

**CITY OF MUSKEGON  
HISTORIC DISTRICT COMMISSION  
REGULAR MEETING**

DATE OF MEETING: Tuesday, August 13, 2024  
TIME OF MEETING: 4:00 p.m.  
PLACE OF MEETING: Conference Room 204, City Hall

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AGENDA

- I. Call to Order
- II. Approval of Minutes of the July 2, 2024 regular meeting
- III. Old Business
- IV. New Business
  - Case 2024-09 – 280 W Muskegon – Ramp and Patios
  - Case 2024-10 – 1135 5<sup>th</sup> – Windows
  - Case 2024-11 – 600 W. Clay – Shed
  - Case 2024-12 – 458 W. Webster – Garage
  - Case 2024-13 – 1633 Clinton – Porch
  - Case 2024-14 – 1449 Clinton – New Construction
- V. Other Business
  - Public Art Project
- VI. Adjourn

**AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES**

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk’s Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit: [www.shorelinecity.com](http://www.shorelinecity.com)

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours’ notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following: Ann Marie Meisch, MMC, City Clerk at 933 Terrace Street, Muskegon, MI 49440 or by calling 231-724-6705 or emailing [clerk@shoreline-city.com](mailto:clerk@shoreline-city.com)

## **II. APPROVAL OF MINUTES**

Approval of Minutes of the regular meeting of July 2, 2024.

## **III. OLD BUSINESS**

None.

## **IV. NEW BUSINESS**

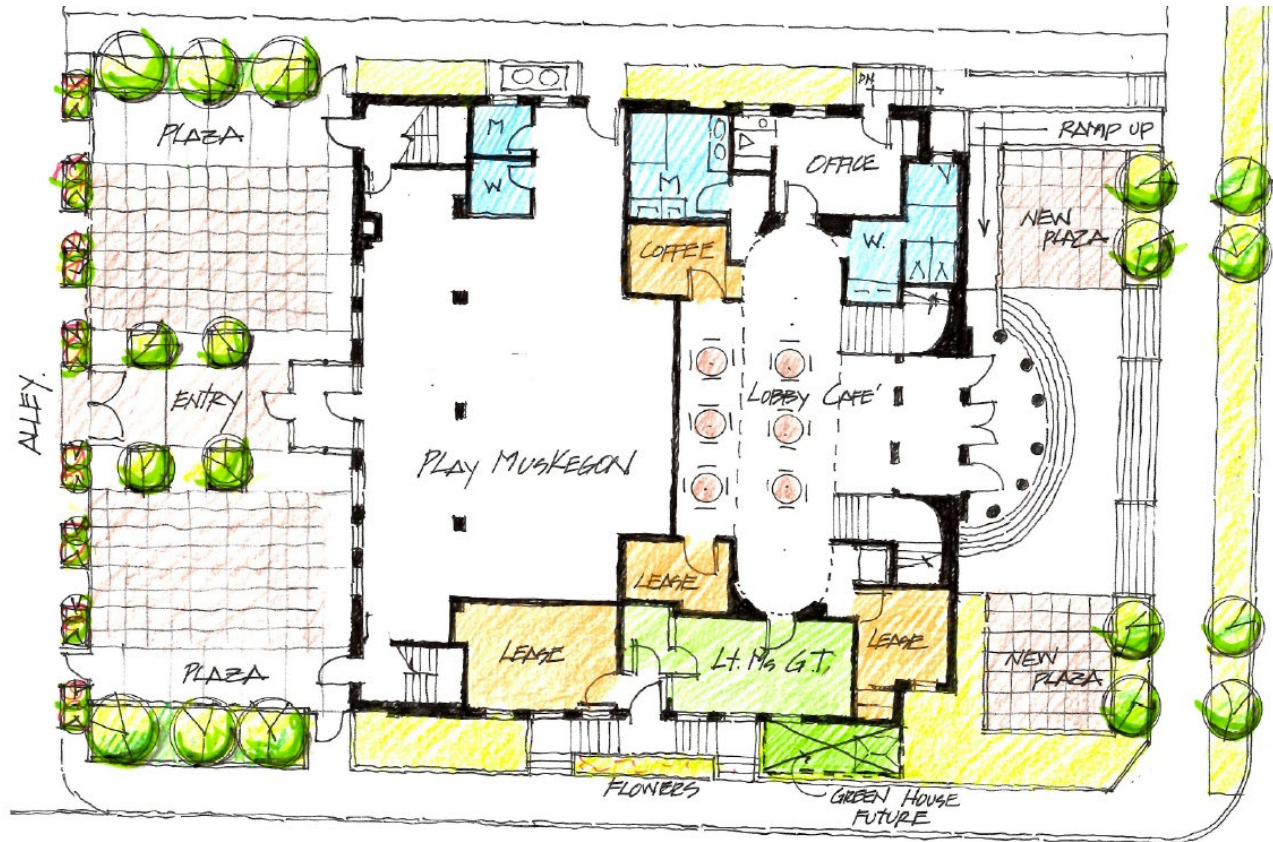
**Case 2024-09 –280 W. Muskegon – Ramp and Patios**  
**Applicant: Mike Bernhardt**  
**District: National Register**  
**Current Function: Institutional**

### **Discussion**

The applicant is seeking approval to construct an accessible ramp and required railing in the front lawn on Muskegon Avenue and construct patios at the front and rear of the building. The existing concrete patios at the front of the building will be repaired and expanded to provide a full-width plaza. At the rear of the building, the existing asphalt parking area will be removed and a full width, concrete pedestrian plaza will be put in its place. All patio areas will have landscaping and traffic barrier planters.



View of the south (front) and east (side) elevations from W. Muskegon Avenue.



Site plan showing the proposed concrete ramp at the top right, starting at the public sidewalk, traveling along the side property line up to the new plaza level and then rising along the building to the top of the entrance steps. The designs of the entry shelter shown at the building's rear door and the future greenhouse along 3<sup>rd</sup> Street have not been finalized and are not part of the request.



View of the proposed ramp location where it will connect to the sidewalk to the left of the stairs.



View of the proposed ramp location where it will rise from the plaza level to the top of the entrance steps.

## **Standards**

### **PORCH AND DECK STANDARDS AND GUIDELINES (Abbreviated)**

#### **Freestanding or Attached Decks (Uncovered Porches)**

Placement and design of all decks shall be approved by the Commission. Decks should be located in unobtrusive locations and shall feature one of the edge details featured on the attached decking detail illustration. Decking boards shall consist of 5/4" thick pressure treated decking or square-edged fir decking and appropriately finished. In some cases, composite decking materials may be permitted for use on uncovered porches.

#### **Handrails and Guardrails**

Existing original handrails and guardrails shall not be removed without the approval of the Commission. Deteriorated rails shall be repaired as a first course of action. When replacement is necessary, the original details shall be replicated. In cases where height or spacing is required to be modified to meet code requirements, the Commission will carefully review the options to determine the most appropriate method to accomplish this requirement. In cases where handrails or guardrails are new (including those for new decks), the design shall generally conform to the railing and balustrade detail illustrated on the attached sketches.

In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies. In general, in order to meet building code requirements, the minimum guardrail height in the historic districts shall conform to the following standards:

PORCH OR DECK FLOOR HEIGHT FROM FINISHED GROUND GRADE	MINIMUM GUARDRAIL HEIGHT
0" - 30"	0"
≥ 30"	36"

New guardrails on commercial buildings shall conform to the minimum guardrail height for commercial buildings as defined in the most recent edition of the building code.

In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies.

...

**Paint**

All exposed deck or porch wood shall be painted to complement or contrast the existing structure. Pressure treated wood shall be painted no later than one year after installation.

**Deliberation**

I move that the HDC (approve/deny) the request to construct an accessible ramp and required railing in the front lawn on Muskegon Avenue and construct patios at the front and rear of the building as presented in the August 13, 2024 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

**Case 2024-10 – 1135 5th – Windows**  
**Applicant: Clement Coulombe (Owner); Brett Mahaffey (Contractor)**  
**District: Houston**  
**Current Function: Residential**

**Discussion**

The applicant is seeking approval to replace three wooden double-hung windows on the second story of the south (side) elevation and two wooden double-hung windows on the second story of the west (rear) elevation with double-hung wood composite replacement windows of the same size and appearance.



View of house from 5<sup>th</sup> Street, looking south.



Three second-story windows on the south elevation proposed to be replaced.



One second-story window on the west elevation proposed to be replaced.

## **Standards**

### **WINDOW, DOOR, AND EXTERIOR WOODWORK STANDARDS AND GUIDELINES (Abbreviated)**

#### **General**

These guidelines pertain only to proposed changes to the structure and do not affect existing construction.

These guidelines are primarily directed toward the front and side elevations of the structure. Greater variances and more leniency may be extended toward proposed changes to the rear elevation of the building by the Commission. All desired or proposed changes should be referred to the Historic District Commission for consideration. Extenuating circumstances, the effect upon the architecture of the particular structure together with the general effect upon the surrounding structures, variables in architectural design, or the effect upon usage and viability of the structure could dictate a variance from these guidelines.

No exterior doors, windows, or exterior woodwork shall be altered, removed, relocated, or added without Historic District Commission approval.

Existing exterior window or door casings, sills, and caps shall not be altered from the original design or appearance. Damaged or deteriorated wood shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Damaged or deteriorated wood elements may be replaced or covered with formed aluminum or vinyl, subject to Commission approval and provided that the original profile of the woodwork is not altered or changed.

#### **Primary Windows**

Existing damaged or deteriorating window frames and sash shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Metal or vinyl replacement windows may be acceptable provided they match the original windows in design and type and that they consist of or are painted an appropriate color. Bare metal finishes generally will not be acceptable.

The size of glass lites and muntin arrangements shall not be altered without Commission approval. Special glazing, such as stained or leaded art glass, shall not be removed without Commission approval. Unusual decorative windows such as Palladian windows, oriels, bays, Gothic arch or segment tops, etc. shall not be removed or altered.

#### **Storm Windows**

Wood storm and screen windows are the most appropriate for use in the historic district. Other types of storm, screen, or combination windows will be approved provided that the new storm window mullions align with the mullions of the primary windows. Blind stop storm and screen windows (where such windows are placed inside the existing window frames rather than affixed to the exterior of the frames) are preferable and may be required in some instances. Bare metal storm and screen windows must be painted to match or complement the trim. Interior storm windows may be acceptable as long as they do not detract from the appearance of the primary windows. Care should be taken, however, when using interior storm windows because condensation tends to form on the inside surface of the primary window and could cause damage to the wood and paint if not properly ventilated.

## **Deliberation**

I move that the HDC (approve/deny) the request to replace three wooden double-hung windows on the second story of the south (side) elevation and two wooden double-hung windows on the second story of the west (rear) elevation with double-hung wood composite replacement windows of the same size and appearance as long as the work meets all zoning requirements and the necessary permits are obtained.

**Case 2024-11 – 600 W. Clay – Shed**  
**Applicant: Artworks of Muskegon**  
**District: Boilerworks**  
**Current Function: Residential**

**Discussion**

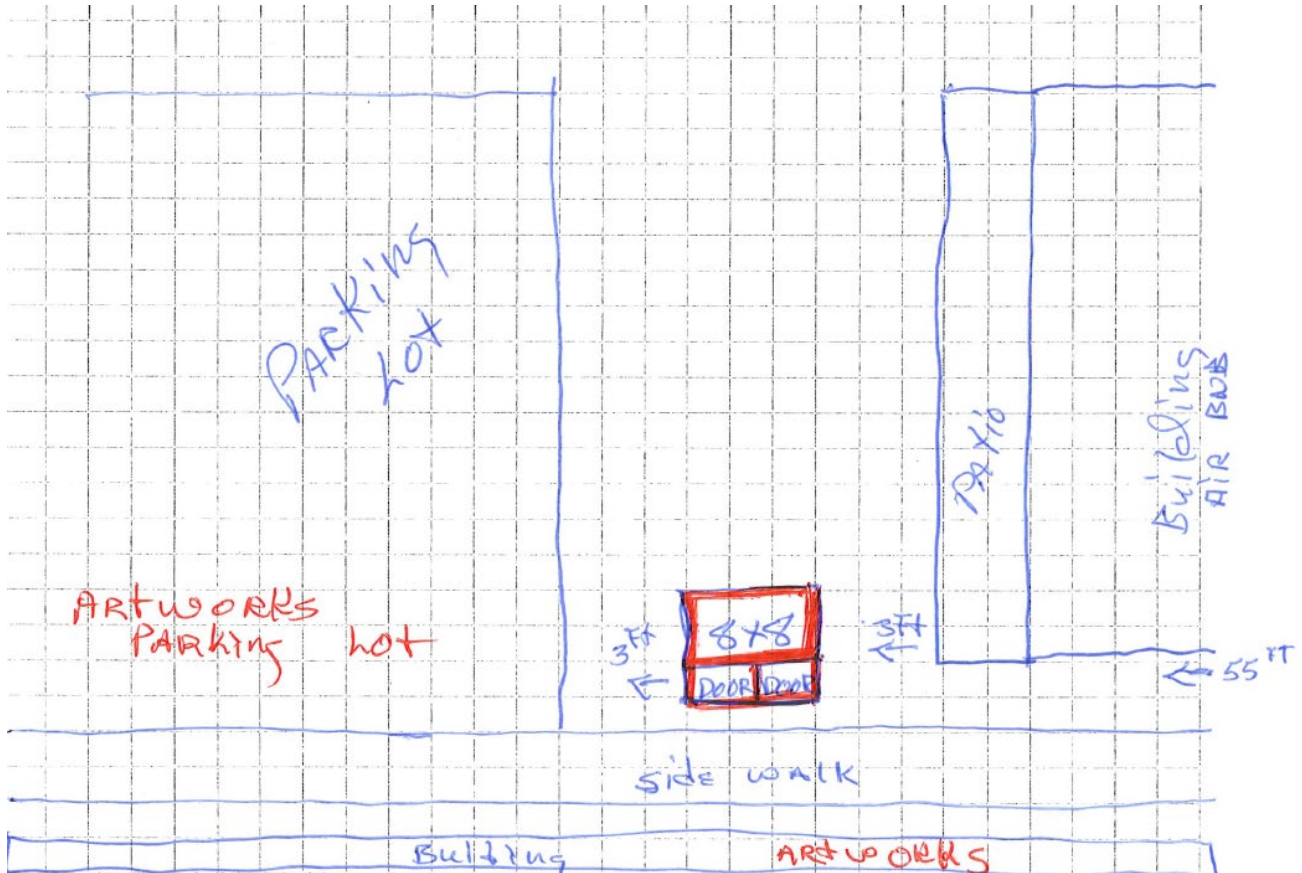
The applicant is seeking approval to place an 8' by 8' storage shed on the property in the location depicted in the below site plan. The proposed style of shed will be shared prior to the meeting.



View of proposed shed location (footprint in yellow) from W. Clay Avenue, looking west.



View of proposed shed location from 8<sup>th</sup> Street, looking east (obscured by red brick building).



Proposed shed location with W. Clay Avenue at top of page and 8<sup>th</sup> Street at right of page.

**Standards**

**DESIGN GUIDELINES FOR NEW CONSTRUCTION (Abbreviated)**

General design guidelines for sheds include seven-foot-tall walls, a gable roof with a minimum of a 6/12 pitch, and double doors with each door being 3’-6” wide. Sheds shall be as neutral as possible and shall not be a focal point of the property. All sheds must receive a Development Permit prior to construction and must follow the requirements of the City of Muskegon Zoning Ordinance with the added stipulation prohibiting sheds from being located in the front or side yard(s) of a property.

**Deliberation**

I move that the HDC (approve/deny) the request to place an 8’ by 8’ storage shed on the property in the location depicted in the August 13, 2024 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

**Case 2024-12 – 458 W. Webster – Garage**  
**Applicant: Jon and Katie Gress**  
**District: National Register**  
**Current Function: Residential**

**Discussion**

The applicant is seeking approval to remove and rebuild the southwest, southeast, and northeast walls of the garage at the rear of the property with new windows of a similar size, configuration, and mullion design and with some changes to window locations (see below elevation drawings). A similar project was completed for the northwest (rear) wall of the garage in 2019 ([HDC Case 2018-25](#)), and the remaining three walls are not visible from the street and minimally visible from the alley.

The existing wall construction is unreinforced clay masonry block covered with a stucco cement finish; full wall replacement is determined to be the safest and most structurally sound solution as the existing walls cannot feasibly be repaired in place due to their unreinforced construction, deteriorated mortar joints, and broken lintels.

The proposed new walls will be constructed of reinforced CMU block to meet modern construction codes – exactly as was done in 2019. The exterior will be finished with a stucco cement product to match the rest of the structure and restore the wall to preexisting conditions.



Birds eye view of house and garage from above W. Webster Avenue, looking west.



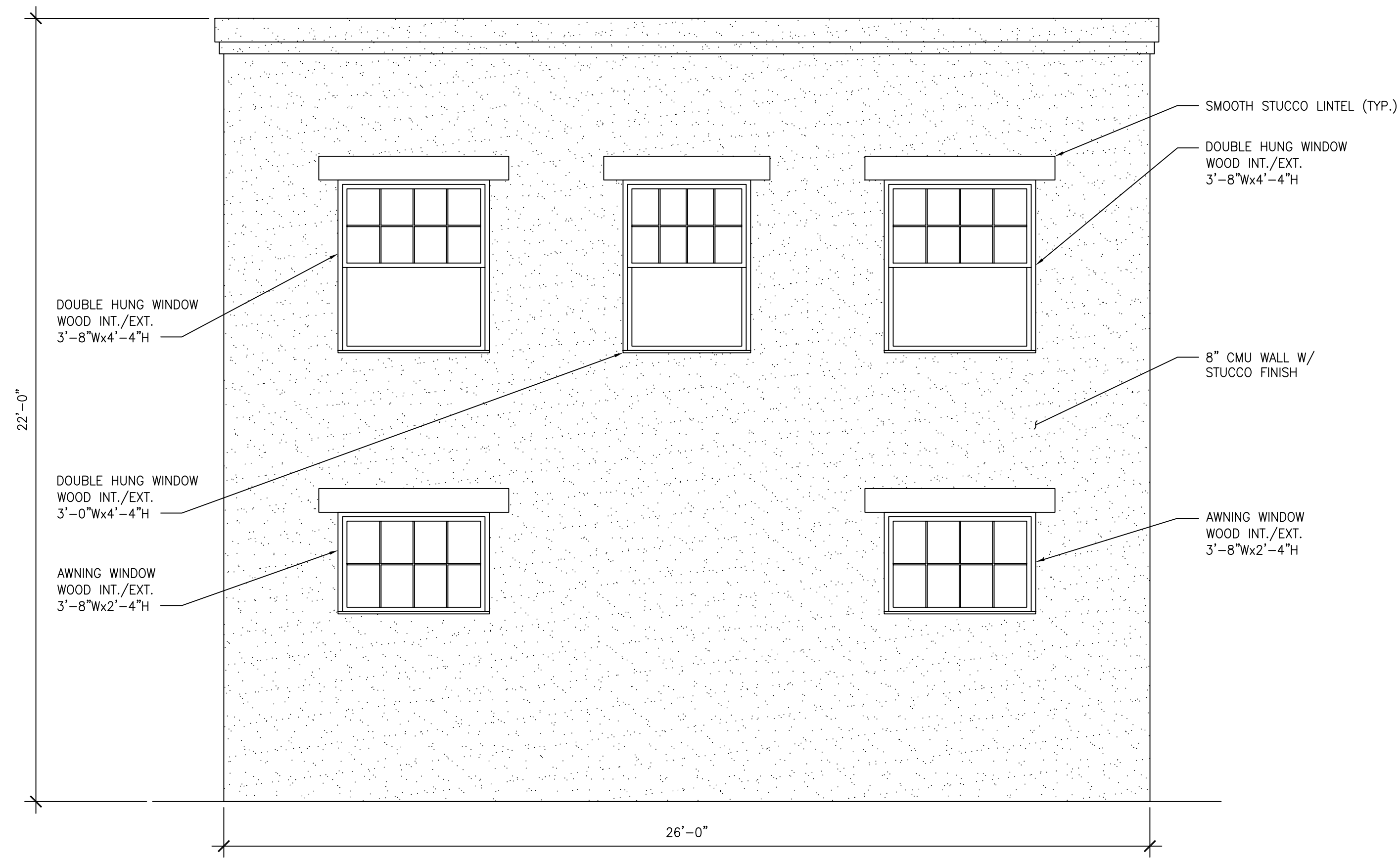
View of wall facing the main house, looking northwest.



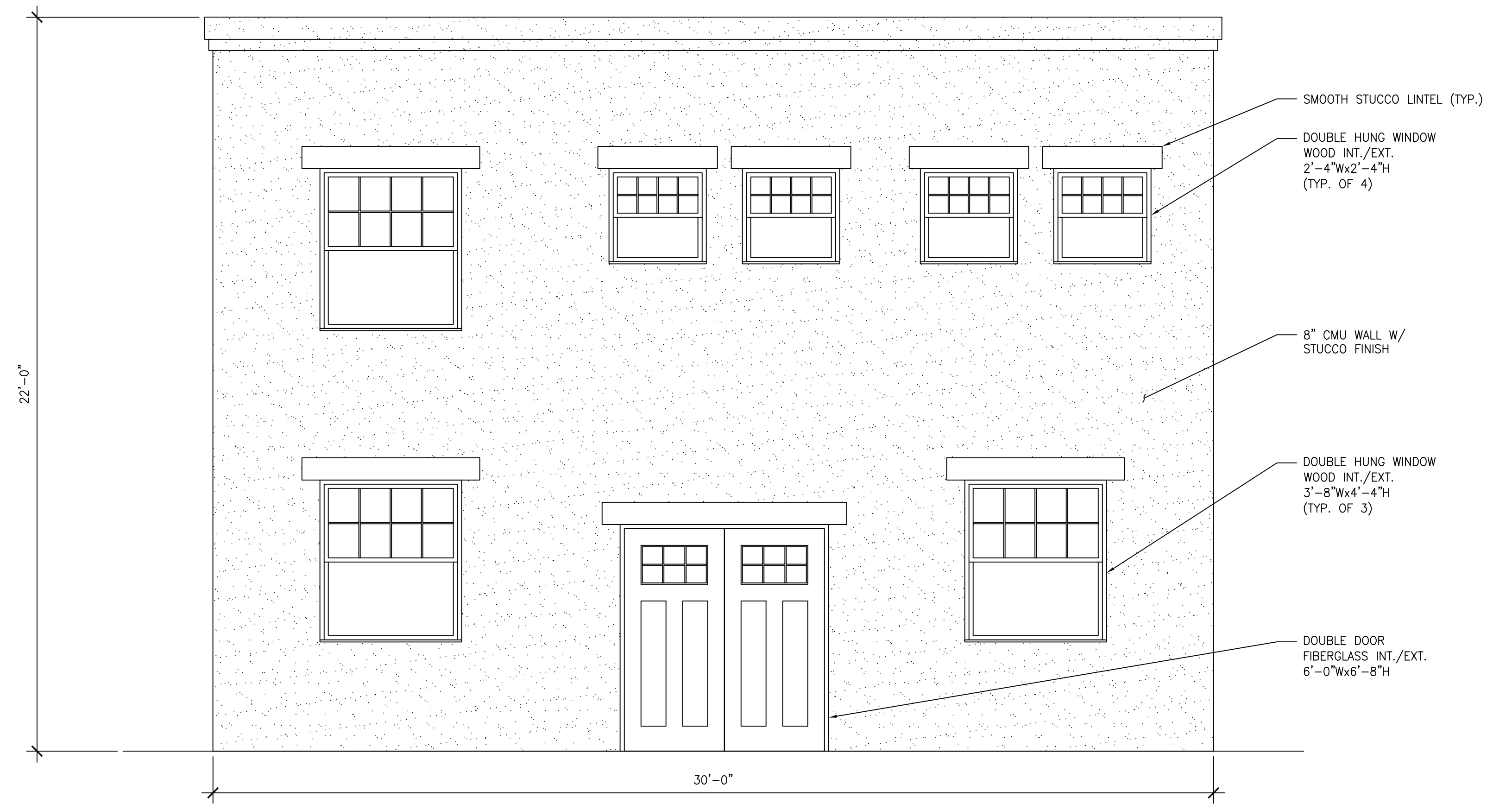
View of the southwest side wall from rear alley, looking northeast.



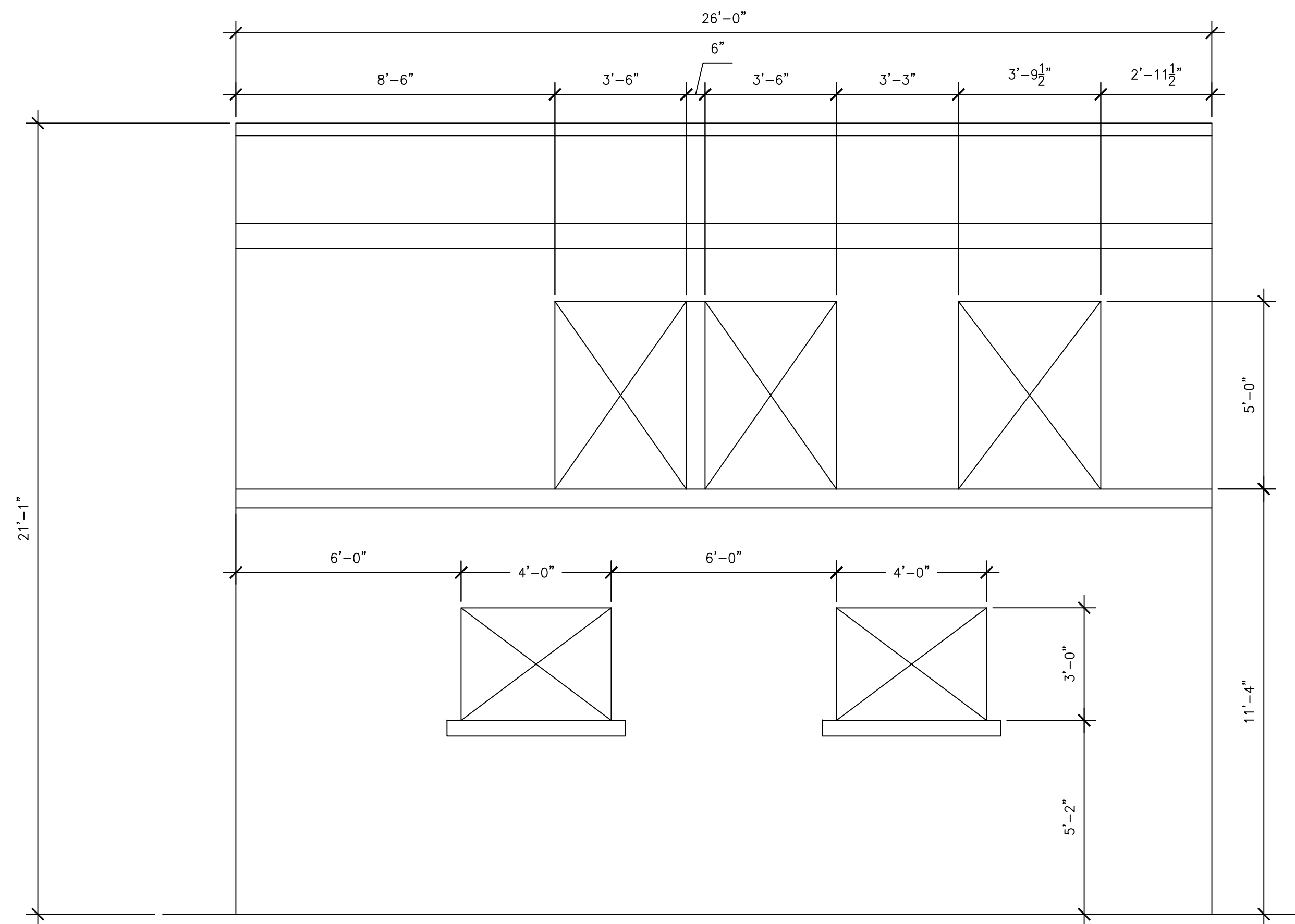
Northeast corner of the garage showing the tight clearance between the neighboring garage.



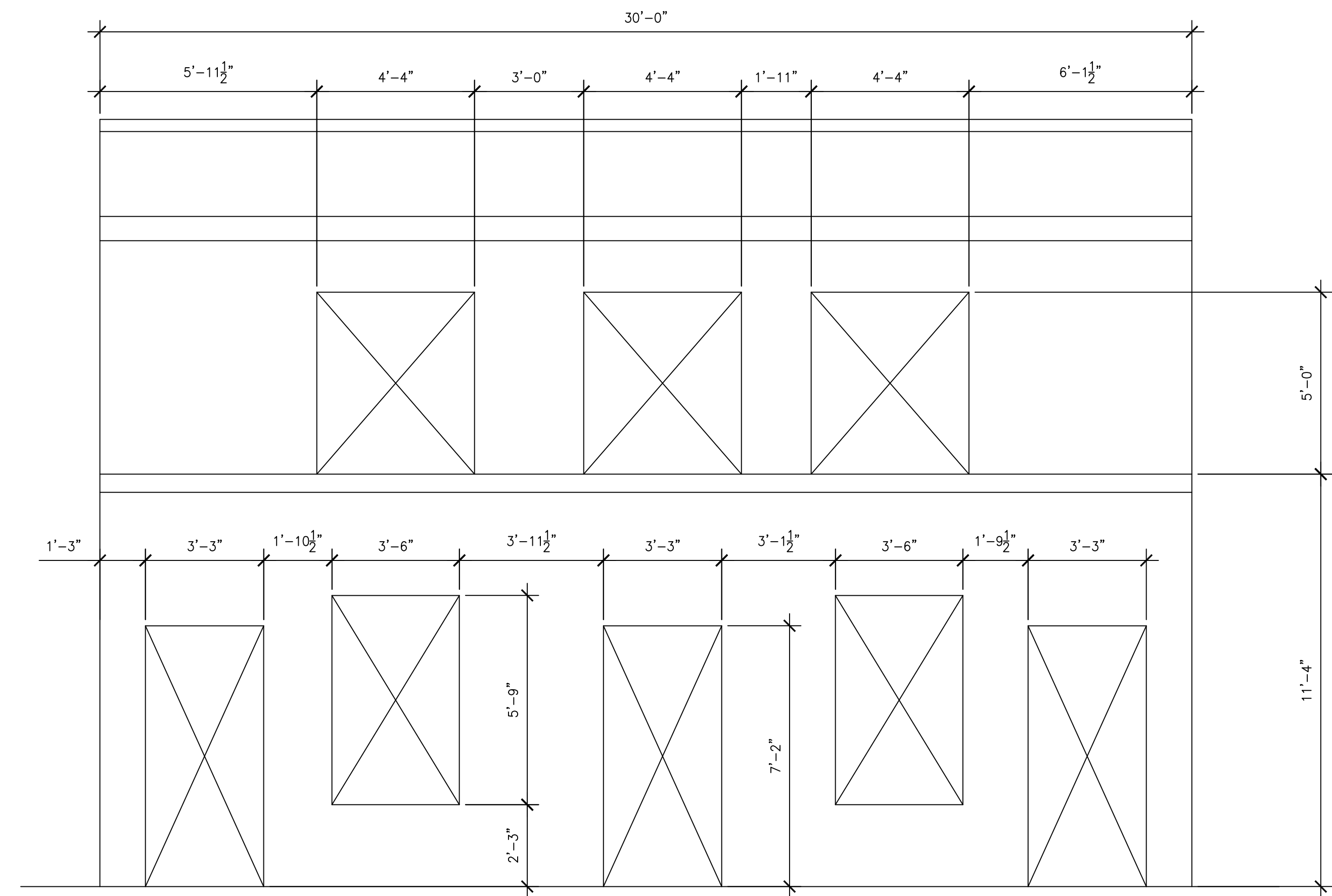
**PROPOSED SOUTHWEST ELEVATION**  
SCALE: 3/8"=1'-0"



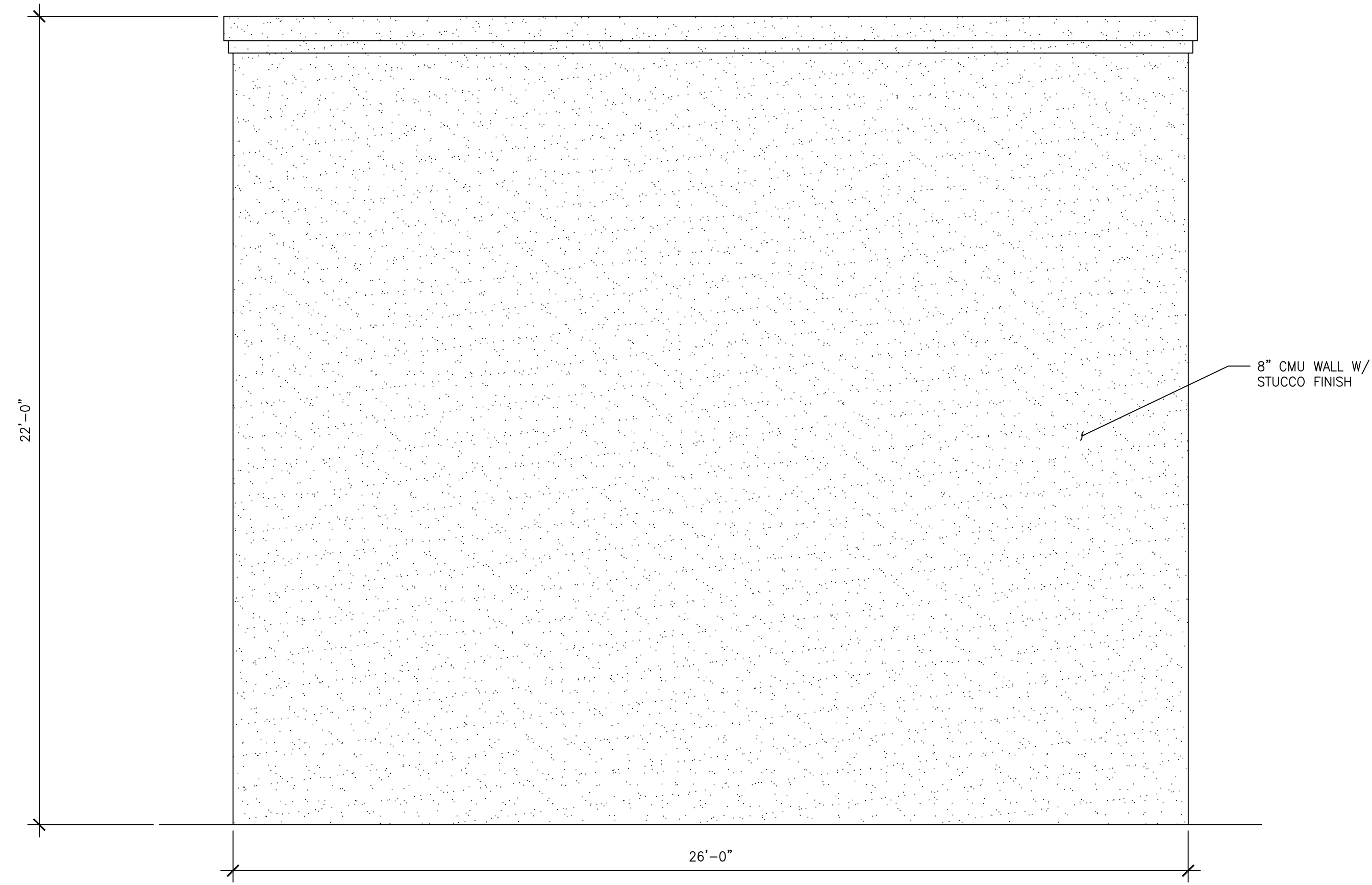
**PROPOSED SOUTHEAST ELEVATION**  
SCALE: 3/8"=1'-0"



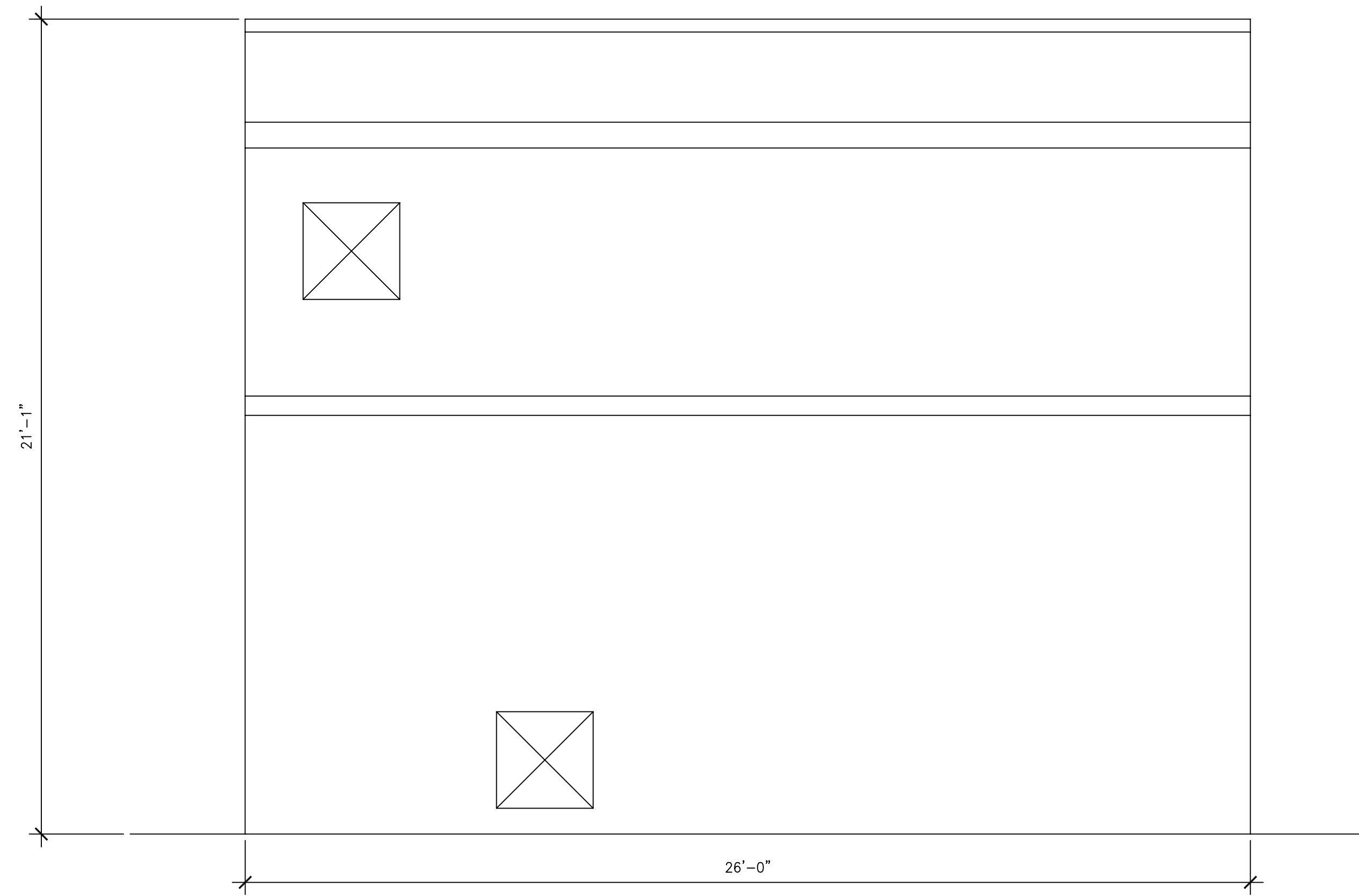
**EXISTING SOUTHWEST ELEVATION**  
SCALE: 3/8"=1'-0"



**EXISTING SOUTHEAST ELEVATION**  
SCALE: 3/8"=1'-0"



PROPOSED NORTHEAST ELEVATION  
SCALE: 3/8"=1'-0"



EXISTING NORTHEAST ELEVATION  
SCALE: 3/8"=1'-0"

## **Standards**

### **DESIGN GUIDELINES FOR NEW CONSTRUCTION**

Although a significant amount of the Commission's work is centered on historic structures, the construction of new structures on vacant lots within historic districts is permitted and encouraged. However, those professionals designing new structures should strive for excellence in design whether small individual infill construction within the existing historic district blocks, or larger independently sited projects. New structures should be in keeping with the existing historical character of the neighborhood or district with a design that is compatible with the size, scale, material, and color of the surrounding buildings and landscaping. Good design which responds positively to its surroundings can be done in several different ways; therefore, it is impossible to develop specific interpretations which will apply in all cases. Every site has its own design opportunities.

The following design recommendations shall be used by the Historic District Commission in evaluating requests for new construction within the districts. These basic criteria should be a part of any proposed design brought before the Commission for approval.

#### **Recommended**

Height - Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.

Scale - Relating the size and proportions of new structures to the scale of adjacent buildings. Although a building may be much larger than its neighbors in terms of square footage, it should maintain the same scale and rhythm as the existing buildings.

Massing - Breaking up uninteresting box-like forms into smaller, varied masses such as are common on most buildings from the historic period. Variety of form and massing are elements essential to the character of the streetscape in historic districts. For example, if an infill site is large, the mass of the facade can be broken into a number of small bays.

Directional Expression - Relating the vertical, horizontal, or non-directional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary

#### **Not Recommended**

Height - Introducing new construction that varies greatly in height (too high or too low) from older buildings in the vicinity. Extreme differences in building heights will have a detrimental visual effects on the appearance of surrounding property.

Scale - Creating buildings that in height, width, or massing violate the existing scale of the area. The new building should not disrupt the scale and rhythm of the streetscape, although it might be appropriate in a different location.

Massing - Introducing single, monolithic forms that are not relieved by variations in massing. Box-like facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.

Directional Expression - Creating strongly horizontal or vertical facade expressions unless compatible with the character of structures in the immediate area. A new building that does not relate well to its neighbors or to the rhythm of the streetscape because of an unbroken horizontal facade should be avoided.

expression of the streetscape.

Setback - Maintaining the historic facade lines of streetscape by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, buildings should be set back into the lot rather than closer to the street. If existing setbacks vary, new buildings should conform to historic siting patterns.

Sense of Entry - Articulating the main entrances to the building with covered porches, porticos, and other pronounced architectural forms. Entries were historically raised a few steps above the grade of the property and were a prominent visual feature of the street elevation of the building.

Roof Shapes - Relating the roof forms of the new buildings to those found in the area. Although not entirely necessary, duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Rhythm of Openings - Respecting the recurrent alteration of wall areas with door and window elements in the facade. Also considering the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry or balanced symmetry should be carefully studied.

Design Expression - Composing the materials, textures and colors of the new building facade to compliment adjacent facades and relating details and decorations of the new building to those of existing surrounding buildings.

Imitations - Accurate restoration of or visually compatible additions to existing buildings and former construction, contemporary architecture that well represents our own time yet, enhances the nature and character of the historic district.

Setback - Violating the existing setback pattern by placing a new building in front of or behind the historic facade line. Placing buildings at odd angles to the street, unless in an area where diverse siting already exists, even if property setback is maintained, should be avoided.

Sense of Entry - Introducing facades with no strong sense of entry. Side entries or entries not defined by a porch or similar transitional element result in an incompatible "flat" first-floor facade.

Roof Shapes - Introducing roof shapes, pitches, or materials not traditionally used in the area.

Rhythm of Openings - Introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. For example, glass walls and window and door shapes and locations which are disrespectful to the adjoining buildings.

Design Expression - Violating the existing character of the district by introducing non-compatible materials, textures, colors, details, and decoration on new buildings.

Imitations - Replicating or imitating the styles, motif, or details of older periods. Such attempts detract from the character of the district by compromising what is truly historic.

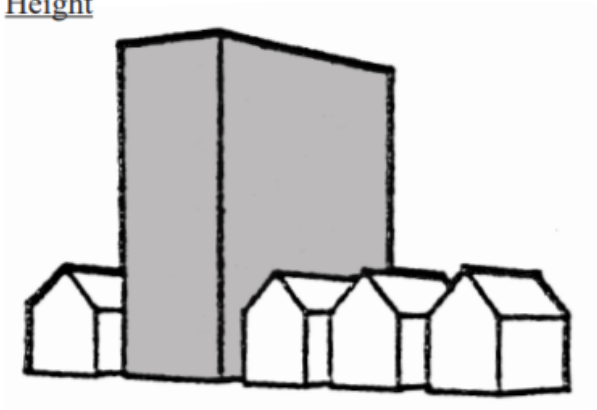
Recommended

Height

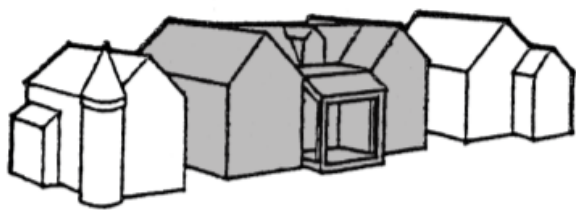


Not Recommended

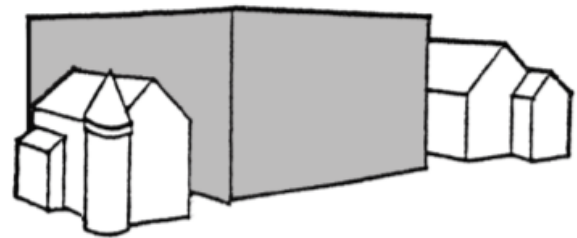
Height



Scale



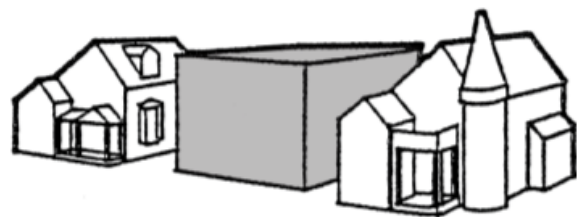
Scale



Massing



Massing



Directional Expression



Directional Expression

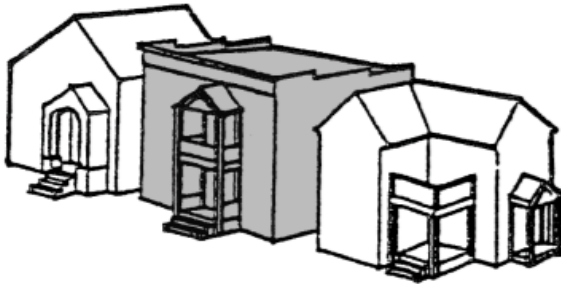


Recommended

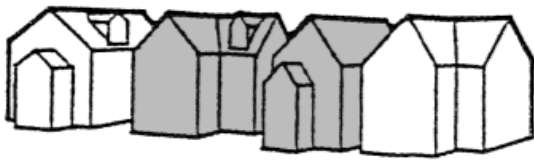
Setback



Sense of Entry



Roof Shapes



Rhythm of Openings

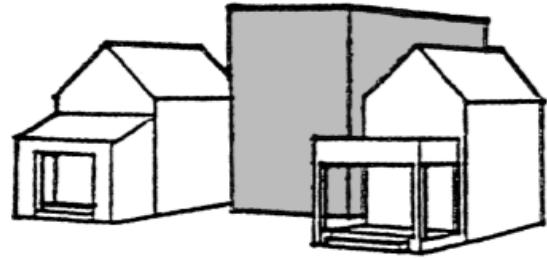


Imitations

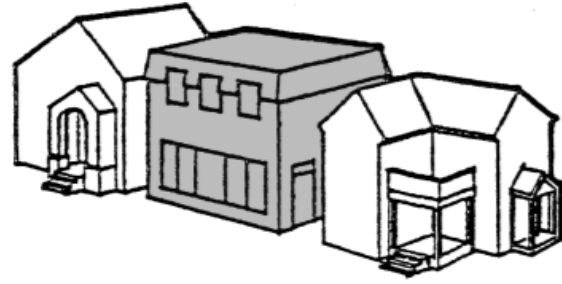


Not Recommended

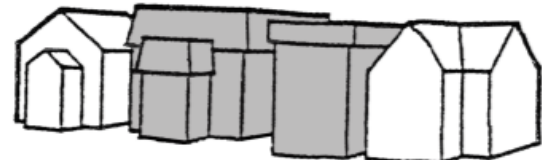
Setback



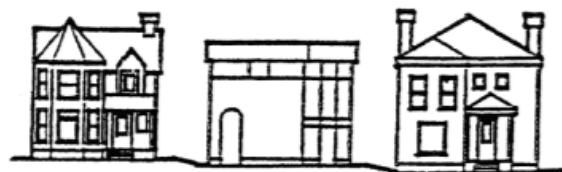
Sense of Entry



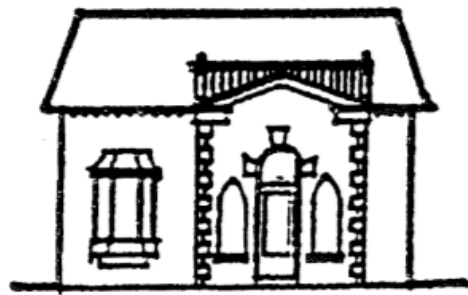
Roof Shapes



Rhythm of Openings



Imitations



## **Deliberation**

I move that the HDC (approve/deny) the request to remove and rebuild the southwest, southeast, and northeast walls of the garage at the rear of the property with new windows of a similar size, configuration, and mullion design and with window locations that match the elevation drawings included in the August 13, 2024 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

**Case 2024-13 – 1633 Clinton – Porch  
Applicant: Trinity Health  
District: Clinton-Peck  
Current Function: Residential**

**Discussion**

The applicant is seeking approval to reconstruct the concrete front porch to appear similar to the current porch including replacement of the wooden columns with matching replacement columns.



View of house from Clinton Street, looking west.



Detail view left side of front porch.



Detail view of right side of front porch.

## **Standards**

See Porch and Deck Standards and Guidelines in Case 2024-09, above.

## **Deliberation**

I move that the HDC (approve/deny) the request to reconstruct the concrete front porch to appear similar to the current porch including replacement of the wooden columns with matching replacement columns as long as the work meets all zoning requirements and the necessary permits are obtained.

**Case 2024-14 – 1449 Clinton – New Construction**  
**Applicant: Dalton Haight**  
**District: Clinton-Peck**  
**Current Function: Vacant Lot**

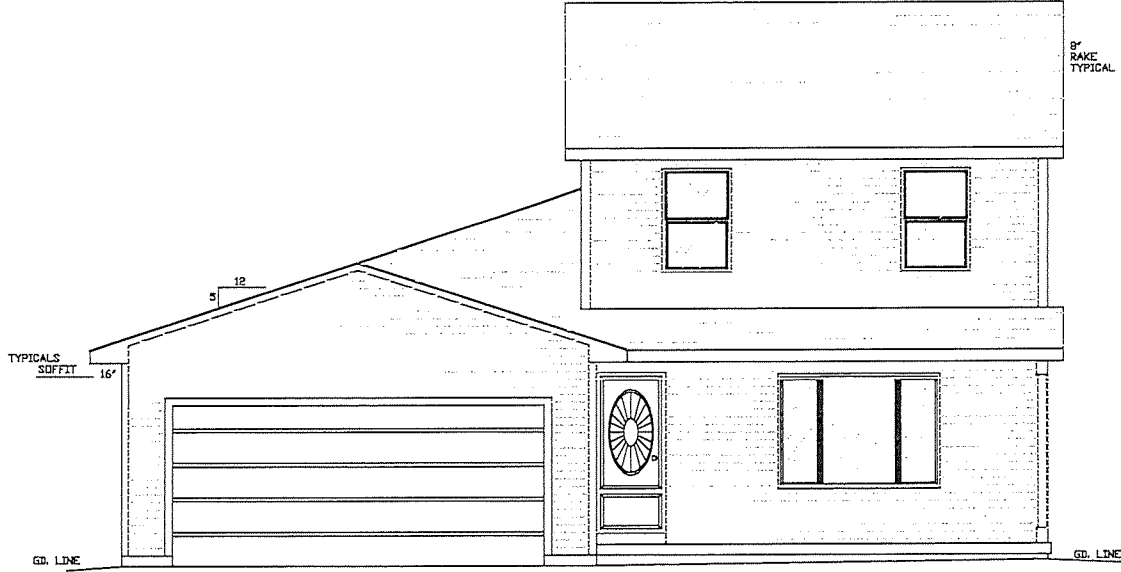
**Discussion**

The applicant is seeking approval to construct a new single-family house with an attached garage on the lot. Proposed elevation, floor plan, and site plan drawings are included below.



View of vacant lot from Clinton Street, looking west. Neighboring house to the north visible at right.

PB 240708



**FRONT ELEVATION**

SCALE: 1/4" = 1'

SHEET NO. <b>1</b>	
UP	560
MAIN	790
LOWER	
TOTAL	1,350

DRAWN BY:  
G. HAIGHT

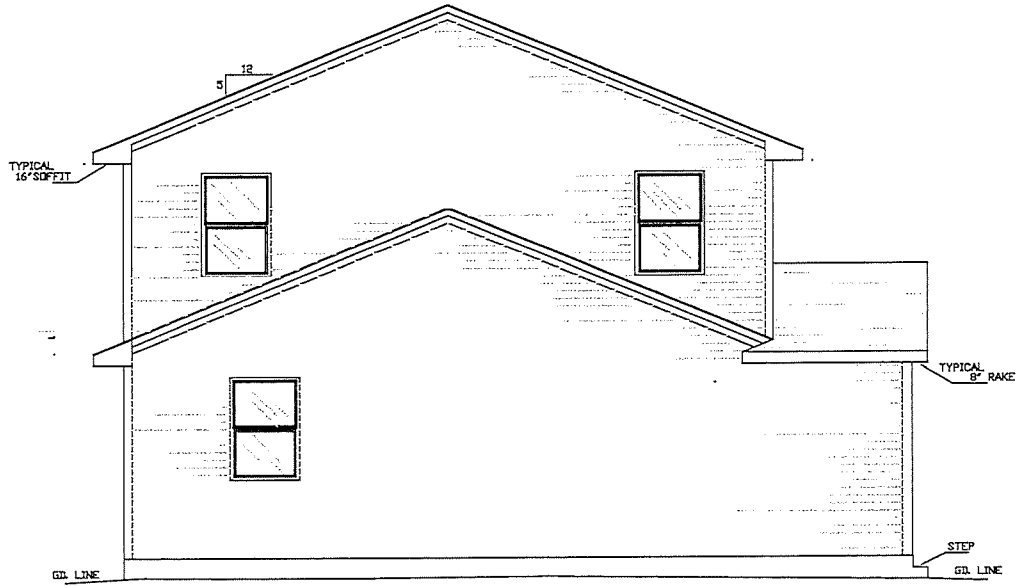
STYLE  
2-STORY

PROJECT:  
DAKTON HAIGHT

GLEN J. HAIGHT  
CUSTOM BUILDER  
HOME DESIGNING - REMODELING - CABINET MAKING



PR240108



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'

SHEET NO. **4**

UP	MAIN	LOWER	TOTAL
560	790		1,350

SQ. FOOTAGE:  
DRAWN BY:  
*G. HAIGHT*

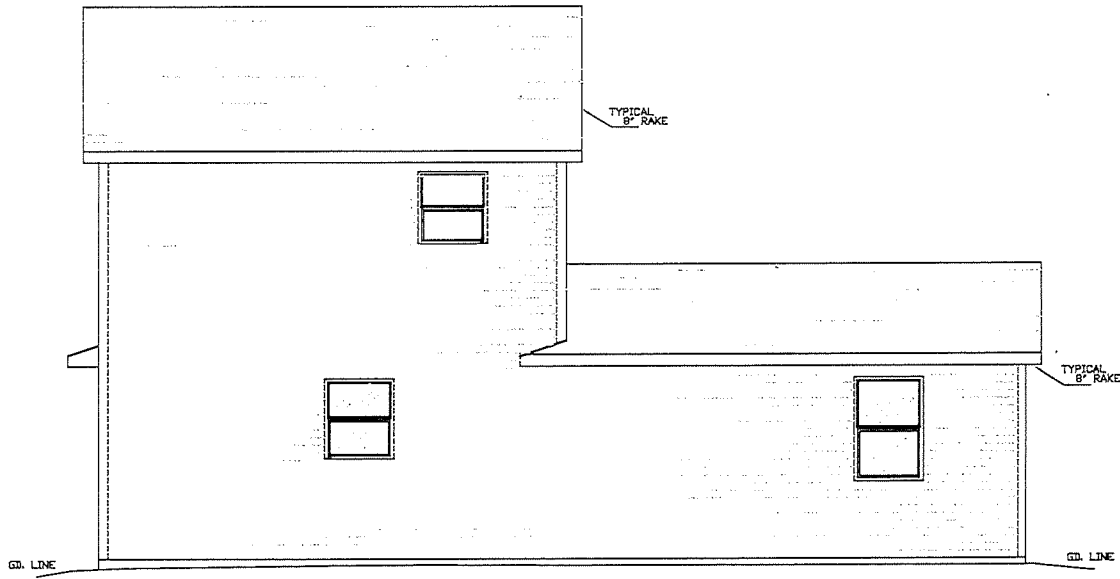
STYLE  
*2-STORY*

PROJECT:  
*DALTON HAIGHT*

*GLEN J. HAIGHT  
CUSTOM BUILDER  
HOME DESIGNING - REMODELING - CABINET MAKING*



PB240708



REAR ELEVATION

SCALE: 1/4" = 1'



GLEN J. HAIGHT  
 CUSTOM BUILDER  
 HOME DESIGNING - REMODELING - CABINET MAKING

PROJECT:  
 DALTON HAIGHT

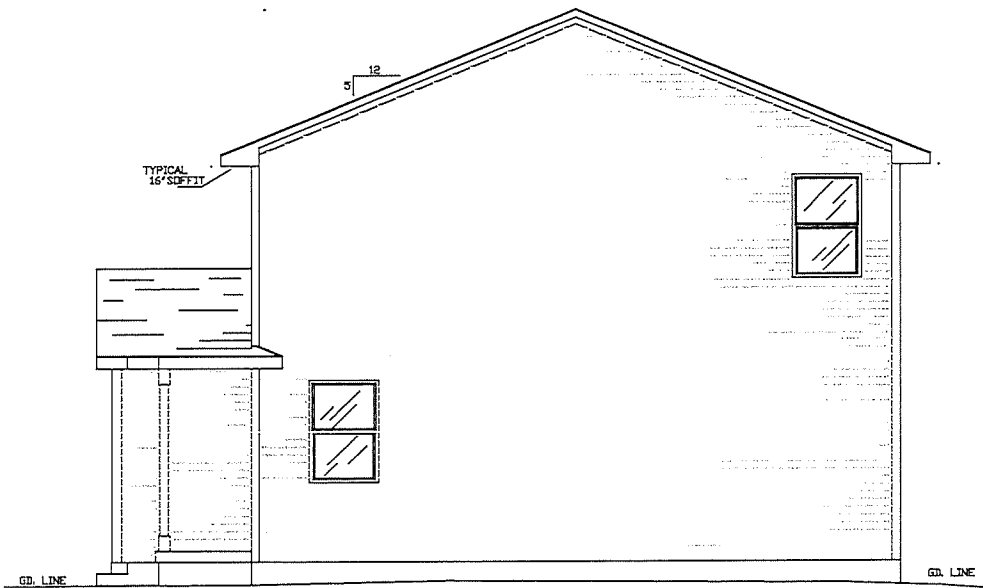
STYLE  
 2-STORY

DRAWN BY:  
 G. HAIGHT

SQ. FOOTAGE:	UP	MAIN	LOWER	TOTAL
	560	790		1,350


SHEET NO. 2

PB 240708

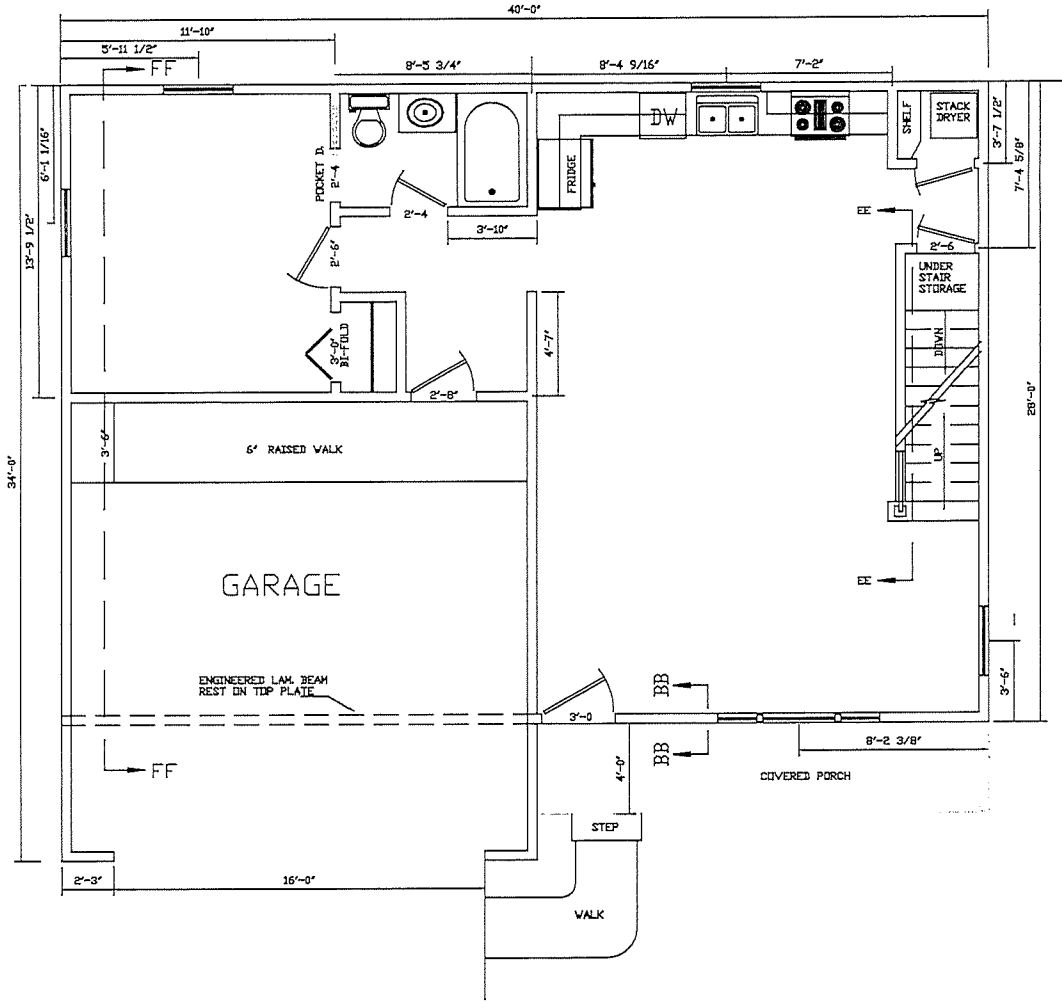


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'

<p>GLEN J. HAIGHT CUSTOM BUILDER HOME DESIGNING - REMODELING - CABINET MAKING</p> 	PROJECT:	DALTON HAIGHT	STYLE	2-STORY	DRAWN BY:	G. HAIGHT	<table border="1"> <tr> <td>500</td> <td>UP</td> <td rowspan="2">SHEET NO.</td> <td rowspan="2">3</td> </tr> <tr> <td>790</td> <td>MANN</td> </tr> <tr> <td></td> <td>LOWER</td> <td></td> <td></td> </tr> <tr> <td></td> <td>TOTAL</td> <td></td> <td></td> </tr> </table>	500	UP	SHEET NO.	3	790	MANN		LOWER				TOTAL		
	500	UP	SHEET NO.	3																	
790	MANN																				
	LOWER																				
	TOTAL																				
SQ. FOOTAGE:																					

PB240108



**FIRST STORY FLOOR PLAN**

SCALE: 1/4" = 1'

GLEN J. HAIGHT  
 CUSTOM BUILDER  
 HOME DESIGNING - REMODELING - CABINET MAKING



PROJECT: DALTON HAIGHT

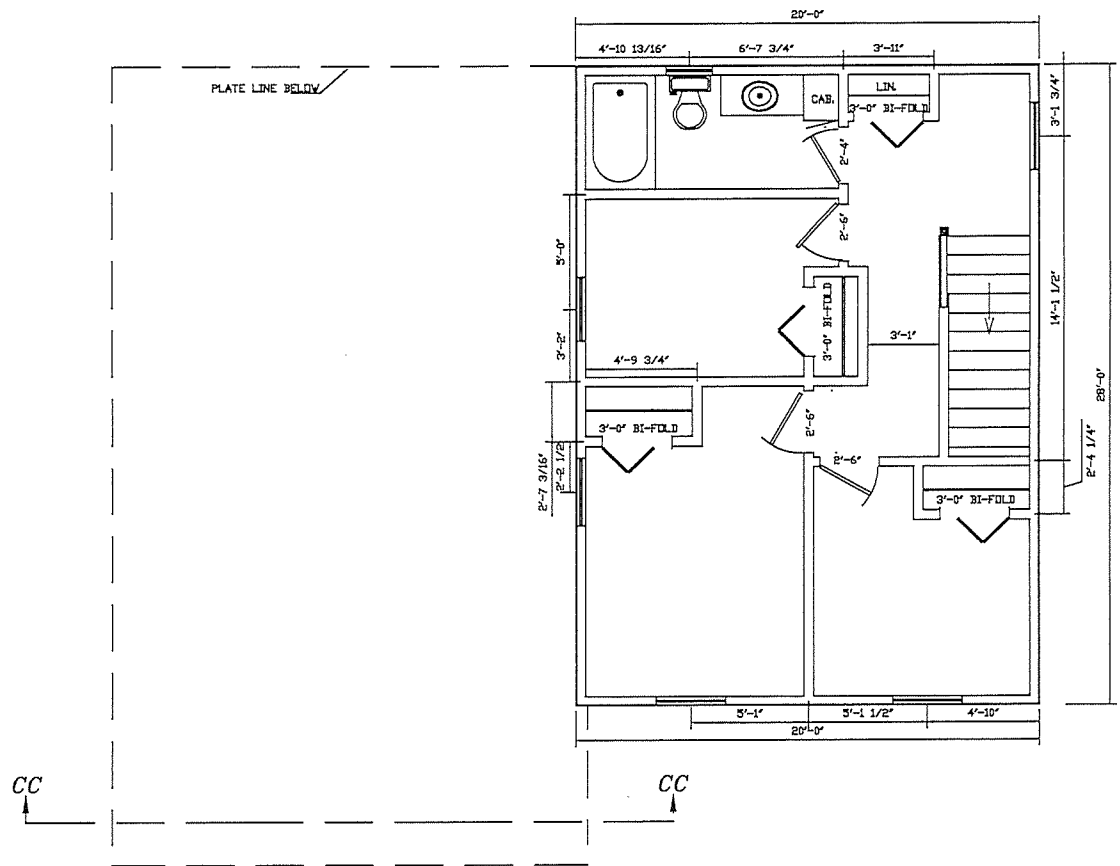
STYLE: 2-STORY

DRAWN BY: G. HAIGHT

UP	DOWN	TOTAL
560	790	1,350
SQ. FOOTAGE:		TOTAL

SHEET NO. 6

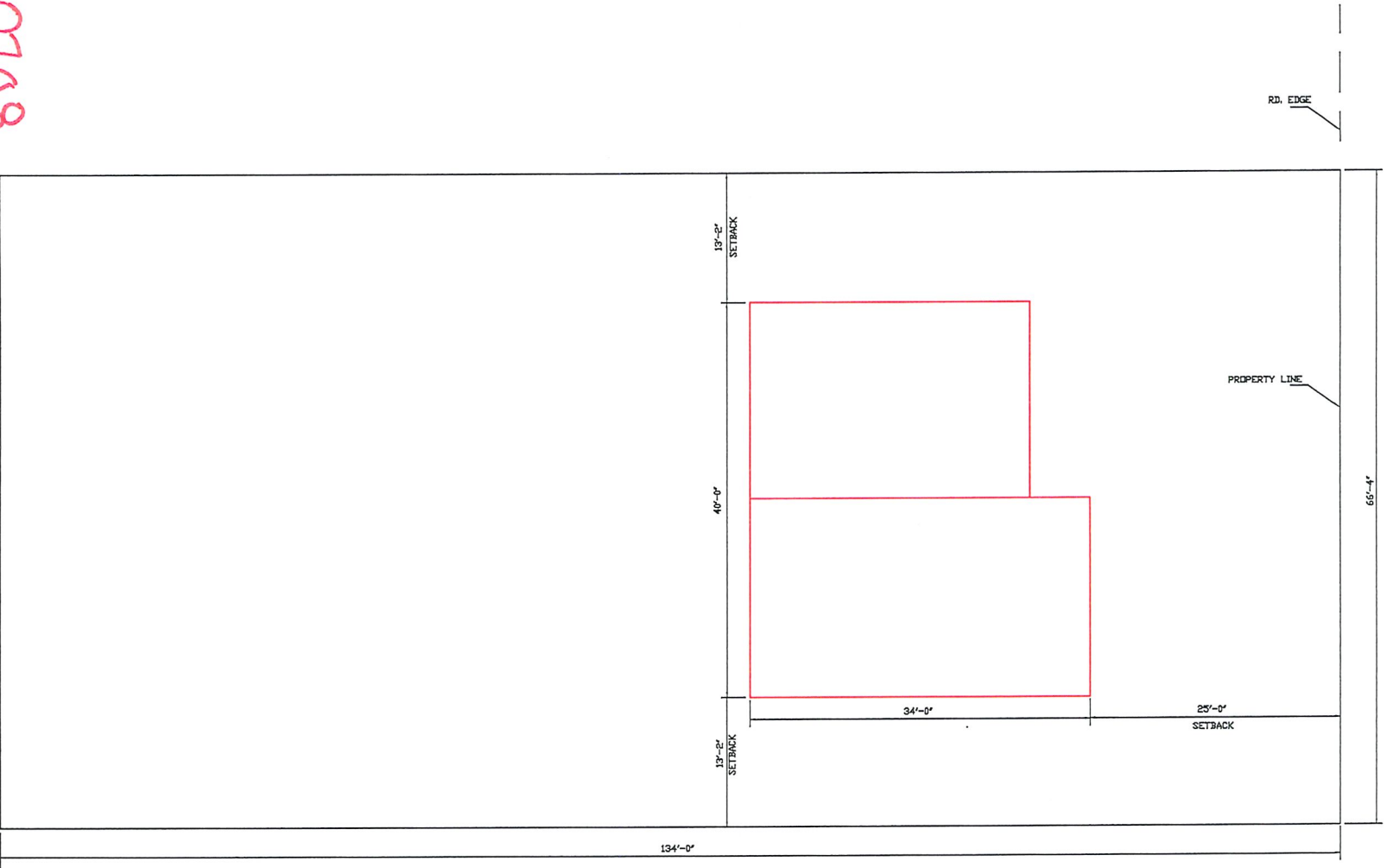
PB 240708



SECOND STORY FLOOR PLAN  
SCALE: 1/4" = 1"

<p>GLEN J. HAIGHT CUSTOM BUILDER</p>	<p>PROJECT: DALTON HAIGHT</p>	<p>STYLE 2-STORY</p>	<p>DRAWN BY: G. HAIGHT</p>	<p>SQ. FOOTAGE:</p>		<p>SHEET NO. 7</p>
				<p>UP 560</p>	<p>MAIN 790</p>	
<p>HOME DESIGNING - REMODELING - CABINET MAKING</p>						

PB240708



# PLOT PLAN

SCALE: 1/8" = 1'

CLINTON St.

GLEN J. HAIGHT CUSTOM BUILDER HOME DESIGNING - REMODELING - CABINET MAKING	PROJECT: DALTON HAIGHT	STYLE 2-STORY	DRAWN BY: G. HAIGHT	SQ. FOOTAGE:		SHEET NO. 0
				UP MANN	LOWER LOWER	



## **Standards**

See Design Guidelines for New Construction in Case 2024-12, above.

## **Deliberation**

I move that the HDC (approve/deny) the request to construct a new single-family house with an attached garage on the lot as depicted in the drawings included in the August 13, 2024 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

## **V. OTHER BUSINESS**

**Public Art Project** – Lions & Rabbits Center for the Arts is proposing [a series of sidewalk murals centered on storm drains](#). A number of mural locations are within the historic districts with each of them being located in the public right-of-way.

## **VI. ADJOURN**