

**CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
REGULAR MEETING**

DATE OF MEETING: Tuesday, April 1, 2025
TIME OF MEETING: 4:00 p.m.
PLACE OF MEETING: Conference Room 204, City Hall

AGENDA

- I. Call to Order
- II. Approval of Minutes of the February 27, 2025 special meeting and March 4, 2025 regular meeting
- III. Old Business
- IV. New Business
 - Case 2025-07 – 349 W. Webster – New Dormers, Skylights, Gable Roof, and Chimney Removal
 - Case 2025-08 – 1095 3rd – Remodel and Building Addition
 - Case 2025-09 – 1314 Peck – Window Replacement and Copper Roof
 - Case 2025-10 – 1184 7th – Installation of Cornice
- V. Other Business
 - Historic Preservation Tax Credit Workshop
- VI. Adjourn

AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk’s Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit: www.shoreline-city.com

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours’ notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following: Ann Marie Meisch, MMC, City Clerk at 933 Terrace Street, Muskegon, MI 49440 or by calling 231-724-6705 or emailing clerk@shorelinecity.com

II. APPROVAL OF MINUTES

Approval of Minutes of the special meeting of February 27, 2025 and the regular meeting of March 4, 2025.

III. OLD BUSINESS

None

IV. NEW BUSINESS

Case 2025-07 – 349 W. Webster – New Dormers, Skylights, Gable Roof, and Chimney Removal
Applicant: 349 West Webster LLC
District: National Register
Current Function: Vacant

Discussion

The applicant is seeking approval to construct two new dormers on the east and west sides of the building's roof, four new 5'x4' skylights, and a new gable roof between the existing roof and the clock tower. The applicant is also requesting approval to demolish two small chimneys near the clock tower, if necessary. The dormers would be used to vent HVAC items, and the new gable roof would provide additional headroom in the interior space leading to the clock tower. Staff approved replacement of the roof shingles in October 2024, but construction/demolition of the items included in this request are proposed to be completed concurrently with the roofing work to avoid any future penetrations in the new roof. See Attachment A for additional drawings (please note that the applicant is only seeking approval for the items listed here at this time).



View from the corner of 3rd Street and Webster Avenue, looking south.



View from 3rd Street, looking southwest.



View from 4th Street, looking northeast.

Standards

DESIGN GUIDELINES FOR NEW CONSTRUCTION

Although a significant amount of the Commission's work is centered on historic structures, the construction of new structures on vacant lots within historic districts is permitted and encouraged. However, those professionals designing new structures should strive for excellence in design whether small individual infill construction within the existing historic district blocks, or larger independently sited projects. New structures should be in keeping with the existing historical character of the neighborhood or district with a design that is compatible with the size, scale, material, and color of the surrounding buildings and landscaping. Good design which responds positively to its surroundings can be done in several different ways; therefore, it is impossible to develop specific interpretations which will apply in all cases. Every site has its own design opportunities.

The following design recommendations shall be used by the Historic District Commission in evaluating requests for new construction within the districts. These basic criteria should be a part of any proposed design brought before the Commission for approval.

Recommended

Height - Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.

Scale - Relating the size and proportions of new structures to the scale of adjacent buildings. Although a building may be much larger than its neighbors in terms of square footage, it should maintain the same scale and rhythm as the existing buildings.

Massing - Breaking up uninteresting box-like forms into smaller, varied masses such as are common on most buildings from the historic period. Variety of form and massing are elements essential to the character of the streetscape in historic districts. For example, if an infill site is large, the mass of the facade can be broken into a number of small bays.

Directional Expression - Relating the vertical, horizontal, or non-directional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller

Not Recommended

Height - Introducing new construction that varies greatly in height (too high or too low) from older buildings in the vicinity. Extreme differences in building heights will have a detrimental visual effects on the appearance of surrounding property.

Scale - Creating buildings that in height, width, or massing violate the existing scale of the area. The new building should not disrupt the scale and rhythm of the streetscape, although it might be appropriate in a different location.

Massing - Introducing single, monolithic forms that are not relieved by variations in massing. Box-like facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.

Directional Expression - Creating strongly horizontal or vertical facade expressions unless compatible with the character of structures in the immediate area. A new building that does not relate well to its neighbors or to the rhythm of the streetscape because of an unbroken horizontal facade

masses that conform to the primary expression of the streetscape.

Setback - Maintaining the historic facade lines of streetscape by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, buildings should be set back into the lot rather than closer to the street. If existing setbacks vary, new buildings should conform to historic siting patterns.

Sense of Entry - Articulating the main entrances to the building with covered porches, porticos, and other pronounced architectural forms. Entries were historically raised a few steps above the grade of the property and were a prominent visual feature of the street elevation of the building.

Roof Shapes - Relating the roof forms of the new buildings to those found in the area. Although not entirely necessary, duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Rhythm of Openings - Respecting the recurrent alteration of wall areas with door and window elements in the facade. Also considering the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry or balanced symmetry should be carefully studied.

Design Expression - Composing the materials, textures and colors of the new building facade to compliment adjacent facades and relating details and decorations of the new building to those of existing surrounding buildings.

Imitations - Accurate restoration of or visually compatible additions to existing buildings and former construction, contemporary architecture that well represents our own time yet, enhances the nature and character of the historic district.

should be avoided.

Setback - Violating the existing setback pattern by placing a new building in front of or behind the historic facade line. Placing buildings at odd angles to the street, unless in an area where diverse siting already exists, even if property setback is maintained, should be avoided.

Sense of Entry - Introducing facades with no strong sense of entry. Side entries or entries not defined by a porch or similar transitional element result in an incompatible "flat" first-floor facade.

Roof Shapes - Introducing roof shapes, pitches, or materials not traditionally used in the area.

Rhythm of Openings - Introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. For example, glass walls and window and door shapes and locations which are disrespectful to the adjoining buildings.

Design Expression - Violating the existing character of the district by introducing non-compatible materials, textures, colors, details, and decoration on new buildings.

Imitations - Replicating or imitating the styles, motif, or details of older periods. Such attempts detract from the character of the district by compromising what is truly historic.

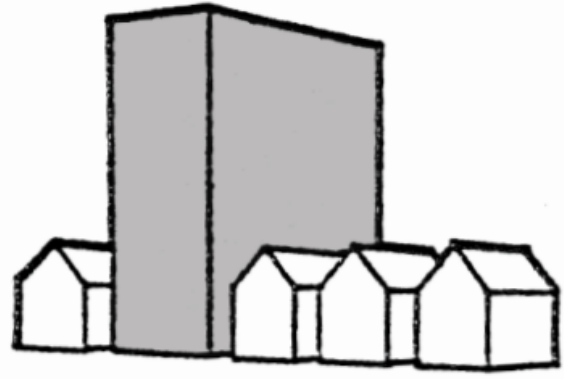
Recommended

Height

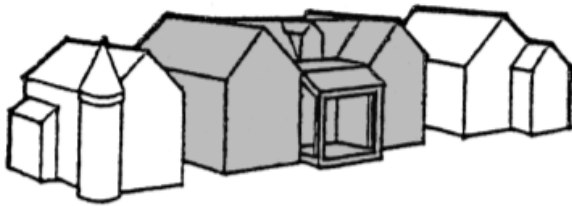


Not Recommended

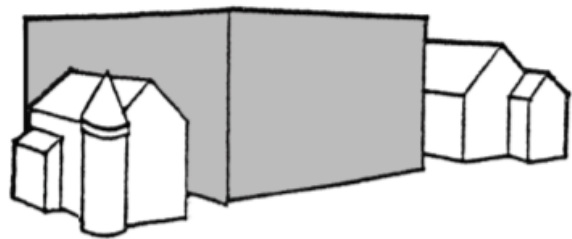
Height



Scale



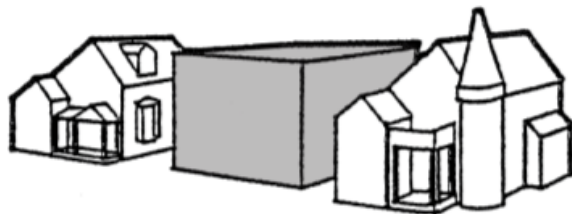
Scale



Massing



Massing



Directional Expression



Directional Expression

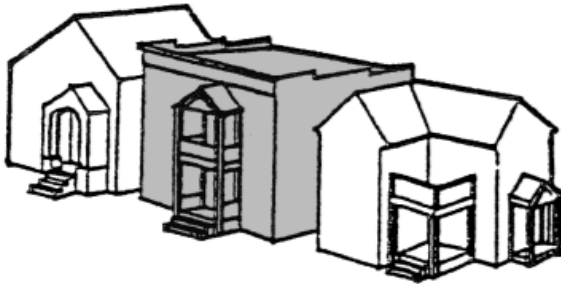


Recommended

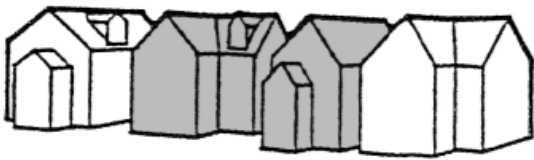
Setback



Sense of Entry



Roof Shapes



Rhythm of Openings

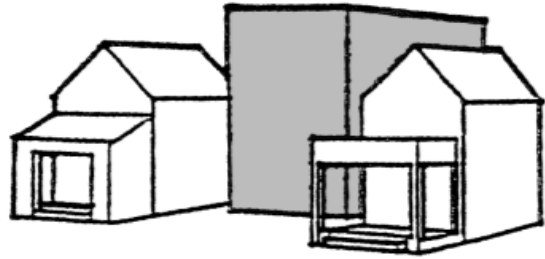


Imitations

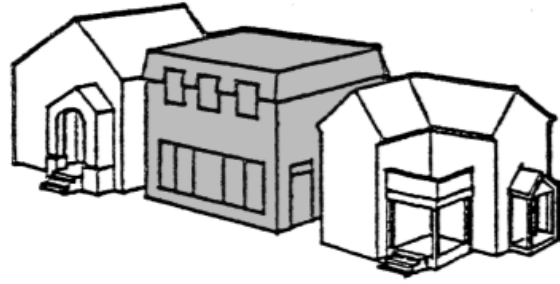


Not Recommended

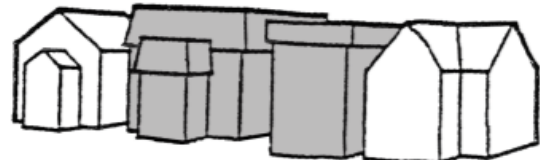
Setback



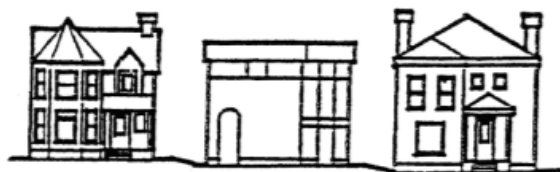
Sense of Entry



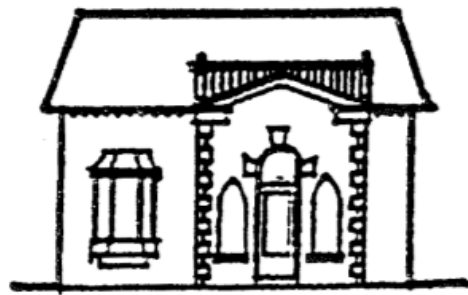
Roof Shapes



Rhythm of Openings



Imitations



Deliberation

I move that the HDC (approve/deny) the request to construct two new dormers on the east and west sides of the building's roof, four new 5'x4' skylights, and a new gable roof between the existing roof and the clock tower as depicted in the drawings included in the April 1, 2025 HDC staff report and to demolish two small chimneys near the clock tower, if necessary as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2025-08 – 1095 3rd – Remodel and Building Addition
Applicant: Muskegon Midtown Center
District: Houston
Current Function: Vacant

Discussion

The applicant is seeking approval to remodel the exterior of the existing building and construct a new two-story building addition along Houston Avenue. In late 2024, the HDC previously approved exploratory demolition on the exterior of the building, and informally discussed preliminary design concepts for this project at the January 7, 2025 regular meeting. See Attachment B for additional drawings.



View from 3rd Street, looking west.



Rendered view of proposed building remodel and addition from 3rd Street, looking west.

Standards

See Design Guidelines for New Construction in Case 2025-07, above.

Deliberation

I move that the HDC (approve/deny) the request to remodel the exterior of the existing building and construct a new two-story building addition along Houston Avenue as depicted in the drawings included in the April 1, 2025 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2025-09 – 1314 Peck – Window Replacement and Copper Roof
Applicant: April Sturm
District: McLaughlin
Current Function: Residential

Discussion

The applicant is seeking approval to reconstruct the bay window on the north side of the house, replacing the center window with a new window of the same dimensions with a single glass pane, and replacing the bay's existing painted aluminum roof with a copper roof.



View from Peck Street, looking southeast.



Bay window on north side of house.

Standards

WINDOW, DOOR, AND EXTERIOR WOODWORK STANDARDS AND GUIDELINES (Abbreviated)

General

These guidelines pertain only to proposed changes to the structure and do not affect existing construction.

These guidelines are primarily directed toward the front and side elevations of the structure. Greater variances and more leniency may be extended toward proposed changes to the rear elevation of the building by the Commission. All desired or proposed changes should be referred to the Historic District Commission for consideration. Extenuating circumstances, the effect upon the architecture of the particular structure together with the general effect upon the surrounding structures, variables in architectural design, or the effect upon usage and viability of the structure could dictate a variance from these guidelines.

No exterior doors, windows, or exterior woodwork shall be altered, removed, relocated, or added without Historic District Commission approval.

Existing exterior window or door casings, sills, and caps shall not be altered from the original design or appearance. Damaged or deteriorated wood shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Damaged or deteriorated wood elements may be replaced or covered with formed aluminum or vinyl, subject to Commission approval and provided that the original profile of the woodwork is not altered or changed.

Primary Windows

Existing damaged or deteriorating window frames and sash shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Metal or vinyl replacement windows may be acceptable provided they match the original windows in design and type and that they consist of or are painted an appropriate color. Bare metal finishes generally will not be acceptable.

The size of glass lites and muntin arrangements shall not be altered without Commission approval. Special glazing, such as stained or leaded art glass, shall not be removed without Commission approval. Unusual decorative windows such as Palladian windows, oriels, bays, Gothic arch or segment tops, etc. shall not be removed or altered.

ROOFING GUIDELINES (abbreviated)

The design of all roofing materials used on sloped roofs and structures within the historic districts shall maintain the appearance of the original roofing materials and be appropriate to the style and period of the structure. Materials shall be selected and installed in accordance with the guidelines as follows:

...

Metal Roofing for flat or low pitched decks or standing rib metal on sloping roofs, where terne, copper, or other metal roofing has been used previously, shall be acceptable. Stamped metal roofing where the stamped pattern resembles the original roofing material shall be acceptable. Standing-seam metal roofing where not originally installed is not generally permissible.

Deliberation

I move that the HDC (approve/deny) the request to reconstruct the bay window on the north side of the house, replacing the center window with a new window of the same dimensions with a single glass pane, and replacing the bay's existing painted aluminum roof with a copper roof as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2025-10 – 1184 7th – Installation of Cornice
Applicant: Justin Van Hook
District: Clay-Western
Current Function: Residential

Discussion

The applicant is seeking approval to remove the existing clay coping on the parapet wall on the 7th Street elevation and install black metal flashing and a new cornice. The remaining clay coping on the other three elevations will be replaced following repairs to the flat roof.



View from 7th Street, looking northeast.



View from 7th Street, looking north.



View from 7th Street, looking east.



Examples of proposed cornice.

Standards

No specific standards apply.

Deliberation

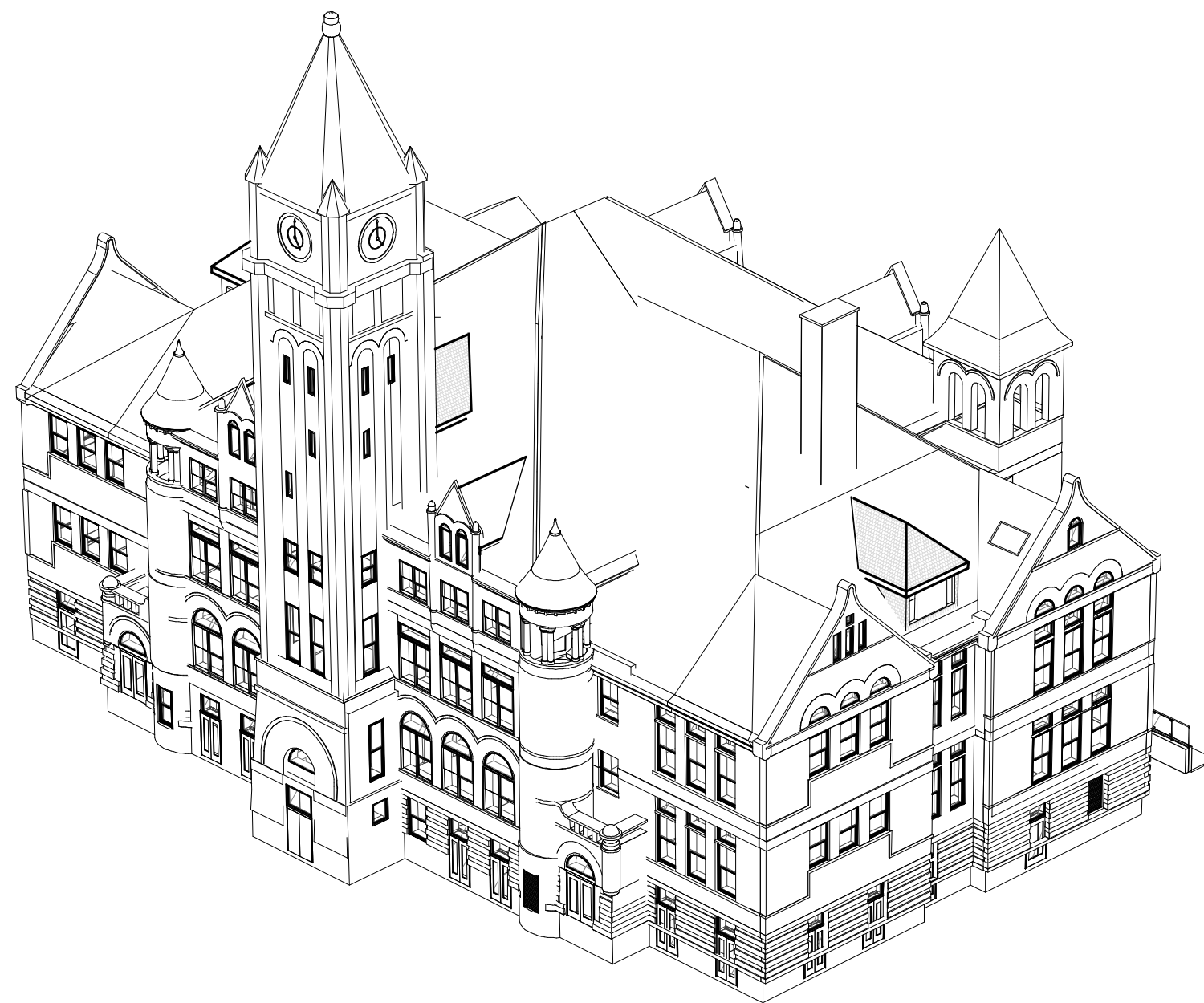
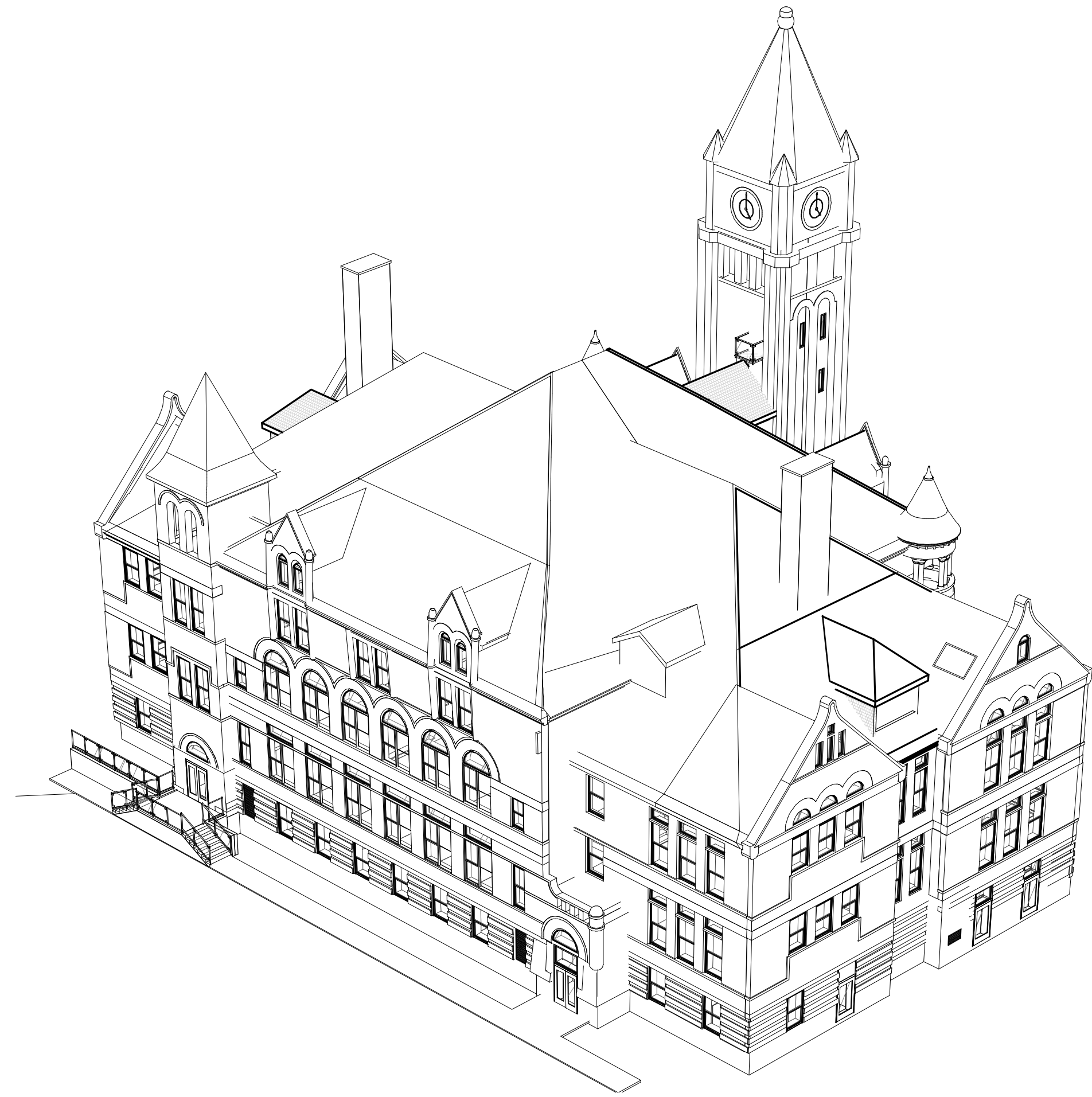
I move that the HDC (approve/deny) the request to remove the existing clay coping on the parapet wall on the 7th Street elevation and install black metal flashing and a new cornice as long as the work meets all zoning requirements and the necessary permits are obtained.

V. OTHER BUSINESS

Historic Preservation Tax Credit Workshop – On Tuesday, April 22, 2025 the City of Grand Rapids is hosting a free Historic Preservation Tax Credit Workshop with Mara Lancaster, Historical Architect with the State Historic Preservation Office (SHPO). The workshop will run from 6:00pm – 7:30pm at Cornerstone Church at 48 Lafayette Avenue SE in Grand Rapids.

VI. ADJOURN

Attachment A

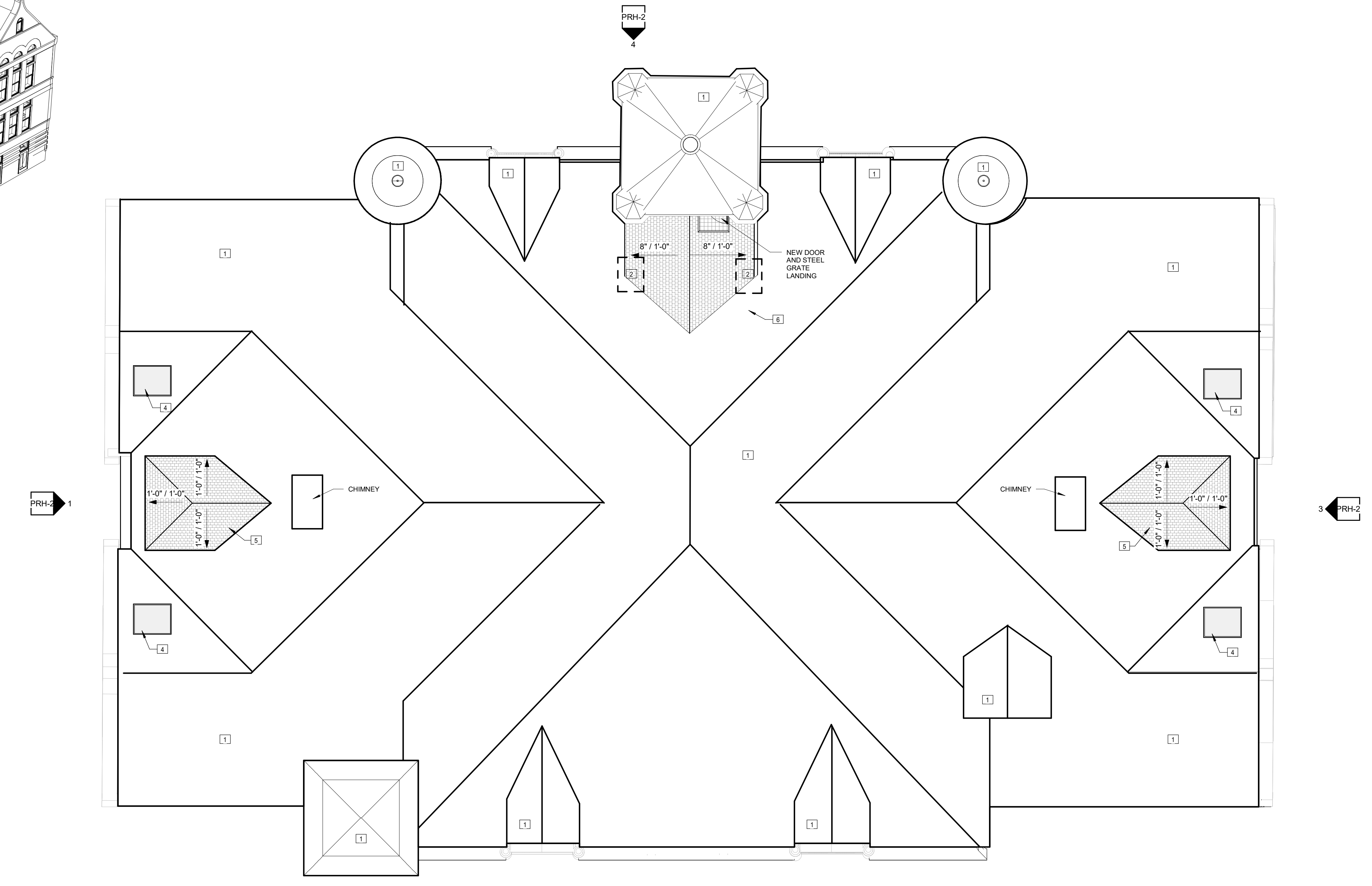


GENERAL ROOF PLAN NOTES

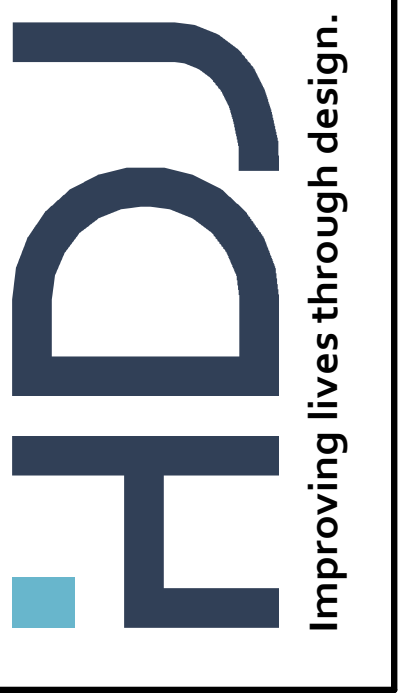
1. ALL ROOF-MOUNTED EQUIPMENT AND PENETRATIONS ARE NOT SHOWN. COORDINATE QUANTITIES AND LOCATIONS WITH OTHER DISCIPLINES.
2. PROVIDE SADDLES AT OBSTRUCTIONS THAT RESTRICT THE FLOW OF WATER TO DRAINAGE SYSTEM.

ROOF PLAN KEYNOTES

1. EXISTING ROOFING TO BE REMOVED TO SUBSTRATE. DAMAGED SUBSTRATE TO BE REMOVED AND REPLACED. INSTALL NEW ASPHALT ROOFING SYSTEM (SHINGLES) WITH PROPER UNDERLAYMENT.
2. CHIMNEY TO BE DEMOLISHED. INFILL OPENING WITH WOOD FRAMING AND ROOF SUBSTRATE.
3. REPAIR / REPLACE DAMAGED EXISTING COPPER GUTTERS AND DOWNSPOUTS. MATCH EXISTING
4. NEW 5'-0" x 4'-0" SKYLIGHT
5. NEW MECHANICAL PENTHOUSE DORMER - HIP ROOF
6. NEW ROOF ACCESS - GABLE ROOF



1 OVERALL ROOF PLAN
PRH-1 1/8" = 1'-0"



316 Morris Avenue
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49440
P. 231.722.3407
F. 231.722.2589

HACKLEY CASTLE RENOVATION
349 WEBSTER, MUSKEGON, MI
349 WEBSTER, LLC

PROJECT NUMBER 2021.0176		
ISSUANCE		
NO.	DATE	DESCRIPTION
1	2025.03.18	HISTORIC PRELIMINARY REVIEW

NOT FOR CONSTRUCTION

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HISTORIC

PRH-1

GENERAL ELEVATION NOTES

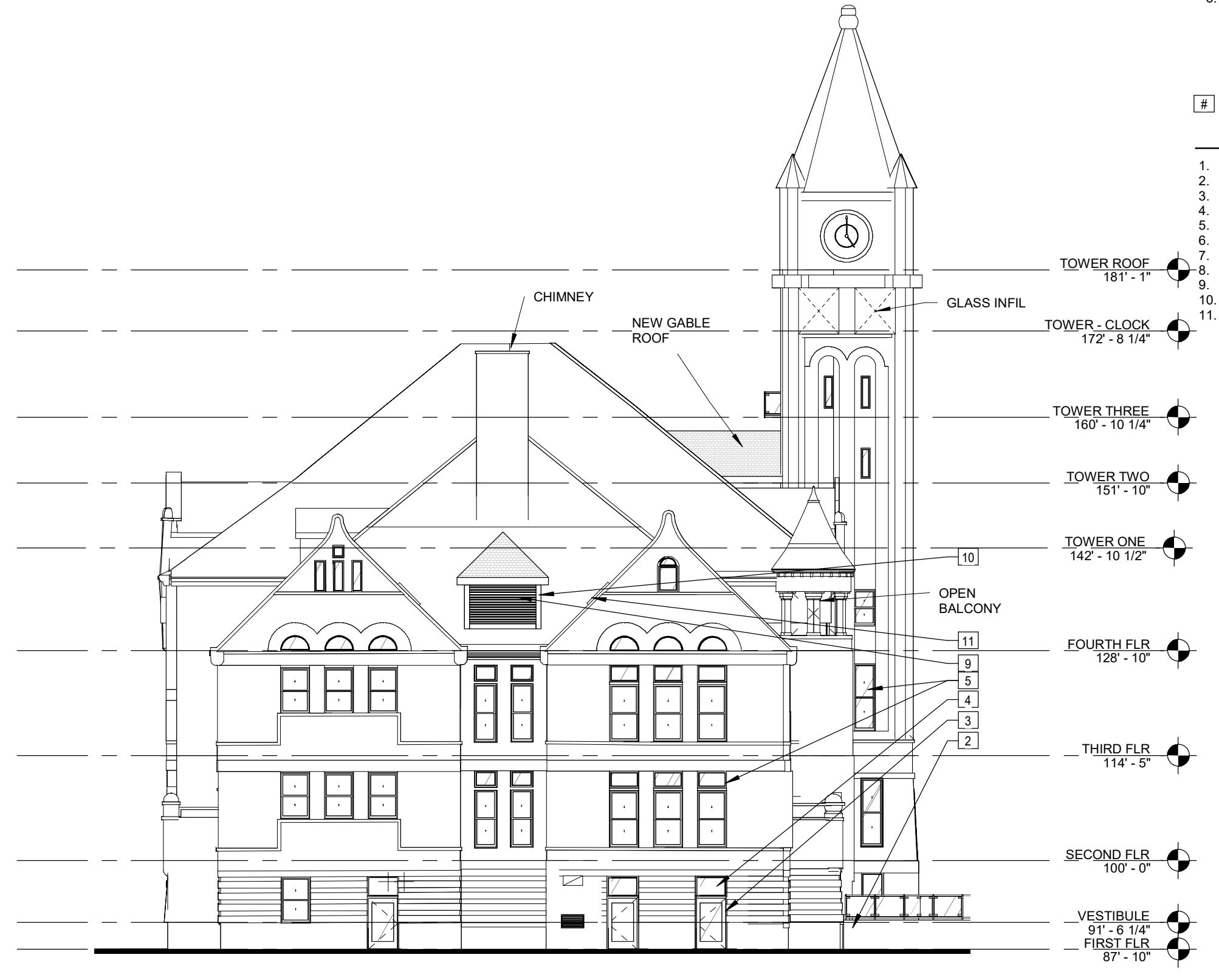
- (APPLIES TO ALL ELEVATION DRAWINGS)
1. PROVIDE COMPOSITE TRIM BLOCKS AT ALL EXTERIOR PENETRATIONS, MOUNTING LOCATIONS, SCUPPERS, LOUVERS, ETC. ON SIDING.
 2. PAINT ALL EXTERIOR PENETRATIONS, LOUVERS, VENTS, PIPES, COVERS, ETC TO MATCH EXISTING WALL COLOR/FINISH.
 - 3.

EXTERIOR ELEVATION KEYNOTES

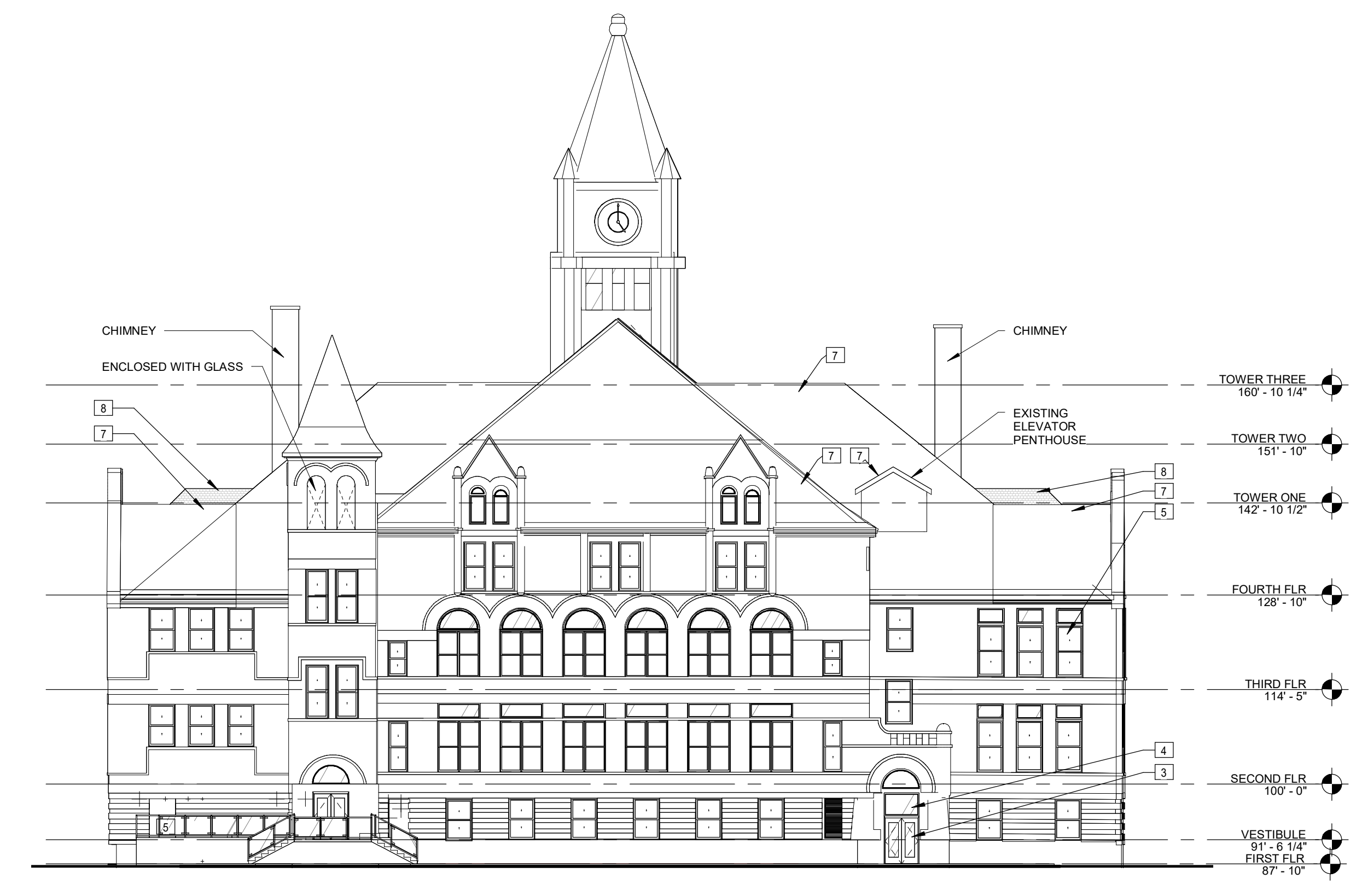
1. LOWER EXISTING GRADE AND EXPOSE WALLS
2. NEW RETAINING WALL AND WALKWAY
3. NEW DOORS
4. NEW TRANSOM WINDOW
5. NEW WINDOW SYSTEM
6. MECHANICAL EQUIPMENT - SEE MECHANICAL
7. NEW ASPHALT ROOFING SYSTEM
8. NEW DORMER
9. LOUVER - PAINTED TO MATCH TRIM
10. 8" COMPOSITE TRIM - PAINTED TO MATCH NEW SHINGLES
11. NEW SKYLIGHT



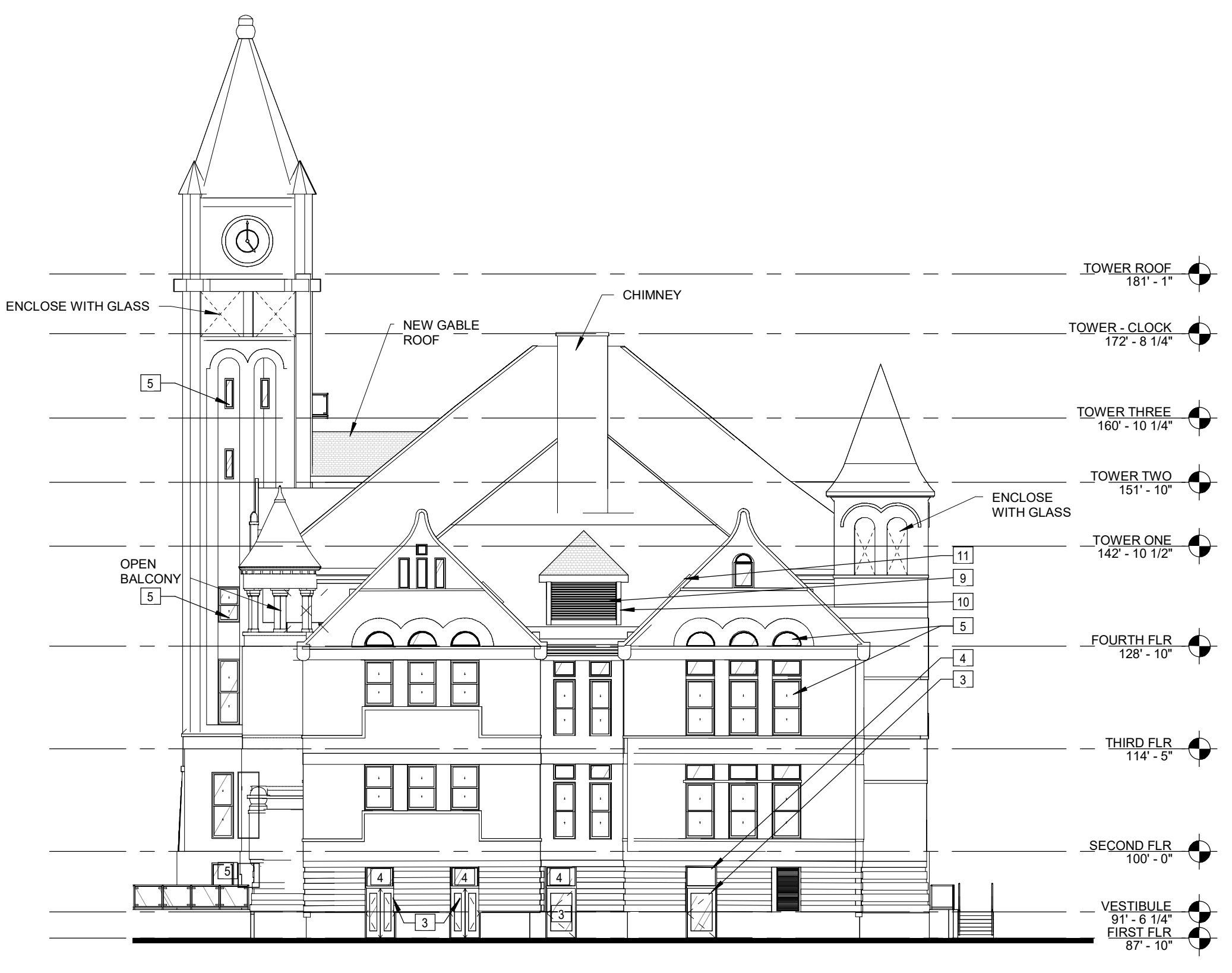
4 NORTH ELEVATION
PRH-2 1/16" = 1'-0"



3 EAST ELEVATION
PRH-2 1/16" = 1'-0"



2 SOUTH ELEVATION
PRH-2 1/16" = 1'-0"



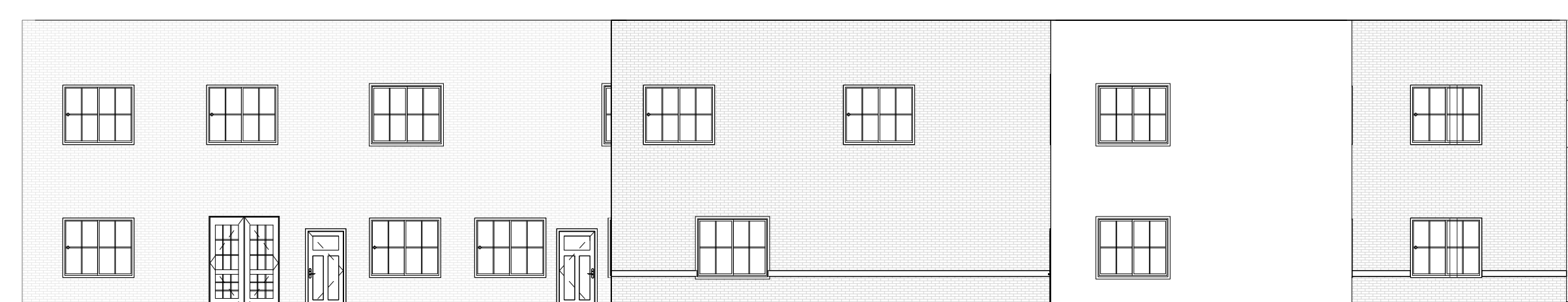
1 WEST ELEVATION
PRH-2 1/16" = 1'-0"

Attachment B



3 Parking Facing
A-201 3/32" = 1'-0"

- Andersen E Series
- 8' X 5' GLIDING WINDOWS: QTY: 63
 - 6' X 5' GLIDING WINDOWS: QTY: 40
 - 3' X 5' FIXED WINDOWS: QTY: 5
 - TOTAL Andersen E 108
- Silverline V3 Gliding Windows
- NorthStar Windows: Series 1000 Double Slider Liftout - Double Pane with white interior/Espresso exterior
- 78" X 60" QTY: 103
 - 24" X 60" QTY: 20
 - 36 X 60" QTY: 5
 - TOTAL NorthStar QTY: 128



5 Facing Parking Lot to Southwest
A-201 3/32" = 1'-0"



2 3rd Street Elevation
A-201 3/32" = 1'-0"



1 Houston Avenue Elevation
A-201 3/32" = 1'-0"



4 Facing Parking/Alley
A-201 3/32" = 1'-0"

Muskegon Midtown Center LLC
MUSKEGON MIDTOWN CENTER
MUSKEGON, MI

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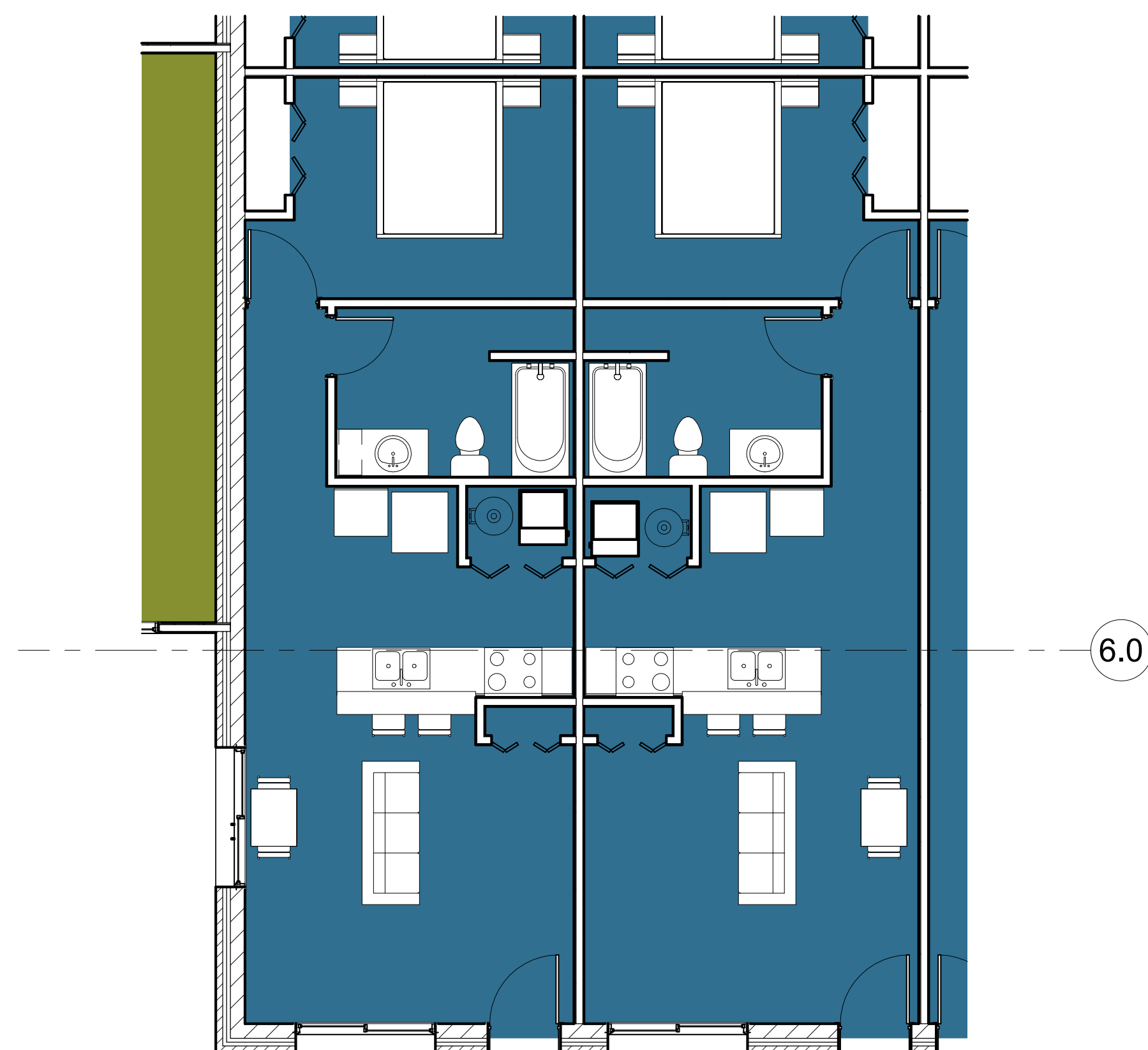
SEH Project 180390
Checked By ag
Drawn By S. Parker

Project Status Issue Date
DESIGN DEVELOPMENT 01/16/25

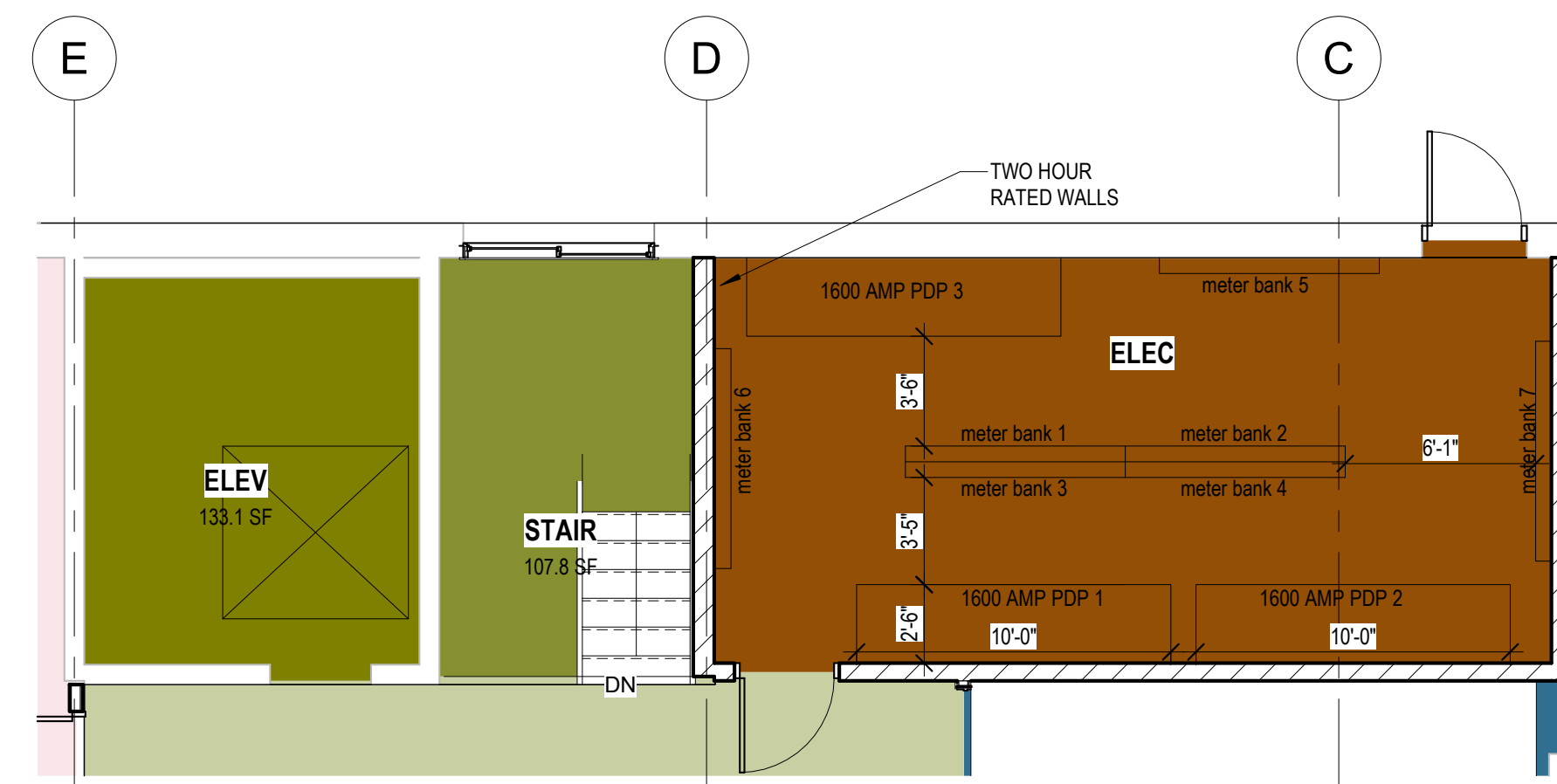
REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

PROPOSED ELEVATIONS

3/19/2025 3:40:25 PM



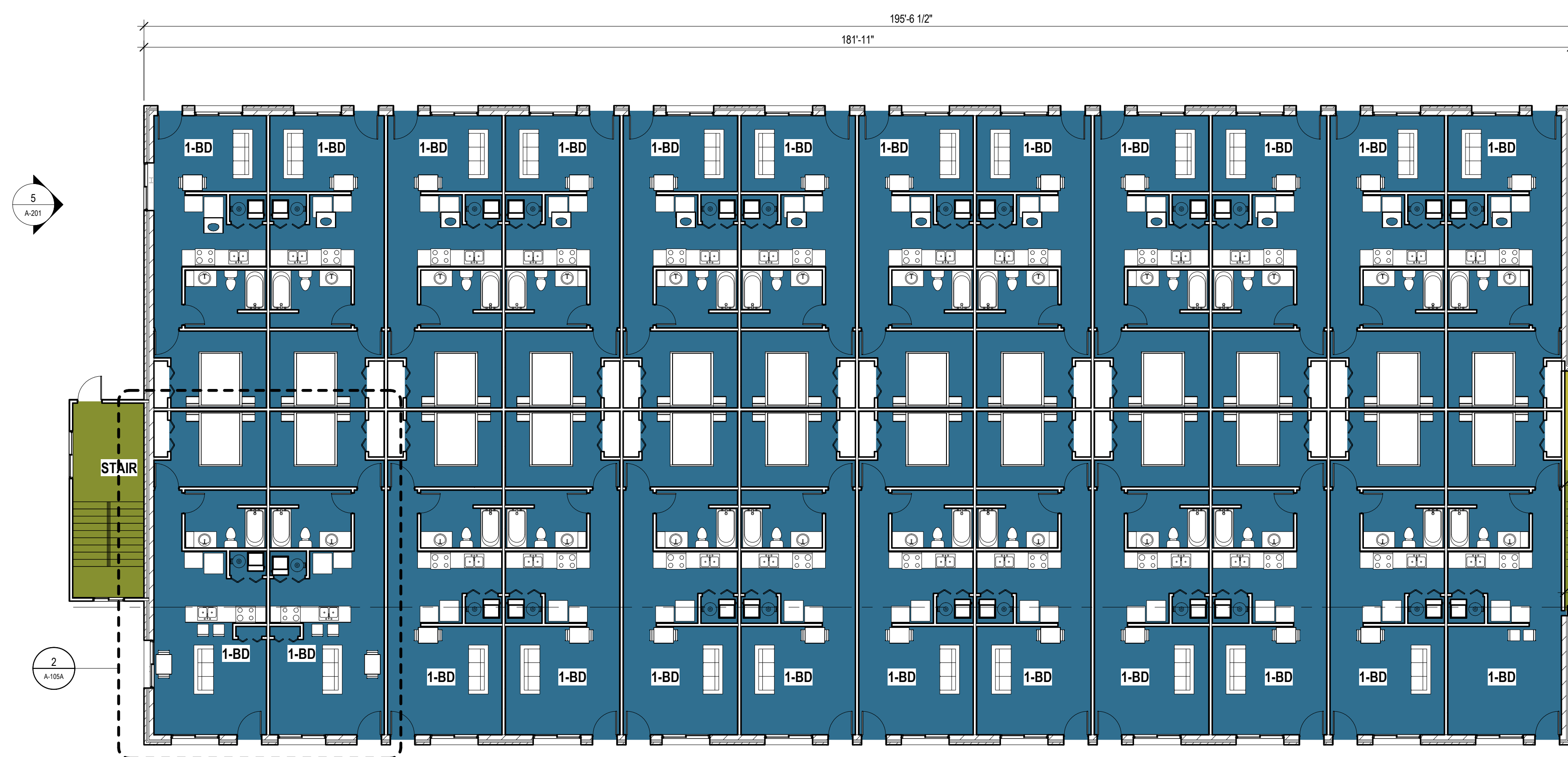
2 LEVEL 1+PROPOSED PLAN CALLOUT
A-105A 3/16" = 1'-0"



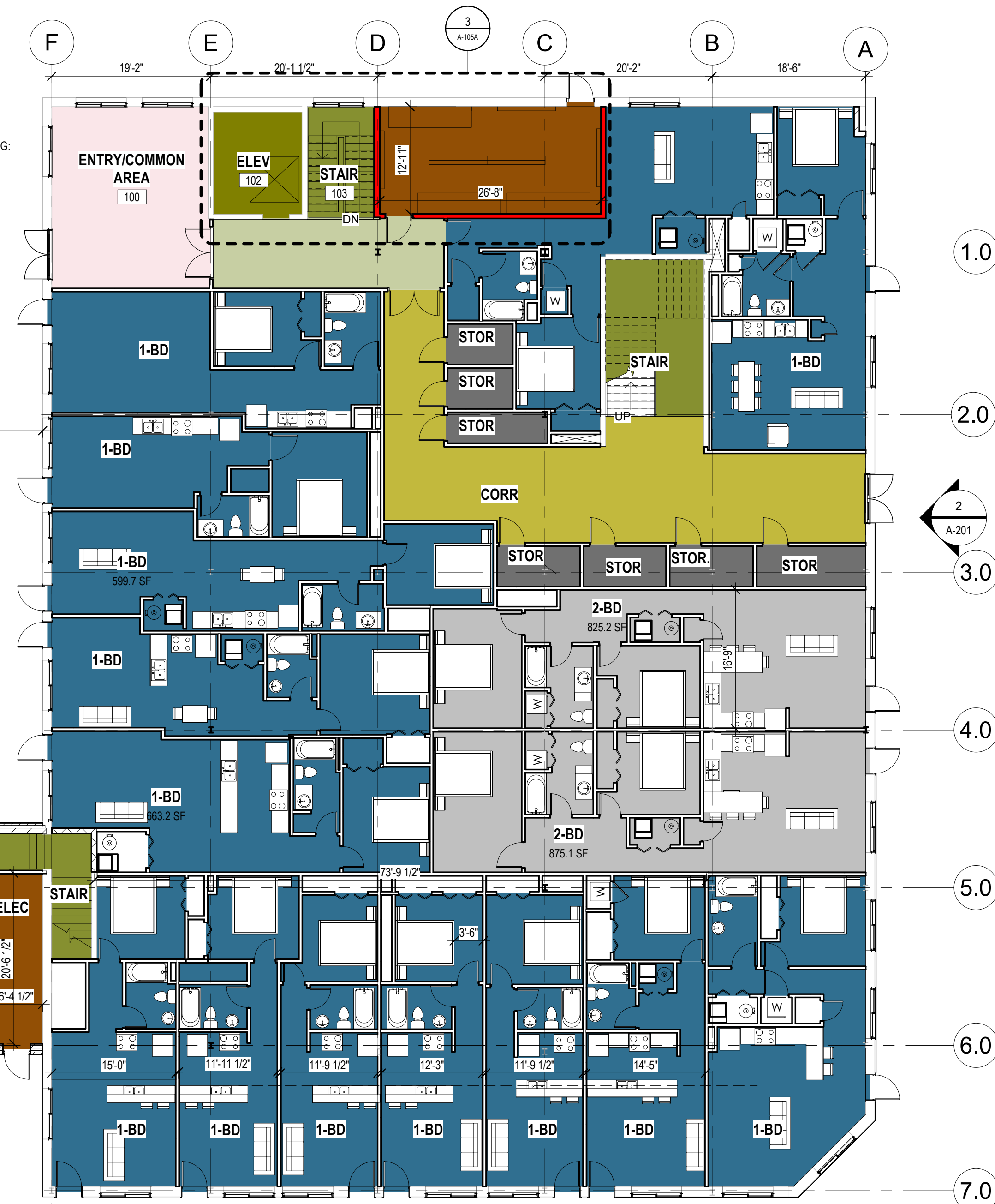
3 ELECTRICAL ROOM FLOOR PLAN
A-105A 3/16" = 1'-0"

ADDITION:
24 UNITS - FIRST FLOOR
1-BEDROOM APTS: 513 S.F. EA.

FIRST FLOOR EXISTING BLDG:
(14) 1-BD APTS 411-656 S.F.
(2) 2-BD APTS 745-912 S.F.



1 LEVEL 1+PROPOSED PLAN - LAYOUT A
A-105A 3/32" = 1'-0"

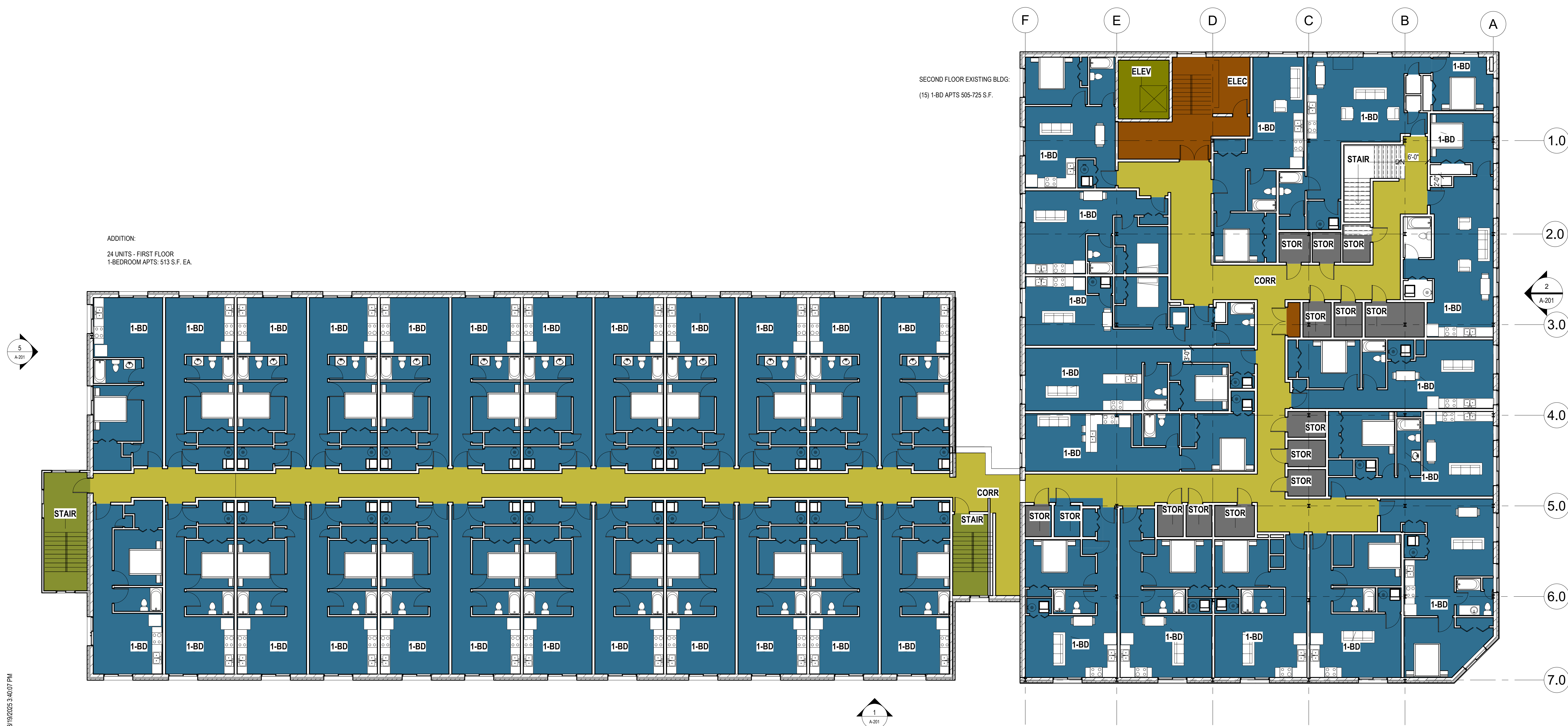


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SEH Project 180390
Checked By: S. Parker
Drawn By: S. Parker
Project Status: DESIGN DEVELOPMENT
Issue Date: 01/16/25

REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

PROPOSED FIRST FLOOR PLAN



1 LEVEL 2-PROPOSED PLAN
A-106 3/32" = 1'-0"

Muskegon Midtown Center LLC
MUSKEGON MIDTOWN CENTER
MUSKEGON, MI

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SEH Project 180390
Checked By: [Signature] ag
Drawn By: S. Parker
Project Status: DESIGN DEVELOPMENT Issue Date: 01/16/25

REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

PROPOSED SECOND FLOOR PLAN

3/19/2025 3:40:07 PM