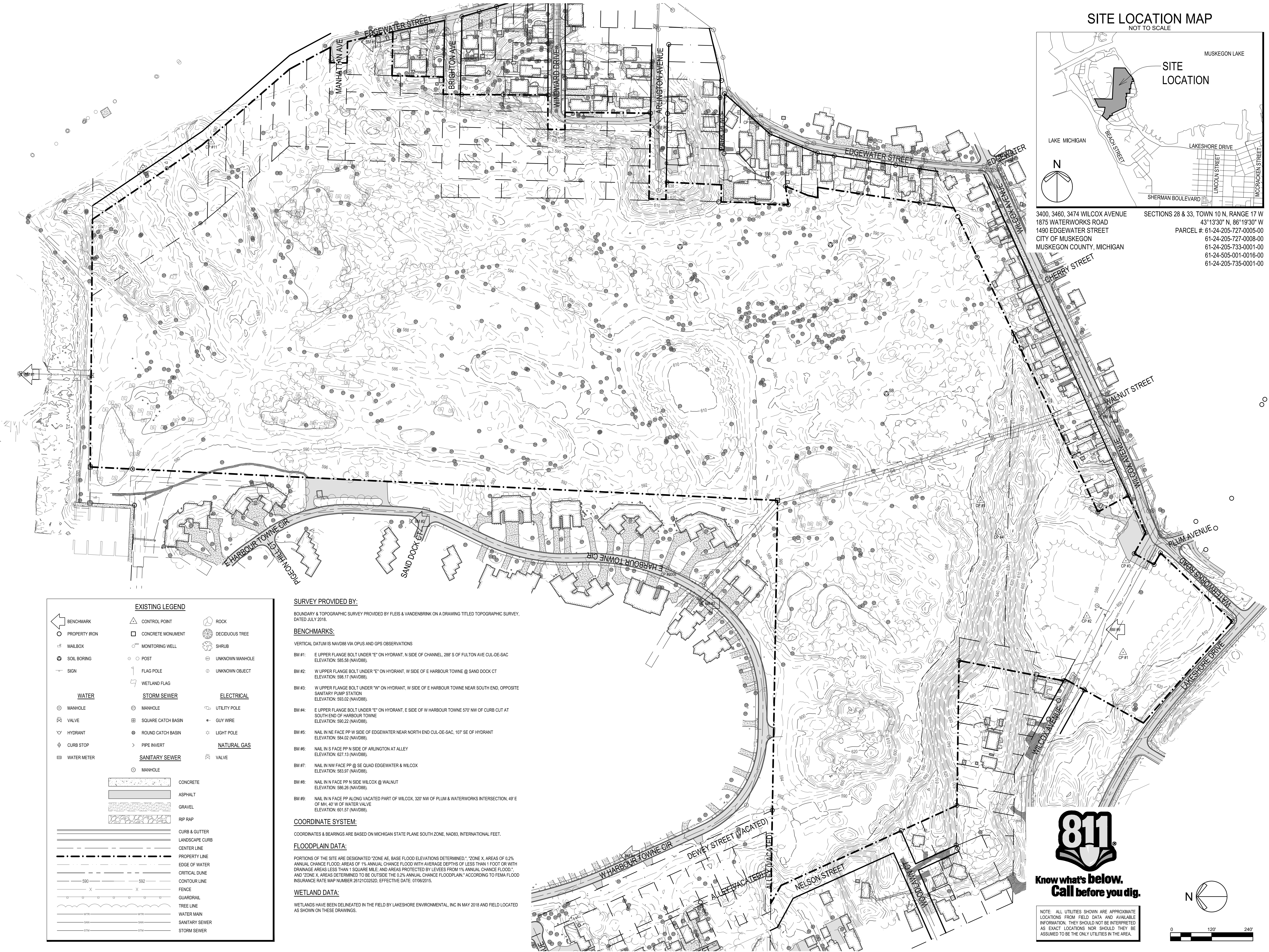


APPROVED LAYOUT

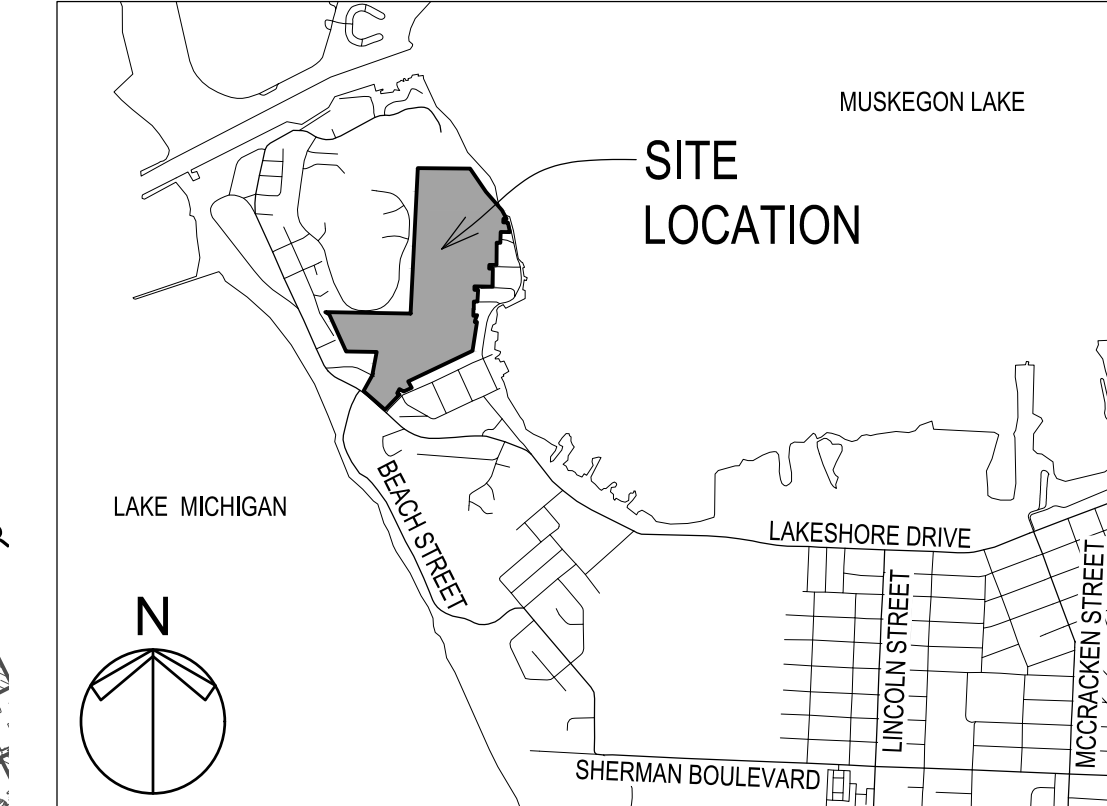


PROPOSED LAYOUT

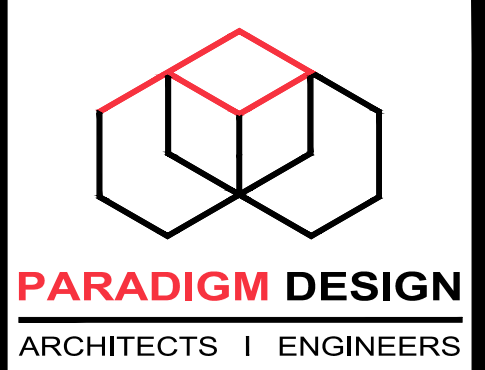
Exhibit C



SITE LOCATION MAP
NOT TO SCALE



3400, 3460, 3474 WILCOX AVENUE SECTIONS 28 & 33, TOWN 10 N, RANGE 17 W
 1875 WATERWORKS ROAD 43°13'30" N, 86°19'30" W
 1490 EDGEWATER STREET PARCEL #: 61-24-205-727-0005-00
 CITY OF MUSKEGON 61-24-205-727-0008-00
 MUSKEGON COUNTY, MICHIGAN 61-24-205-733-0001-00
 61-24-505-001-0016-00
 61-24-205-735-0001-00



GRAND RAPIDS 550 3 Mile NW Suite B Grand Rapids, MI 49544 (616) 785-5656
TRAVERSE CITY 333 E. State Street Traverse City, MI 49684 (231) 346-3030
 www.paradigmae.com

PROJECT
THE DOCKS

APPROX. 3400 WILCOX AVENUE
MUSKEGON, MI 49440

DEVELOPER
DAMFINO DEVELOPMENT, LLC

(231) 722-6691
580 MART STREET
MUSKEGON, MI 49440

RELEASE DATE

DATE	DESCRIPTION

PROJECT

1806064

SHEET

CIVIL EXISTING
CONDITIONS PLAN

EXISTING LEGEND

BENCHMARK	CONTROL POINT	ROCK
PROPERTY IRON	CONCRETE MONUMENT	DECIDUOUS TREE
MAILBOX	MONITORING WELL	SHRUB
SOIL BORING	POST	UNKNOWN MANHOLE
SIGN	FLAG POLE	UNKNOWN OBJECT
WETLAND FLAG	WETLAND FLAG	ELECTRICAL
WATER	STORM SEWER	UTILITY POLE
MANHOLE	MANHOLE	GUY WIRE
VALVE	SQUARE CATCH BASIN	LIGHT POLE
HYDRANT	ROUND CATCH BASIN	NATURAL GAS
CURB STOP	PIPE INVERT	VALVE
WATER METER	SANITARY SEWER	
	MANHOLE	
	CONCRETE	
	ASPHALT	
	GRAVEL	
	RIP RAP	
	CURB & GUTTER	
	LANDSCAPE CURB	
	CENTER LINE	
	PROPERTY LINE	
	EDGE OF WATER	
	CRITICAL DUNE	
	CONTOUR LINE	
	FENCE	
	GUARDRAIL	
	TREE LINE	
	WATER MAIN	
	SANITARY SEWER	
	STORM SEWER	

SURVEY PROVIDED BY:
BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY FLEIS & VANDENBRINK ON A DRAWING TITLED TOPOGRAPHIC SURVEY, DATED JULY 2018.

BENCHMARKS:

- VERTICAL DATUM IS NAVD88 VIA OPUS AND GPS OBSERVATIONS
- BM #1: E UPPER FLANGE BOLT UNDER "E" ON HYDRANT, N SIDE OF CHANNEL, 288' S OF FULTON AVE CUL-DE-SAC ELEVATION: 585.58 (NAVD88)
 - BM #2: W UPPER FLANGE BOLT UNDER "E" ON HYDRANT, W SIDE OF E HARBOUR TOWNE @ SAND DOCK CT ELEVATION: 598.17 (NAVD88)
 - BM #3: W UPPER FLANGE BOLT UNDER "W" ON HYDRANT, W SIDE OF E HARBOUR TOWNE NEAR SOUTH END, OPPOSITE SANITARY PUMP STATION ELEVATION: 593.02 (NAVD88)
 - BM #4: E UPPER FLANGE BOLT UNDER "E" ON HYDRANT, E SIDE OF W HARBOUR TOWNE 570' NW OF CURB CUT AT SOUTH END OF HARBOUR TOWNE ELEVATION: 590.22 (NAVD88)
 - BM #5: NAIL IN NE FACE PP W SIDE OF EDGEWATER NEAR NORTH END CUL-DE-SAC, 107' SE OF HYDRANT ELEVATION: 584.02 (NAVD88)
 - BM #6: NAIL IN S FACE PP N SIDE OF ARLINGTON AT ALLEY ELEVATION: 627.13 (NAVD88)
 - BM #7: NAIL IN NW FACE PP @ SE QUAD EDGEWATER & WILCOX ELEVATION: 583.97 (NAVD88)
 - BM #8: NAIL IN N FACE PP N SIDE WILCOX @ WALNUT ELEVATION: 586.26 (NAVD88)
 - BM #9: NAIL IN N FACE PP ALONG VACATED PART OF WILCOX, 320' NW OF PLUM & WATERWORKS INTERSECTION, 49' E OF MH, 40' W OF WATER VALVE ELEVATION: 601.57 (NAVD88)

COORDINATE SYSTEM:

COORDINATES & BEARINGS ARE BASED ON MICHIGAN STATE PLANE SOUTH ZONE, NAD83, INTERNATIONAL FEET.

FLOODPLAIN DATA:

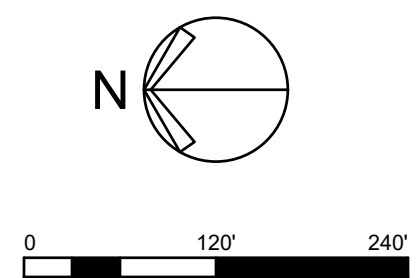
PORTIONS OF THE SITE ARE DESIGNATED "ZONE AE, BASE FLOOD ELEVATIONS DETERMINED", "ZONE X, AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD," AND "ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN," ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NUMBER 26121C0252D, EFFECTIVE DATE: 07/09/2015.

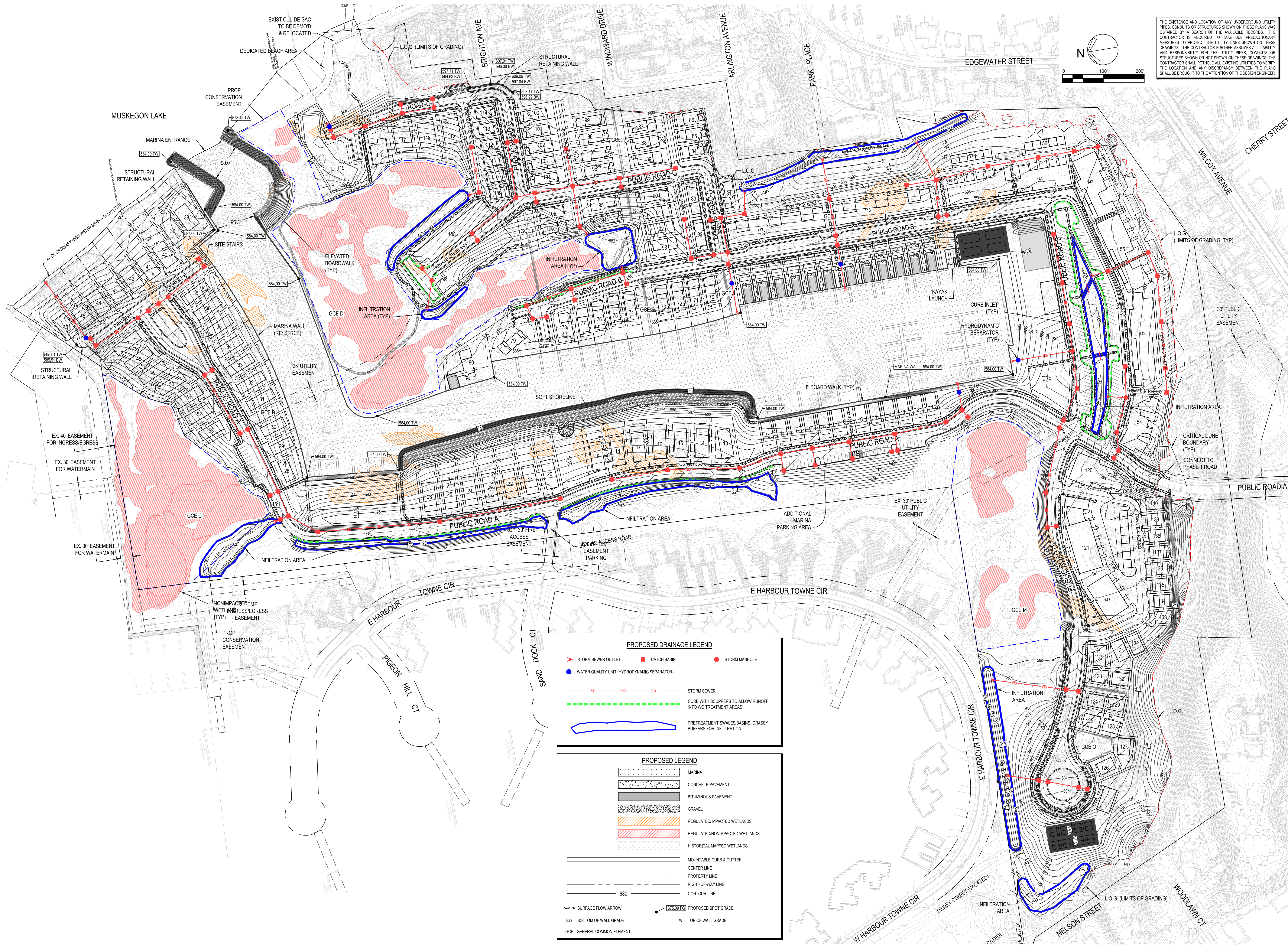
WETLAND DATA:

WETLANDS HAVE BEEN DELINEATED IN THE FIELD BY LAKESHORE ENVIRONMENTAL, INC IN MAY 2018 AND FIELD LOCATED AS SHOWN ON THESE DRAWINGS.

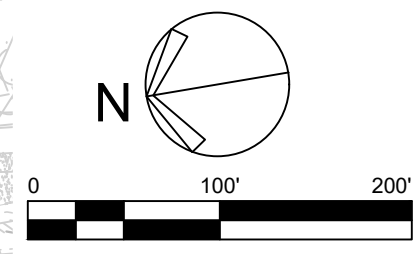


NOTE: ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS FROM FIELD DATA AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.





THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL POT-HOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.



PROPOSED DRAINAGE LEGEND

- ▶ STORM SEWER OUTLET
- CATCH BASIN
- STORM MANHOLE
- WATER QUALITY UNIT (HYDRODYNAMIC SEPARATOR)
- SD — SD — SD — STORM SEWER
- — — CURB WITH SCUPPERS TO ALLOW RUNOFF INTO WQ TREATMENT AREAS
- — — PRETREATMENT SWALES/BASINS, GRASSY BUFFERS FOR INFILTRATION

PROPOSED LEGEND

- ▨ MARINA
- ▨ CONCRETE PAVEMENT
- ▨ BITUMINOUS PAVEMENT
- ▨ GRAVEL
- ▨ REGULATED/IMPACTED WETLANDS
- ▨ REGULATED/NONIMPACTED WETLANDS
- ▨ HISTORICAL MAPPED WETLANDS
- MOUNTABLE CURBS & GUTTER
- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- 680 — CONTOUR LINE
- SURFACE FLOW ARROW
- 675.00 TW — PROPOSED SPOT GRADE
- BW — BOTTOM OF WALL GRADE
- GCE — GENERAL COMMON ELEMENT
- TW — TOP OF WALL GRADE

PARADIGM DESIGN
ARCHITECTS | ENGINEERS

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Grand Rapids, MI 49504
(616) 785-6556

Grand Rapids | Phoenix
www.paradigm.com

NOTE: THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL DESIGN AND SHALL BE SUBJECT TO CHANGE.

JON W. LEDY
MI REGISTRATION #6201038734
EXP. DATE 03/31/2026

PROJECT

THE DOCKS

APPROX. 3400 WILCOX AVE.
MUSKEGON, MI 49440

**PHASE 1
CONSTRUCTION**

CLIENT

MICOAST PROPERTIES, LLC
560 MART ST.
MUSKEGON, MI 49440
(231) 722-6691

RELEASE DATE

DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT

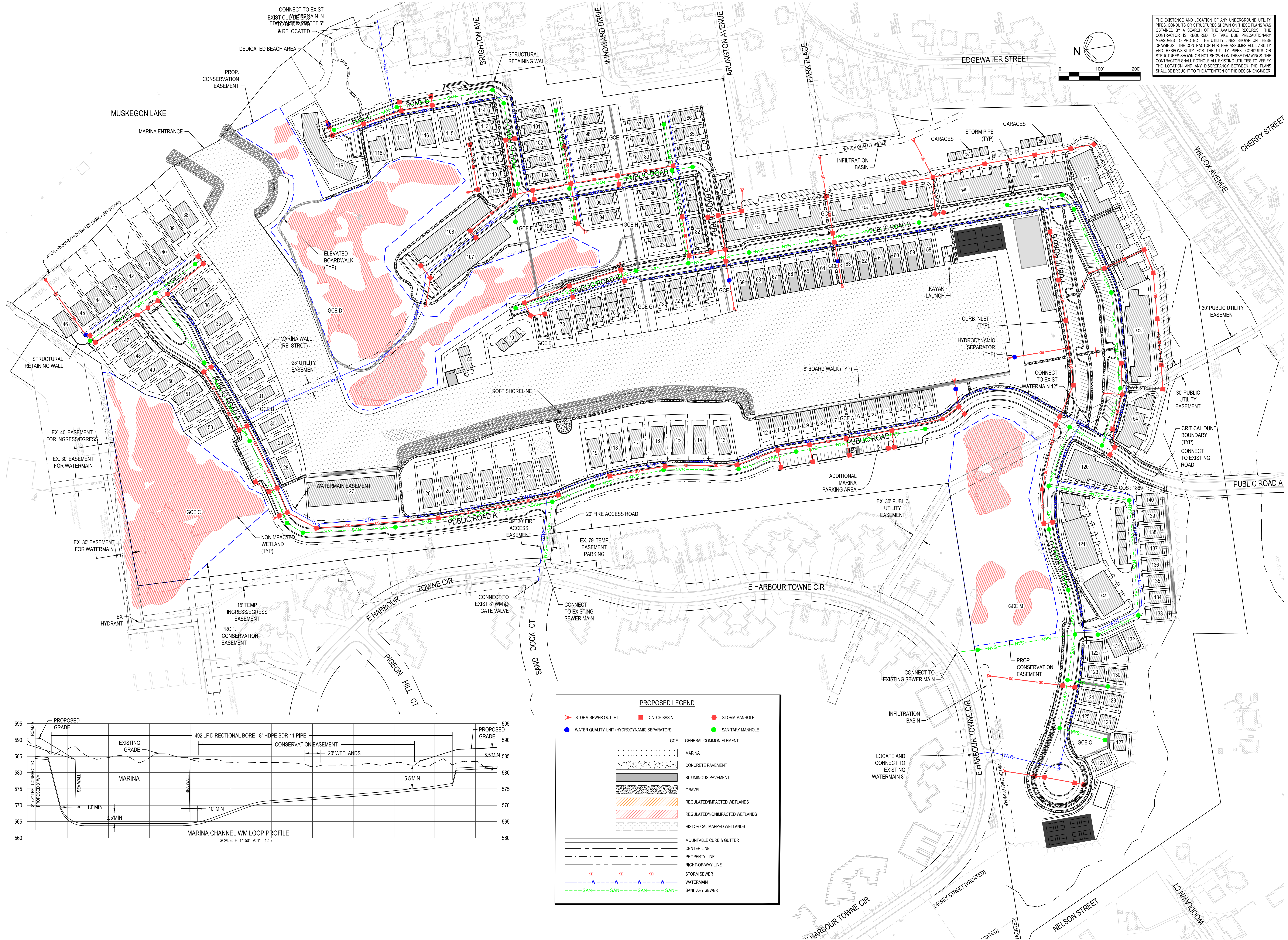
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SHEET

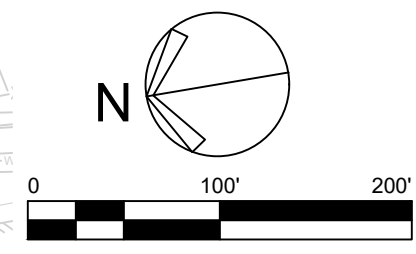
GRADING & DRAINAGE PLAN

C-300

Monthly, August 11, 2025 at 8:45am © 2026 100GR The Docks Muskegon Drawings - 2306100GR/CR/103-Production Sheets - P1.D Drawings/1003-CR/000.dwg jldj



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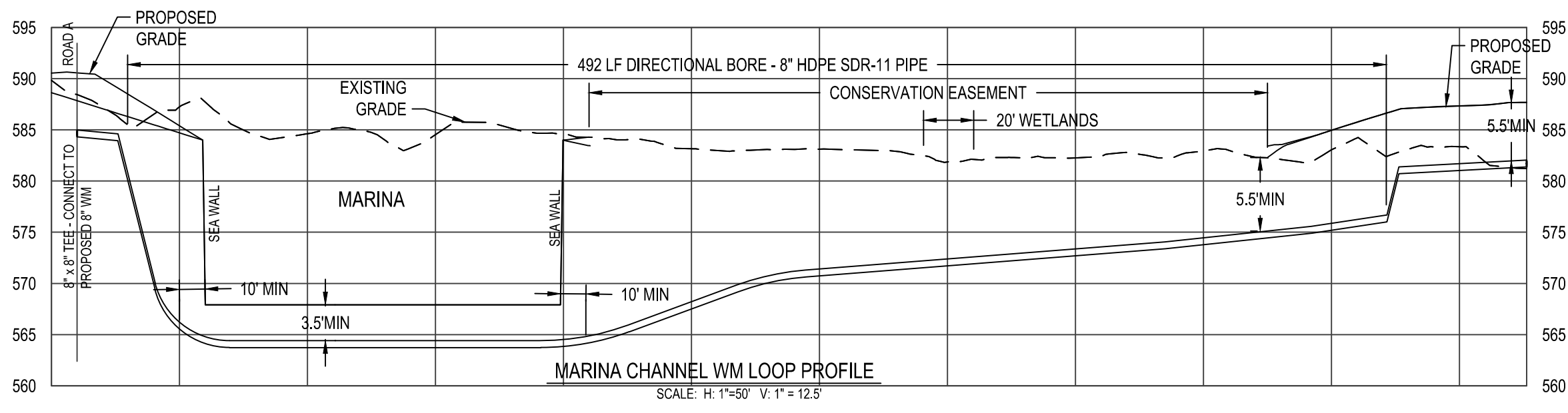


PROPOSED LEGEND

- STORM SEWER OUTLET
- WATER QUALITY UNIT (HYDRODYNAMIC SEPARATOR)
- CATCH BASIN
- GENERAL COMMON ELEMENT
- STORM MANHOLE
- SANITARY MANHOLE

GCE GENERAL COMMON ELEMENT

- MARINA
- CONCRETE PAVEMENT
- BITUMINOUS PAVEMENT
- GRAVEL
- REGULATED/IMPACTED WETLANDS
- REGULATED/NONIMPACTED WETLANDS
- HISTORICAL MAPPED WETLANDS
- MOUNTABLE CURB & GUTTER
- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- STORM SEWER
- WATERMAIN
- SANITARY SEWER



PARADIGM DESIGN
ARCHITECTS | ENGINEERS

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www.paradigm.com

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JON W. LEDY
MI REGISTRATION #6201038734
EXP. DATE 03/12/2026

PROJECT

THE DOCKS

APPROX. 3400 WILCOX AVE.
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PHASE 1 CONSTRUCTION

CLIENT

MICOAST PROPERTIES, LLC
560 MART ST.
MUSKEGON, MI 49440
(231) 722-6691

RELEASE DATE

DATE	DESCRIPTION

NOT FOR CONSTRUCTION

PROJECT

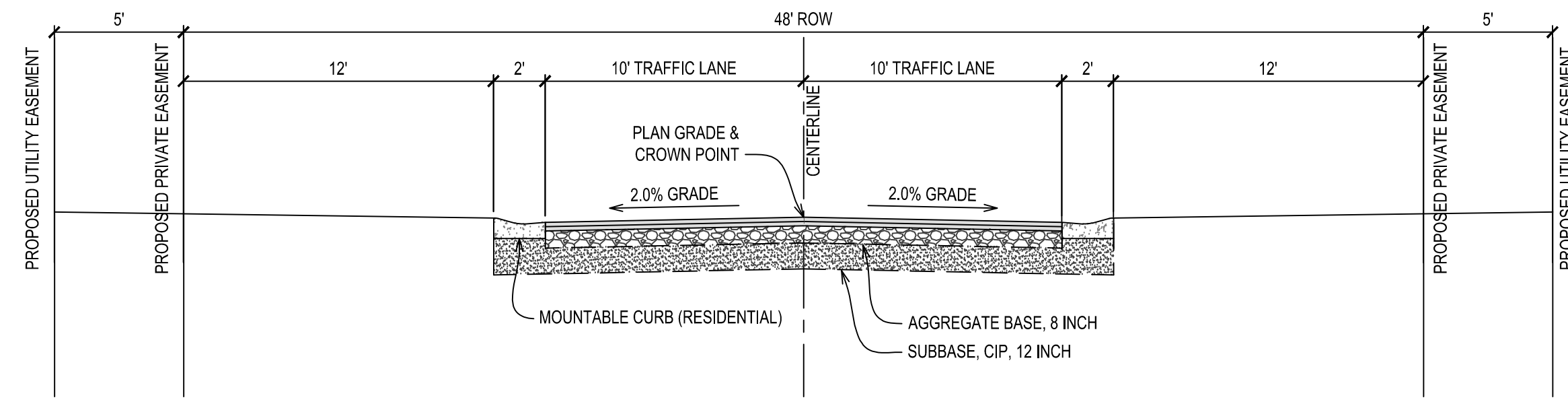
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SHEET

UTILITY LAYOUT PLAN

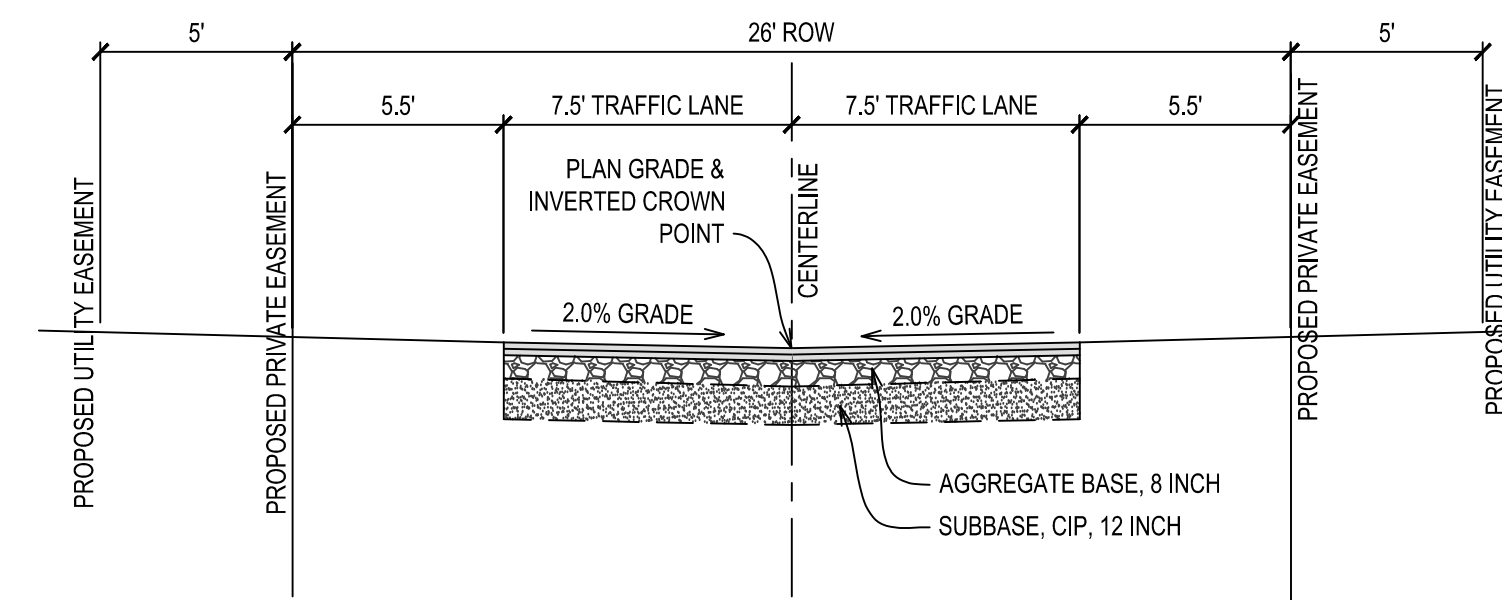
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Monthly: August 11, 2025 at 8:45am © 2026 Paradigm Design - 2306100GR-CIV-03-Production Sheets_P1.D Drawing(1)00C-4-UTP-00.dwg Jedy



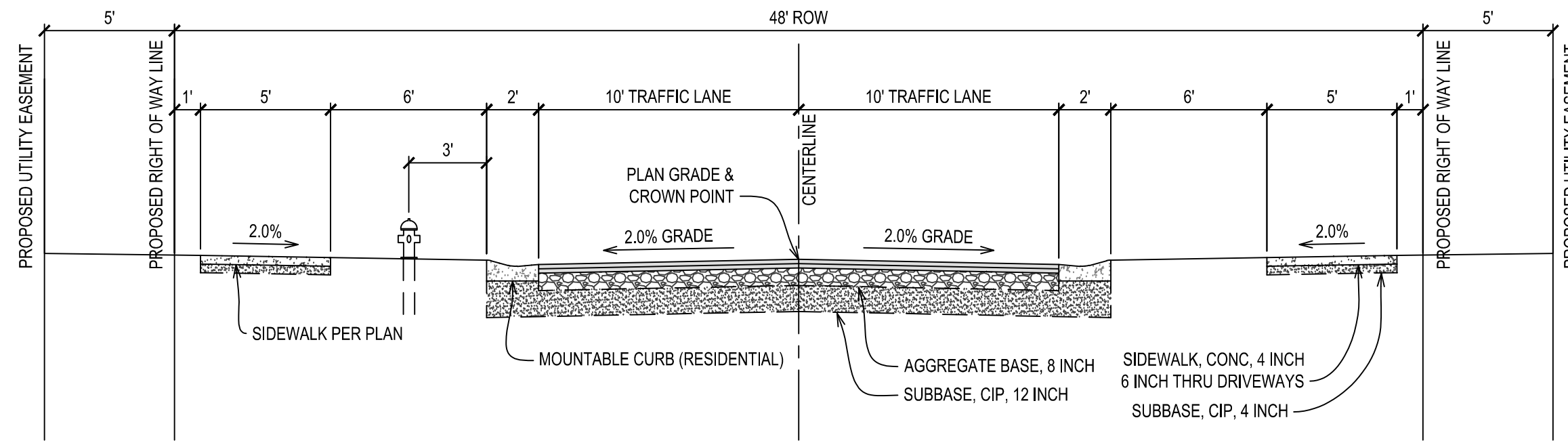
PROPOSED TYPICAL SECTION - PRIVATE STREET

SECTION APPLIES TO:
PRIVATE STREET E, M
NOT TO SCALE



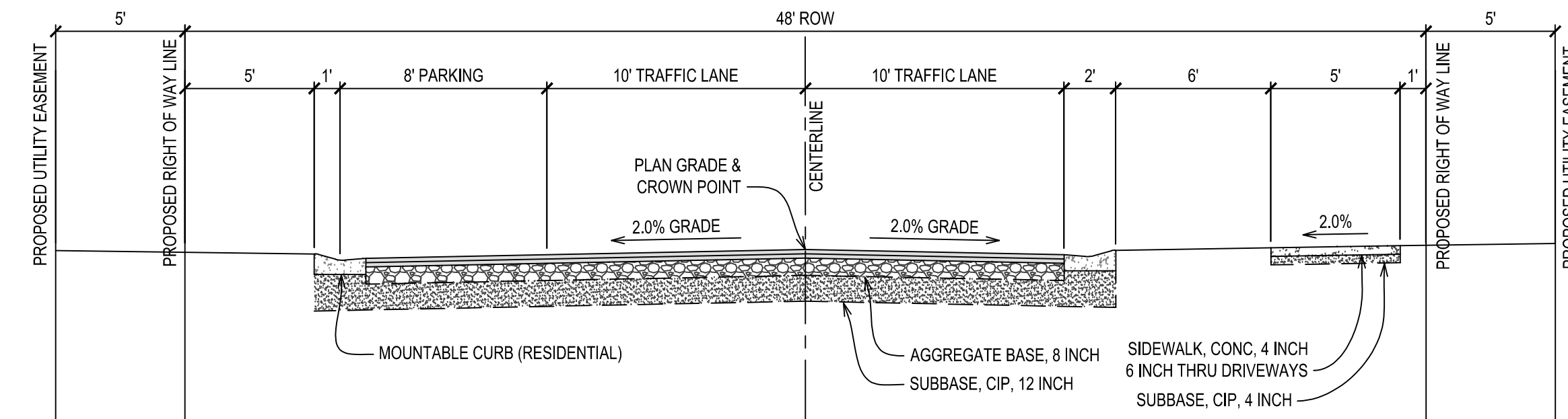
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SECTION APPLIES TO:
PRIVATE STREET F, G, H, I, J, K, L, N
NOT TO SCALE



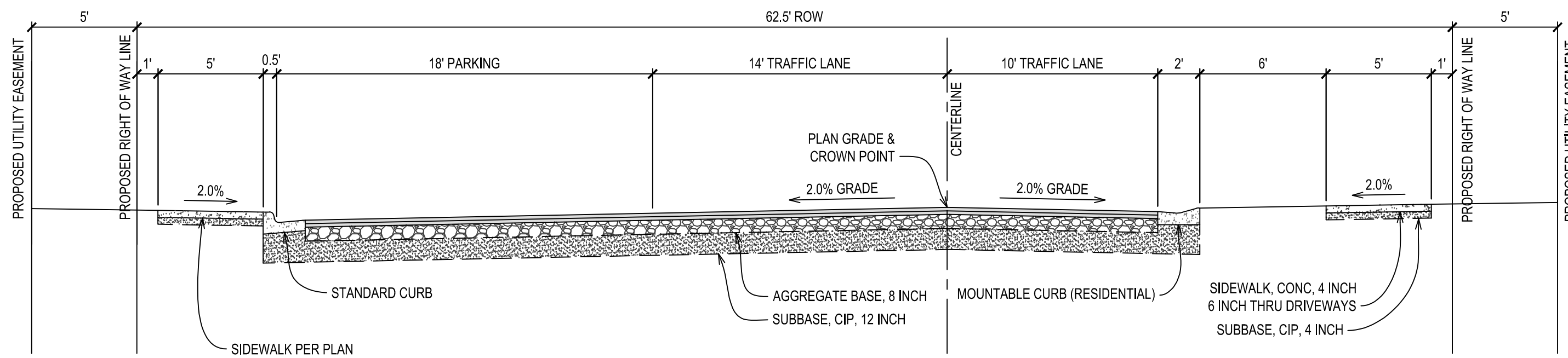
PROPOSED TYPICAL SECTION - PRIMARY STREET

SECTION APPLIES TO:
PUBLIC ROADWAY A, B, C, D
NOT TO SCALE



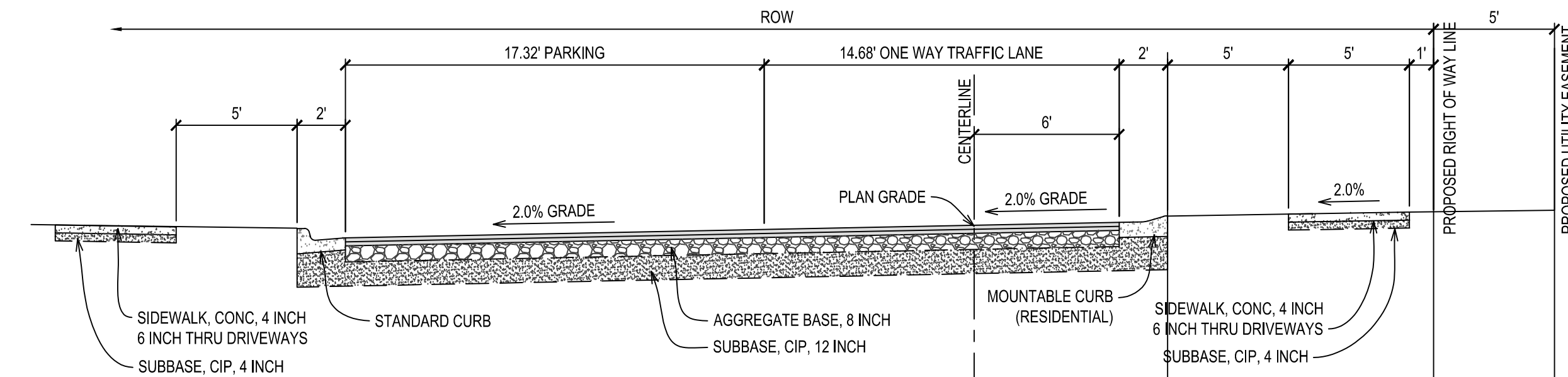
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SECTION APPLIES TO:
PUBLIC ROADWAY A, B, C, D
NOT TO SCALE



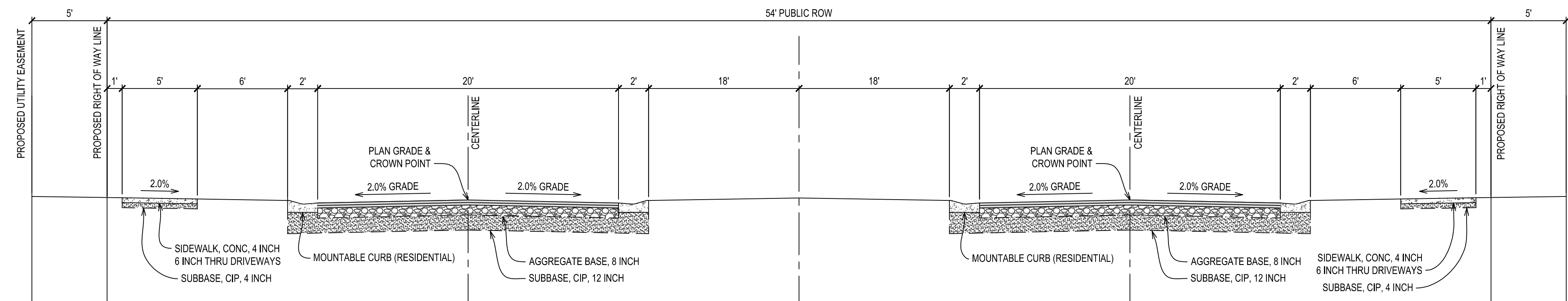
PROPOSED TYPICAL SECTION - PRIMARY STREET WITH PARKING

SECTION APPLIES TO:
PUBLIC ROADWAY A, C
NOT TO SCALE



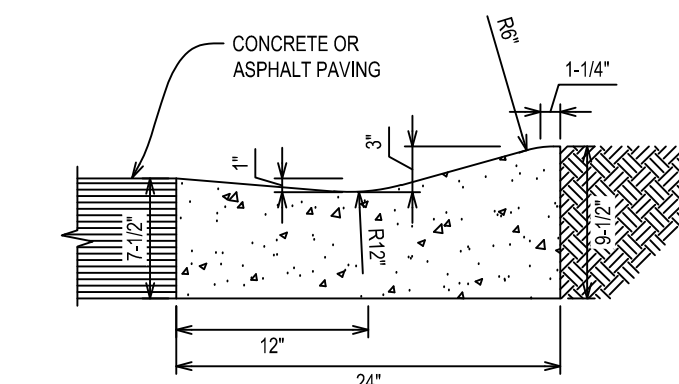
PROPOSED TYPICAL SECTION - PRIMARY ONE WAY STREET WITH ANGLED PARKING

SECTION APPLIES TO:
PUBLIC ROADWAY B
NOT TO SCALE



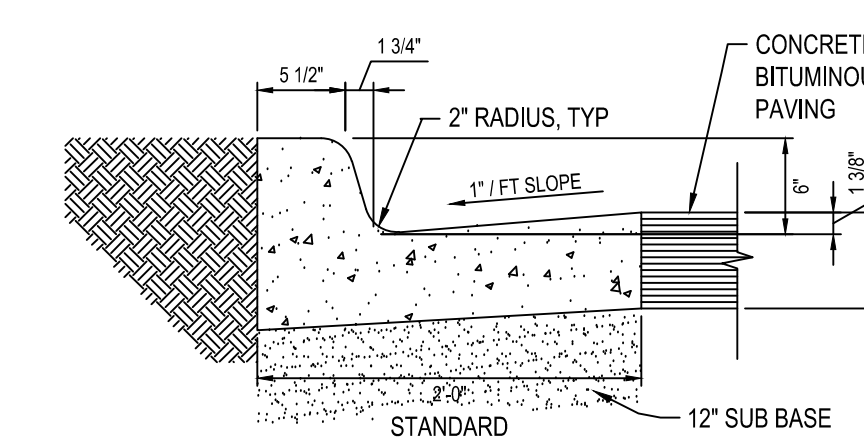
PROPOSED TYPICAL SECTION - BOULEVARD

SECTION APPLIES TO:
PUBLIC ROADWAY A, B
NOT TO SCALE



NOTES 1) CONTRACTION JOINTS SHALL BE PLACED EVERY 10 FT.
2) EXPANSION JOINTS SHALL BE PLACED AT 350 FT. MIN. AND AT ALL RADIUS POINTS.
3) CONCRETE SHALL CONFORM TO M.D.O.T. SPEC. 802.

24" MOUNTABLE CONCRETE CURB & GUTTER
NOT TO SCALE



STANDARD 24" CURB & GUTTER
NOT TO SCALE



PARADIGM DESIGN

ARCHITECTS | ENGINEERS

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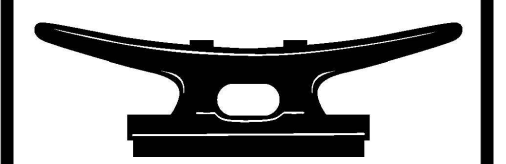
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JON W. LEDY
M.I. REGISTRATION #6201038734
EXP. DATE 03/12/2026

PROJECT

THE DOCKS



APPROX. 3400 WILCOX AVE.
MUSKEGON, MI 49440

PHASE 1
CONSTRUCTION

CLIENT

MICOAST PROPERTIES, LLC

560 MART ST.
MUSKEGON, MI 49440
(231) 722-6691

RELEASE DATE

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PROJECT

2306100GR

SHEET

TYPICAL SECTIONS

C-700

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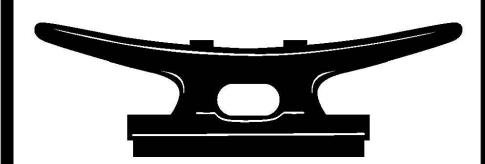
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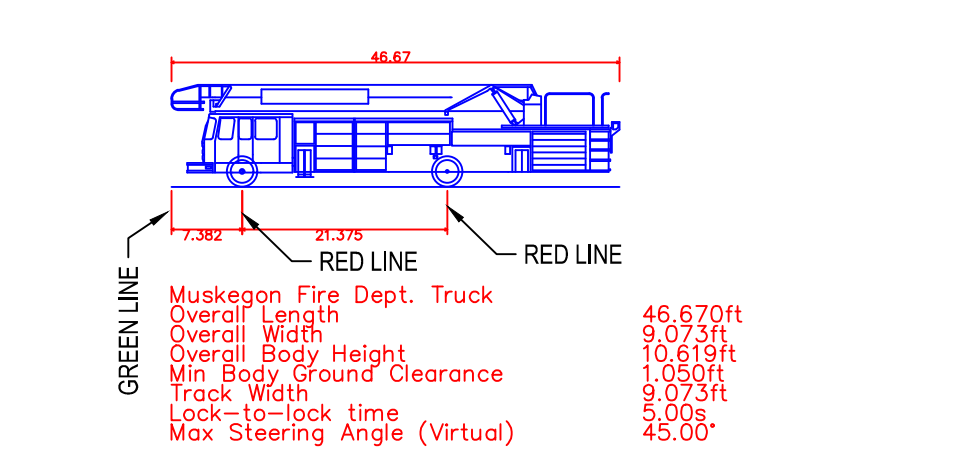
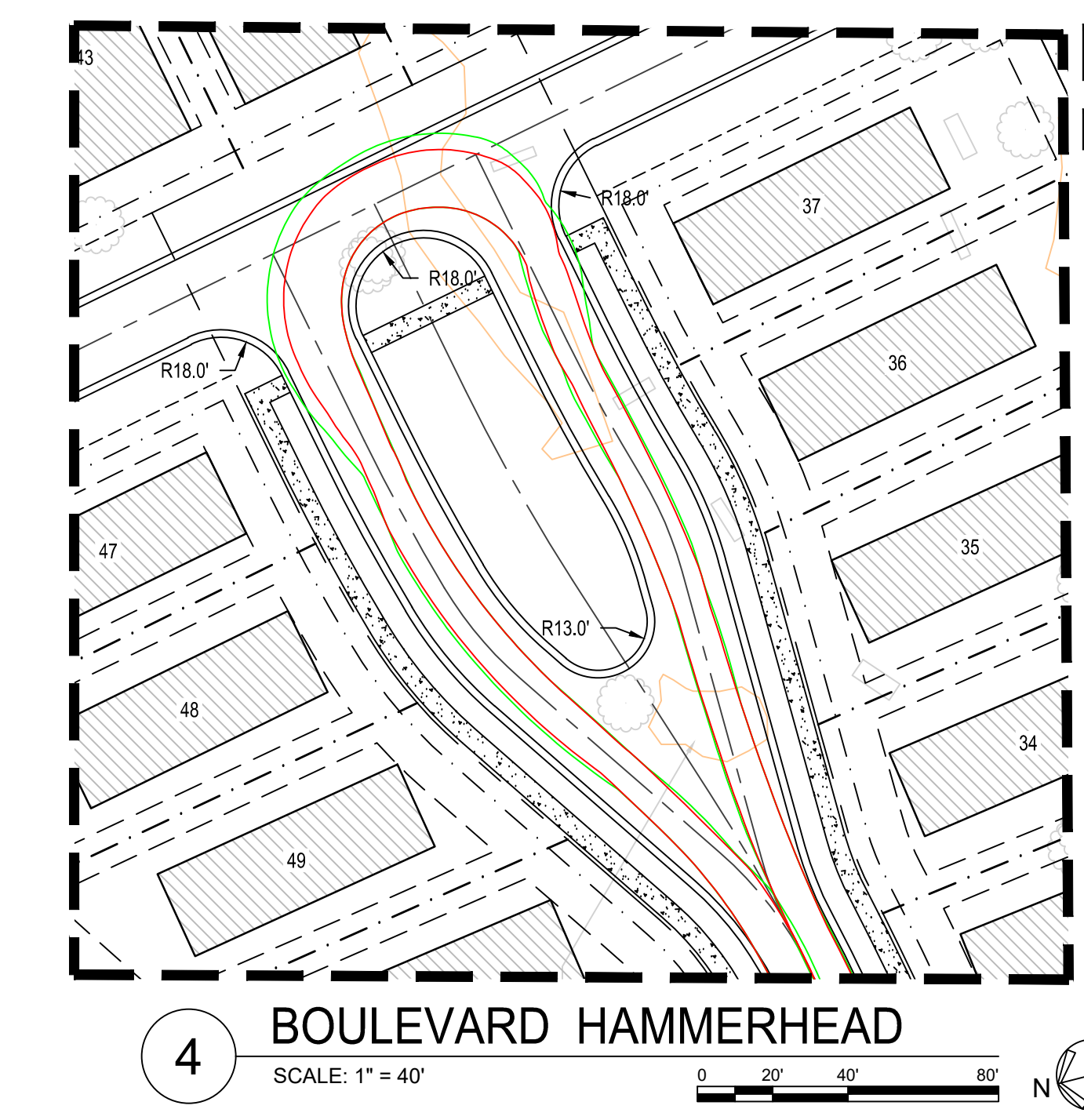
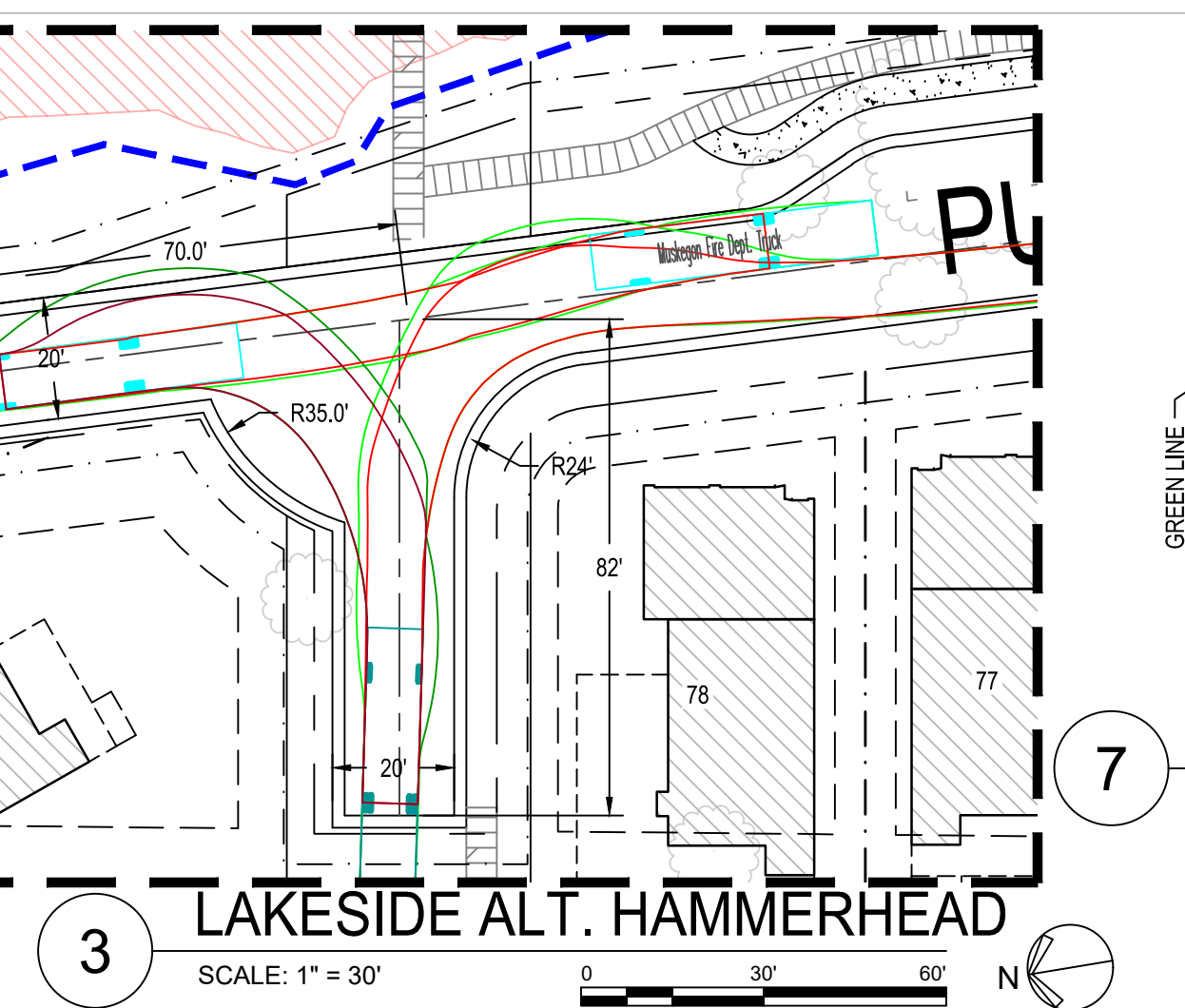
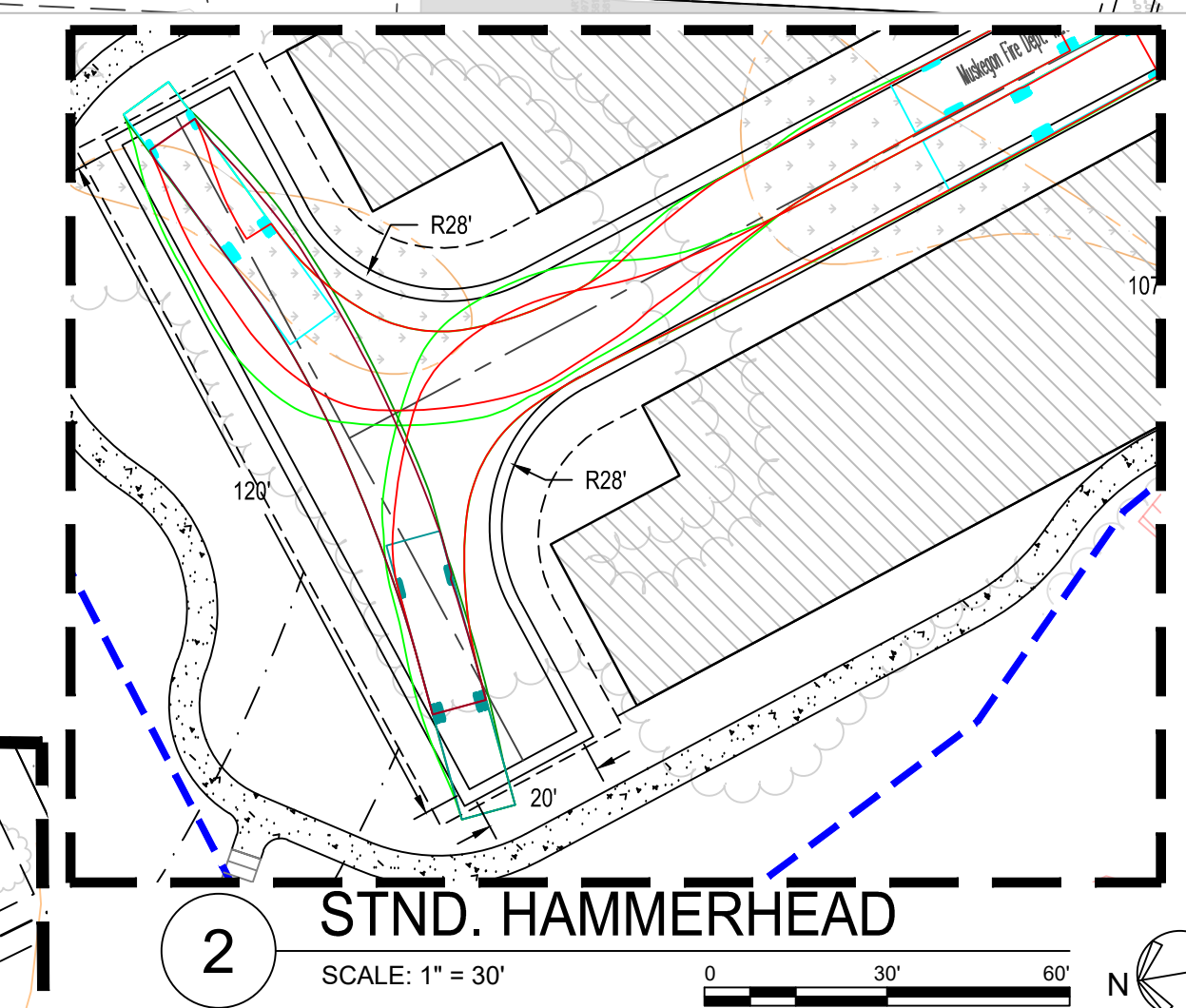
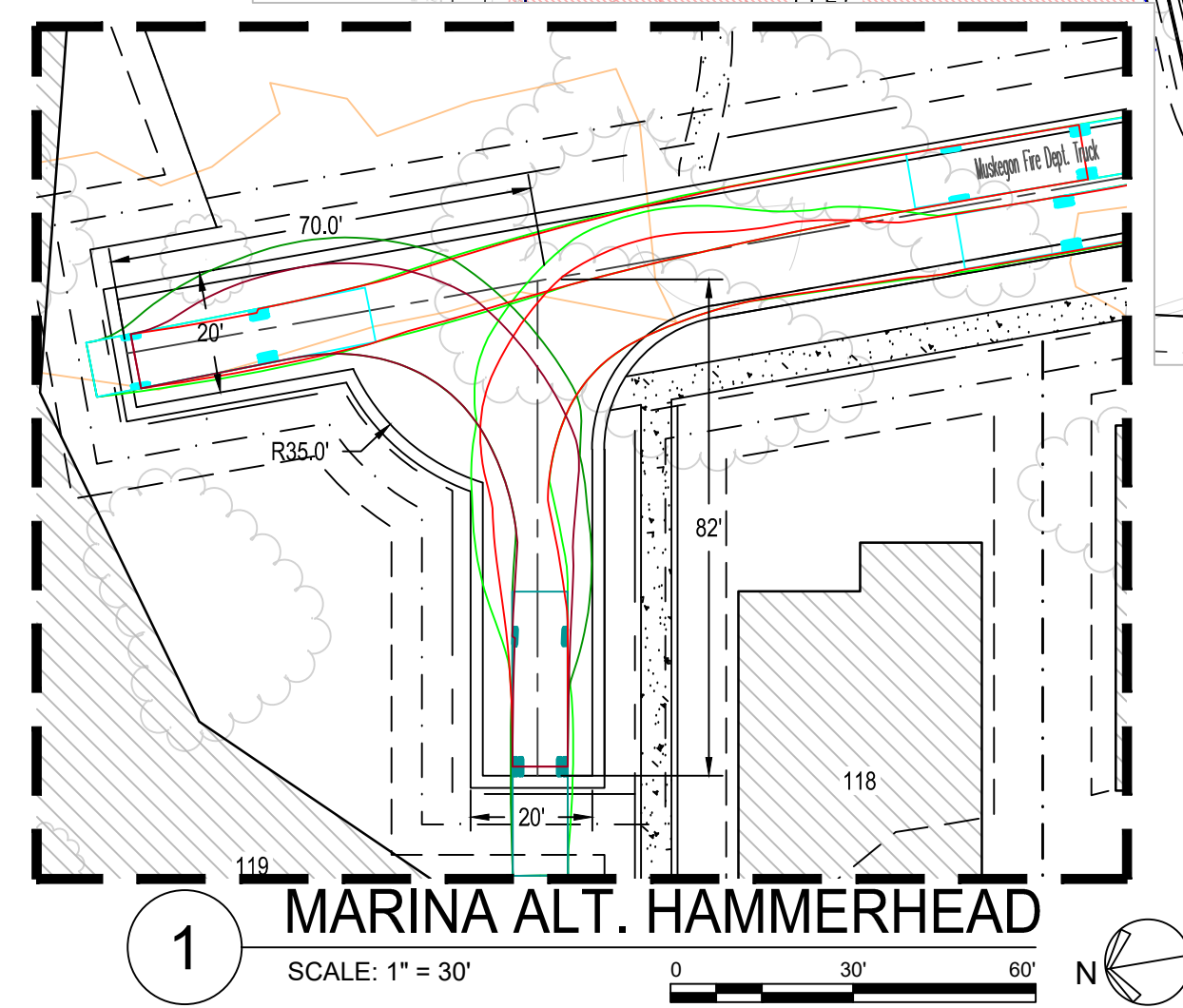
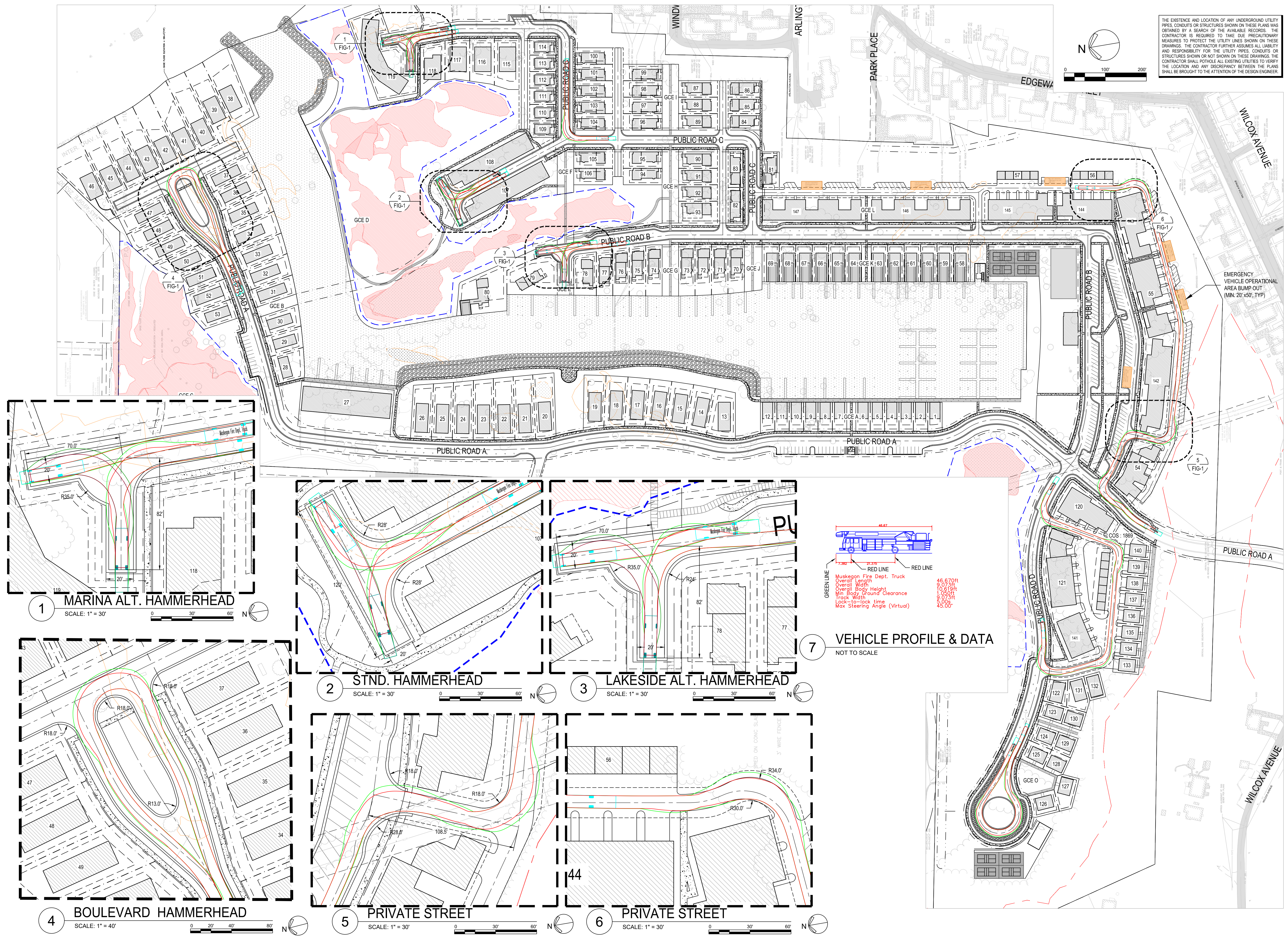
PROJECT

2306100GR

SHEET

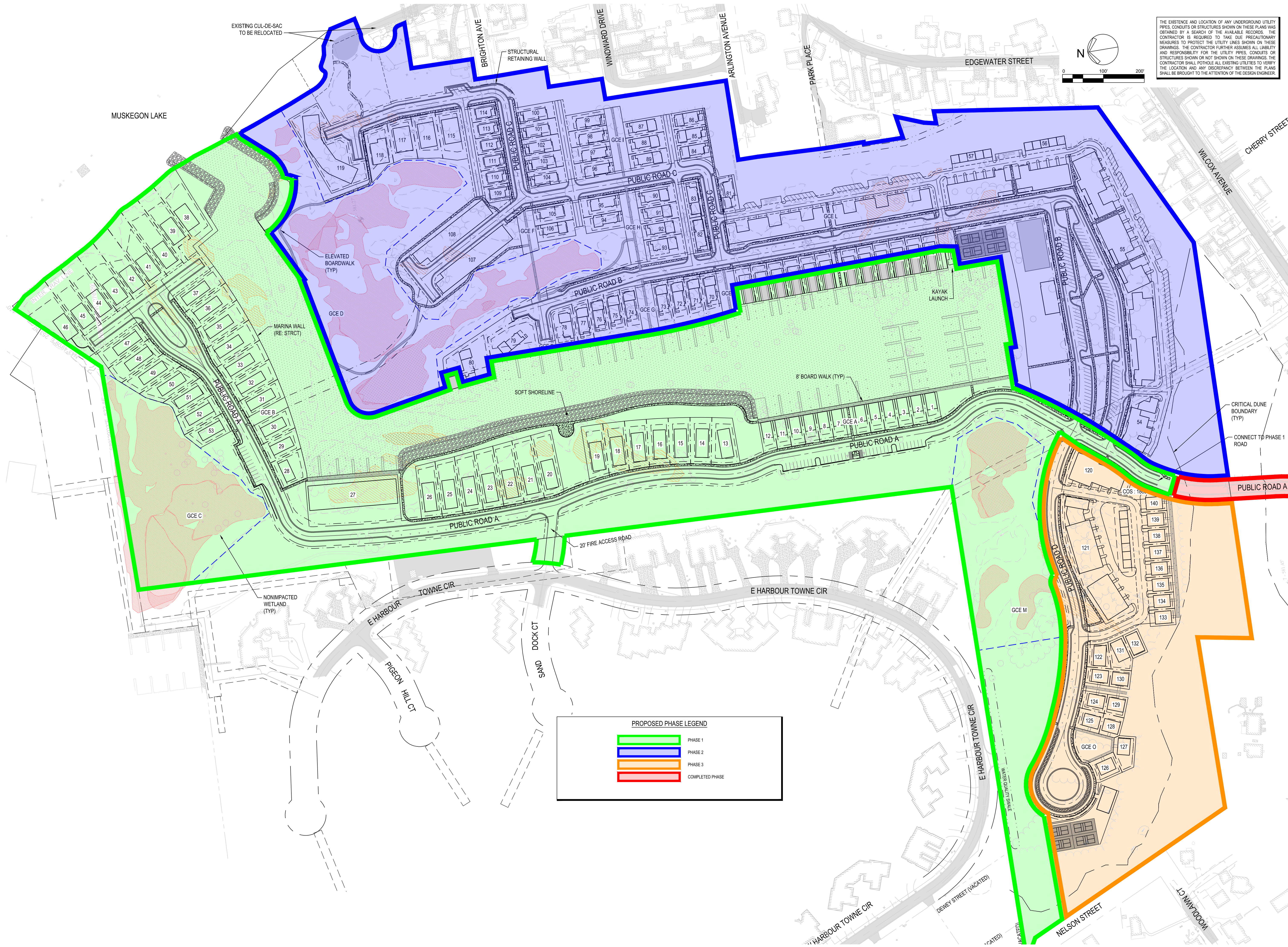
VEHICLE TRACKING EXHIBIT

FIG-1

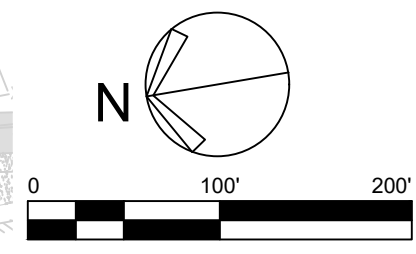


7 VEHICLE PROFILE & DATA
 NOT TO SCALE

Merity, August 11, 2025 at 9:45am. © 2026 Paradigm Design. The Docks Muskegon Drawings - 2306100GR-Production Sheets - P1-D Drawings/100C-FIG-1-VE-Exh. Jody



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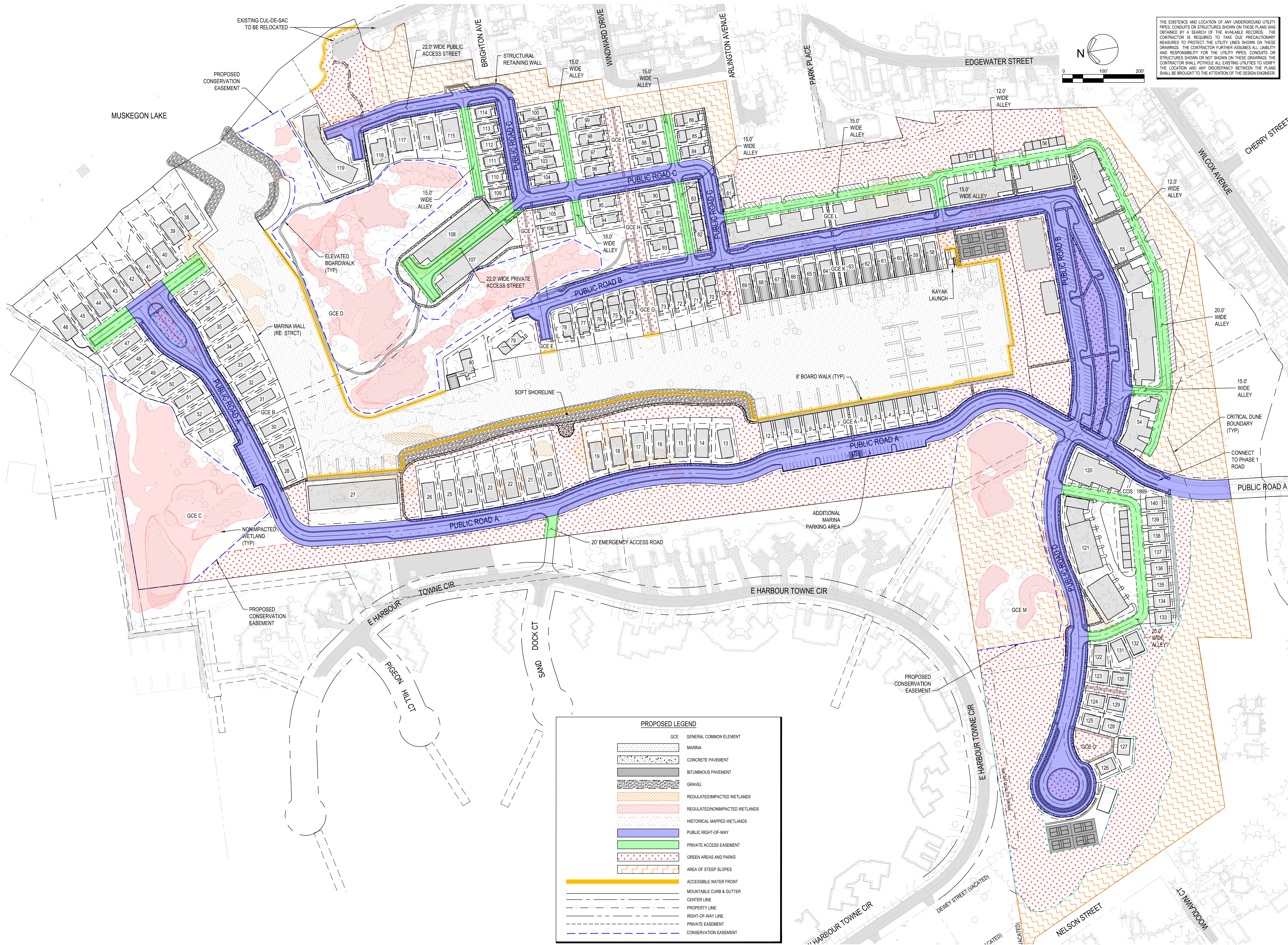
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 2306100GR

SHEET
 PHASING PLAN
 FIG-2

Monthly_Agnes11-2025 at 8:45am © 2026 100GR The Docks Muskegon Drawings - 2306100GR/CR/03-Production Sheets_P/ID Drawings/100CR/FIG-2PHS.dwg Jledy



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PROJECT
 2306100GR
SHEET
 PUBLIC VS. PRIVATE ACCESS
 FIGURE FIG-3

PROPOSED LEGEND

[Pattern]	GCE GENERAL COMMON ELEMENT
[Pattern]	MARINA
[Pattern]	CONCRETE PAVEMENT
[Pattern]	BITUMINOUS PAVEMENT
[Pattern]	GRAVEL
[Pattern]	REGULATED/IMPACTED WETLANDS
[Pattern]	REGULATED/NONIMPACTED WETLANDS
[Pattern]	HISTORICAL MAPPED WETLANDS
[Pattern]	PUBLIC RIGHT-OF-WAY
[Pattern]	PRIVATE ACCESS EASEMENT
[Pattern]	GREEN AREAS AND PARKS
[Pattern]	AREA OF STEEP SLOPES
[Pattern]	ACCESSIBLE WATER FRONT
[Pattern]	MOUNTABLE CURB & GUTTER
[Pattern]	CENTER LINE
[Pattern]	PROPERTY LINE
[Pattern]	RIGHT-OF-WAY LINE
[Pattern]	PRIVATE EASEMENT
[Pattern]	CONSERVATION EASEMENT

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Exhibit E

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase	
			Width	Depth	Total	Road - Alley	Side	Back		Side
1		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
2		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
3		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
4		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
5		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
6		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
7		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
8		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
9		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
10		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
11		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
12		Nantucket style boardwalk cottage	35	70	2,450	15	5	0	5	1
13		Homes with walk out and or partial split on greenbelt	53	115	6,095	20	10	30	0	1
14		Homes with walk out and or partial split on greenbelt	53	115	6,095	20	10	30	0	1
15		Homes with walk out and or partial split on greenbelt	53	115	6,095	20	10	30	0	1
16		Homes with walk out and or partial split on greenbelt	53	115	6,095	20	10	30	0	1
17		Homes with walk out and or partial split on greenbelt	53	115	6,095	20	10	30	0	1
18		Homes with walk out and or partial split on greenbelt	53	120	6,360	20	10	30	0	1
19		Homes with walk out and or partial split on greenbelt	53	125	6,625	20	10	30	0	1
20		Homes with walk out and or partial split on greenbelt	50	150	7,500	20	10	30	0	1
21		Homes with walk out and or partial split on greenbelt	50	150	7,500	20	10	30	0	1
22		Homes with walk out and or partial split on greenbelt	50	150	7,500	20	10	30	0	1
23		Homes with walk out and or partial split on greenbelt	50	145	7,250	20	10	30	0	1

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase	
			Width	Depth	Total	Road - Alley	Side	Back		Side
24		Homes with walk out and or partial split on greenbelt	50	140	7,000	20	10	30	0	1
25		Homes with walk out and or partial split on greenbelt	50	135	6,750	20	10	30	0	1
26		Homes with walk out and or partial split on greenbelt	50	130	6,500	20	10	30	0	1
28		Homes with walk out and or partial split on marina	70	70	4,900	15	8	20	8	1
29		Homes with walk out and or partial split on marina	50	90	4,500	15	8	20	8	1
30		Homes with walk out and or partial split on marina	50	90	4,500	15	8	20	8	1
31		Homes with walk out and or partial split on marina	50	115	5,750	15	8	20	8	1
32		Homes with walk out and or partial split on marina	50	115	5,750	15	8	20	8	1
33		Homes with walk out and or partial split on marina	50	115	5,750	15	8	20	8	1
34		Homes with walk out and or partial split on marina	50	120	6,000	15	8	20	8	1
35		Homes with walk out and or partial split on marina	50	120	6,000	15	8	20	8	1
36		Homes with walk out and or partial split on marina	50	120	6,000	15	8	20	8	1
37		Homes with walk out and or partial split on marina	50	120	6,000	15	8	20	8	1
38		Muskegon Lake Lots	60	150	9,000	20	8	30	8	1
39		Muskegon Lake Lots	50	150	7,500	20	8	30	8	1
40		Muskegon Lake Lots	50	150	7,500	20	8	30	8	1
41		Muskegon Lake Lots	50	150	7,500	20	8	30	8	1
42		Muskegon Lake Lots	50	150	7,500	20	8	30	8	1
43		Muskegon Lake Lots	50	150	7,500	20	8	30	8	1
44		Muskegon Lake Lots	50	150	7,500	20	8	30	8	1
45		Muskegon Lake Lots	50	150	7,500	20	8	30	8	1
46		Muskegon Lake Lots	65	150	9,750	20	8	30	8	1
47		Harbor Towne Marina and Channel Views	48	120	5,760	20	8	20	8	1

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase	
			Width	Depth	Total	Road - Alley	Side	Back		Side
48		Harbor Towne Marina and Channel Views	48	120	5,760	20	8	20	8	1
49		Harbor Towne Marina and Channel Views	48	120	5,760	20	8	20	8	1
50		Harbor Towne Marina and Channel Views	48	115	5,520	20	8	20	8	1
51		Harbor Towne Marina and Channel Views	48	110	5,280	20	8	20	8	1
52		Harbor Towne Marina and Channel Views	48	110	5,280	20	8	20	8	1
53		Harbor Towne Marina and Channel Views	48	110	5,280	20	8	20	8	1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	27	2-3 Story Condo on Marina								1
	142	2-3 Story Condo								2
	142	2-3 Story Condo								2

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase
			Width	Depth	Total	Road - Alley	Side	Back	
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
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142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
142	2-3 Story Condo								2
54	Townhomes								2
54	Townhomes								2
54	Townhomes								2
54	Townhomes								2
54.1	Townhomes								2
54.1	Townhomes								2
143	Townhomes								2

Lot/Unit #	Building#	Description	Lot Size			Set Back				Phase
			Width	Depth	Total	Road - Alley	Side	Back	Side	
63	Boat House Lot		40	90	3,600	20	10	0	0	3
64	Boat House Lot		40	90	3,600	20	10	0	0	3
65	Boat House Lot		40	90	3,600	20	10	0	0	3
66	Boat House Lot		40	90	3,600	20	10	0	0	3
67	Boat House Lot		40	90	3,600	20	10	0	0	3
68	Boat House Lot		40	90	3,600	20	10	0	0	3
69	Boat House Lot		40	90	3,600	20	5	10	5	3
70	Marina front lots		40	115	4,600	20	8	30	8	3
71	Marina front lots		40	120	4,800	20	8	30	8	3
72	Marina front lots		40	125	5,000	20	8	30	8	3
73	Marina front lots		40	125	5,000	20	8	30	8	3
74	Marina front lots		40	120	4,800	20	8	30	8	3
75	Marina front lots		40	115	4,600	20	8	30	8	3
76	Marina front lots		40	115	4,600	20	8	30	8	3
77	Marina front lots		40	105	4,200	20	8	30	8	3
78	Marina front lots		55	100	5,500	20	8	30	8	3
79	Marina front lots		120	90	10,800	20	8	30	8	3
80	Boat House Lot		120	90	10,800	20	10	15	0	3
81	Corner Lot Overlooking open space		85	40	3,400	10	10	5	10	3
82	Double Corner lot		85	45	3,825	5	10	5	10	3
83	Double Corner lot		85	45	3,825	5	10	5	10	3
84	Corner Lot Overlooking open space		40	80	3,200	20	5	5	5	3
85	Front porches on boardwalk to marina		40	80	3,200	20	5	5	5	3

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase	
			Width	Depth	Total	Road - Alley	Side	Back		Side
86		Front porches on boardwalk to marina	40	80	3,200	20	5	5	5	3
87		Front porches on boardwalk to marina	40	95	3,800	20	5	5	5	3
88		Front porches on boardwalk to marina	40	95	3,800	20	5	5	5	3
89		Front porches on boardwalk to marina	40	95	3,800	20	5	5	5	3
90		Front porches on boardwalk to marina	45	95	4,275	20	10	5	5	3
91		Front porches on boardwalk to marina	40	95	3,800	20	5	5	5	3
92		Front porches on boardwalk to marina	40	95	3,800	20	5	5	5	3
93		Front porches on boardwalk to marina	55	95	5,225	20	5	5	15	3
94		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
95		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
96		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
97		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
98		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
99		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
100		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
101		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
102		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
103		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
104		Front porches on boardwalk to marina	40	90	3,600	20	5	5	5	3
105		Front porches on boardwalk to marina	40	95	3,800	20	5	5	5	3
106		Elevated lot overlooking wetland/marina	40	95	3,800	20	5	5	5	3
109		Elevated lot overlooking wetland to channel	40	65	2,600	20	5	10	5	3
110		Elevated lot overlooking wetland to channel	40	65	2,600	20	5	10	5	3

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase	
			Width	Depth	Total	Road - Alley	Side	Back		Side
111		Elevated lot overlooking wetland to channel	40	65	2,600	20	5	10	5	3
112		Elevated lot overlooking wetland to channel	40	65	2,600	20	5	10	5	3
113		Elevated lot overlooking wetland to channel	40	65	2,600	20	5	10	5	3
114		Elevated lot overlooking wetland to channel	60	65	3,900	20	5	10	5	3
115		Walkout looking over wetland and Muskegon Lake	60	100	6,000	20	8	30	8	3
116		Walkout looking over wetland and Muskegon Lake	60	100	6,000	20	8	30	8	3
117		Walkout looking over wetland and Muskegon Lake	60	100	6,000	20	8	30	8	3
118		Walkout looking over wetland and Muskegon Lake	60	100	6,000	20	8	30	8	3
119		2-3 Story Condo								3
119		2-3 Story Condo								3
119		2-3 Story Condo								3
119		2-3 Story Condo								3
119		2-3 Story Condo								3
119		2-3 Story Condo								3
146		Row House Lofts								3
146		Row House Lofts								3
146		Row House Lofts								3
146		Row House Lofts								3
146		Row House Lofts								3
146		Row House Lofts								3
147		Row House Lofts								3
147		Row House Lofts								3
147		Row House Lofts								3

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase	
			Width	Depth	Total	Road - Alley	Side	Back		Side
147	Row House Lofts								3	
147	Row House Lofts								3	
147	Row House Lofts								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
107	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
108	Townhomes - mews court alley								3	
122	Cottage Court		35	35	1,225	0	0	0	0	4
123	Cottage Court		35	35	1,225	0	0	0	0	4
124	Cottage Court		35	35	1,225	0	0	0	0	4
125	Cottage Court		35	35	1,225	0	0	0	0	4

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase	
			Width	Depth	Total	Road - Alley	Side	Back		Side
126	Cottage Court		35	35	1,225	0	0	0	0	4
127	Cottage Court		35	35	1,225	0	0	0	0	4
128	Cottage Court		35	35	1,225	0	0	0	0	4
129	Cottage Court		35	35	1,225	0	0	0	0	4
130	Cottage Court		35	35	1,225	0	0	0	0	4
131	Cottage Court		35	35	1,225	0	0	0	0	4
132	Cottage Court		35	35	1,225	0	0	0	0	4
133	Tree House		40	63	2,520	10	5	10	5	4
134	Tree House		40	63	2,520	10	5	10	5	4
135	Tree House		40	63	2,520	10	5	10	5	4
136	Tree House		40	63	2,520	10	5	10	5	4
137	Tree House		40	63	2,520	10	5	10	5	4
138	Tree House		40	63	2,520	10	5	10	5	4
139	Tree House		40	63	2,520	10	5	10	5	4
140	Tree House		40	63	2,520	10	5	10	5	4
141	Townhomes		24	50	1,200	0	0	0	0	4
141	Townhomes		24	50	1,200	0	0	0	0	4
141	Townhomes		24	50	1,200	0	0	0	0	4
141	Townhomes		24	50	1,200	0	0	0	0	4
142	Townhomes									4
142	Townhomes									4
142	Townhomes									4
142	Townhomes									4

Lot/Unit #	Building#	Description	Lot Size			Set Back			Phase
			Width	Depth	Total	Road - Alley	Side	Back	
	142	Townhomes							4
	142	Townhomes							4
	142	Townhomes							4
	143	Townhomes							4
	143	Townhomes							4
	143	Townhomes							4
	143	Townhomes							4
	143	Townhomes							4