

**CITY OF MUSKEGON
HISTORIC DISTRICT COMMISSION
REGULAR MEETING**

DATE OF MEETING: Tuesday, September 10, 2024
TIME OF MEETING: 4:00 p.m.
PLACE OF MEETING: Conference Room 204, City Hall

AGENDA

- I. Call to Order
- II. Approval of Minutes of the July 2, 2024 and August 13, 2024 regular meetings
- III. Old Business
 - Case 2024-06 – 238 Houston – Demolition
 - Case 2024-09 – 280 W. Muskegon – Ramp and Patios
 - Case 2024-10 – 1135 5th – Windows
 - Case 2024-14 – 1449 Clinton – New Construction
- IV. New Business
 - Case 2024-15 – 1148 Terrace – Siding
 - Case 2024-16 – 407 W. Muskegon – Side Porch Stairs
 - Case 2024-17 – 416 W. Webster – Shutters
- V. Other Business
 - Clarification on Case 2024-08 at 1326 4th Street
 - 2024 Staff Approval Update #2
 - New HDC Member
- VI. Adjourn

AMERICAN DISABILITY ACT POLICY FOR ACCESS TO OPEN MEETINGS OF THE CITY OF MUSKEGON AND ANY OF ITS COMMITTEES OR SUBCOMMITTEES

To give comment on a live-streamed meeting the city will provide a call-in telephone number to the public to be able to call and give comment. For a public meeting that is not live-streamed, and which a citizen would like to watch and give comment, they must contact the City Clerk’s Office with at least a two-business day notice. The participant will then receive a zoom link which will allow them to watch live and give comment. Contact information is below. For more details, please visit: www.shorelinecity.com

The City of Muskegon will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities who want to attend the meeting with twenty-four (24) hours’ notice to the City of Muskegon. Individuals with disabilities requiring auxiliary aids or services should contact the City of Muskegon by writing or by calling the following: Ann Marie Meisch, MMC, City Clerk at 933 Terrace Street, Muskegon, MI 49440 or by calling 231-724-6705 or emailing clerk@shoreline-city.com

II. APPROVAL OF MINUTES

Approval of Minutes of the regular meetings of July 2, 2024 and August 13, 2024.

III. OLD BUSINESS

Case 2024-06 – 238 Houston – Demolition
Applicant: City of Muskegon
District: Houston
Current Function: Vacant

Discussion

Demolition of the structure was approved by the Historic District Commission at the July 2, 2024 HDC meeting (Case 2024-06). At the direction of the City Manager and the City’s legal counsel, this request is returning to the HDC following additional noticing of the property owner.

The applicant is seeking approval to demolish the structure. The Housing Board of Appeals has declared the building as unsafe, substandard, dangerous, a public nuisance, and has recommended demolition. A fire occurred at the property in May 2020 and two subsequent cases were reviewed by the HDC in December 2020 and April 2022 in relation to the building’s rehabilitation.



View of building from Houston Avenue, looking west.



View from Houston Avenue, looking north.



View from rear alley, looking east.

Standards

No specific standards apply.

Deliberation

I move that the HDC (approve/deny) the request to demolish the structure as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2024-09 –280 W. Muskegon – Ramp and Patios
Applicant: Mike Bernhardt
District: National Register
Current Function: Institutional

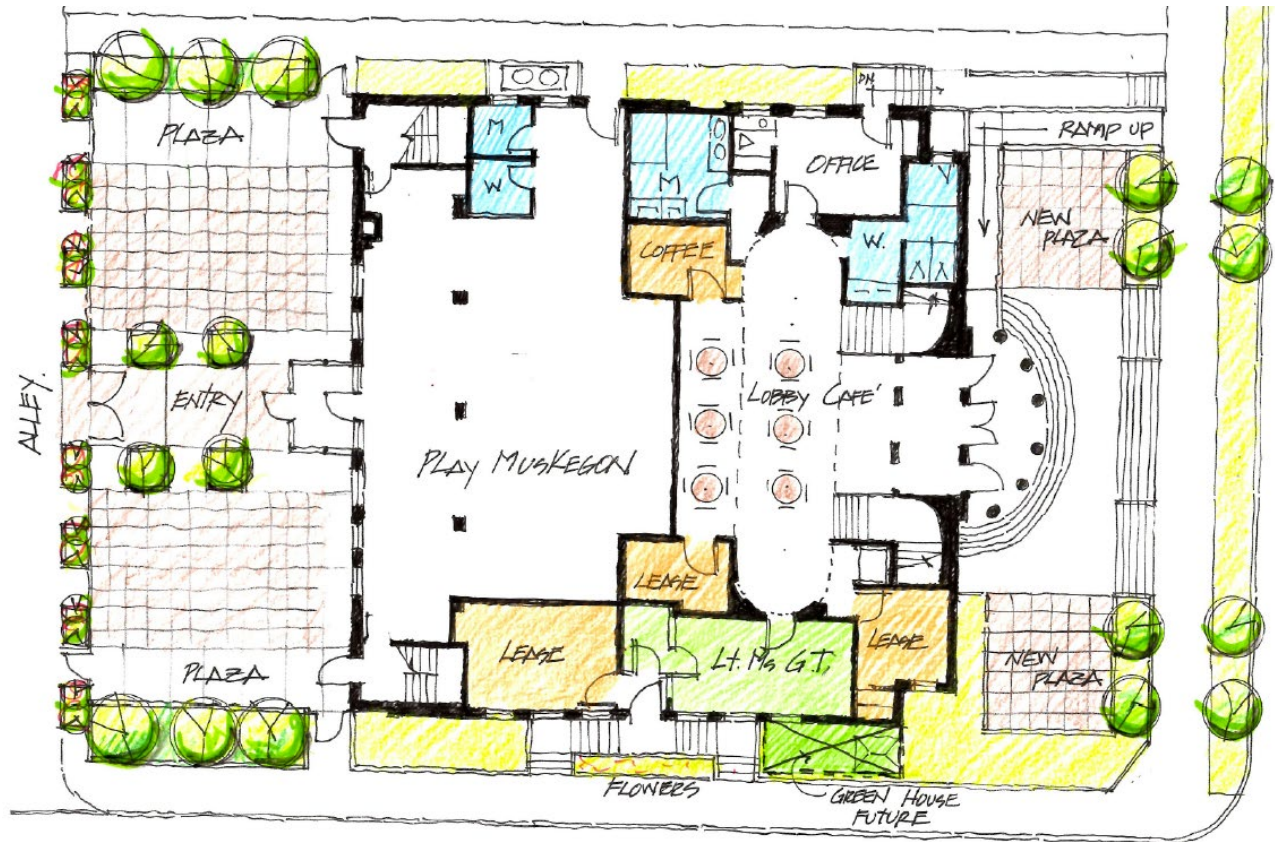
Discussion

At the August 13, 2024 meeting, the HDC tabled its decision on the proposed patios at the front of the building. The following is the original request in its entirety and additional information will be provided at or prior to the meeting.

The applicant is seeking approval to construct an accessible ramp and required railing in the front lawn on Muskegon Avenue and construct patios at the front and rear of the building. The existing concrete patios at the front of the building will be repaired and expanded to provide a full-width plaza. At the rear of the building, the existing asphalt parking area will be removed and a full width, concrete pedestrian plaza will be put in its place. All patio areas will have landscaping and traffic barrier planters.



View of the south (front) and east (side) elevations from W. Muskegon Avenue.



Site plan showing the proposed concrete ramp at the top right, starting at the public sidewalk, traveling along the side property line up to the new plaza level and then rising along the building to the top of the entrance steps. The designs of the entry shelter shown at the building's rear door and the future greenhouse along 3rd Street have not been finalized and are not part of the request.



View of the proposed ramp location where it will connect to the sidewalk to the left of the stairs.



View of the proposed ramp location where it will rise from the plaza level to the top of the entrance steps.

Standards

PORCH AND DECK STANDARDS AND GUIDELINES (Abbreviated)

Freestanding or Attached Decks (Uncovered Porches)

Placement and design of all decks shall be approved by the Commission. Decks should be located in unobtrusive locations and shall feature one of the edge details featured on the attached decking detail illustration. Decking boards shall consist of 5/4" thick pressure treated decking or square-edged fir decking and appropriately finished. In some cases, composite decking materials may be permitted for use on uncovered porches.

Handrails and Guardrails

Existing original handrails and guardrails shall not be removed without the approval of the Commission. Deteriorated rails shall be repaired as a first course of action. When replacement is necessary, the original details shall be replicated. In cases where height or spacing is required to be modified to meet code requirements, the Commission will carefully review the options to determine the most appropriate method to accomplish this requirement. In cases where handrails or guardrails are new (including those for new decks), the design shall generally conform to the railing and balustrade detail illustrated on the attached sketches.

In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies. In general, in order to meet building code requirements, the minimum guardrail height in the historic districts shall conform to the following standards:

PORCH OR DECK FLOOR HEIGHT FROM FINISHED GROUND GRADE	MINIMUM GUARDRAIL HEIGHT
0" - 30"	0"
≥ 30"	36"

New guardrails on commercial buildings shall conform to the minimum guardrail height for commercial buildings as defined in the most recent edition of the building code.

In all cases, if an original guardrail was higher than the minimum height as listed above, then the original height applies.

...

Paint

All exposed deck or porch wood shall be painted to complement or contrast the existing structure. Pressure treated wood shall be painted no later than one year after installation.

Deliberation

I move that the HDC (approve/deny) the request to construct an accessible ramp and required railing in the front lawn on Muskegon Avenue and construct patios at the front and rear of the building as presented in the August 13, 2024 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2024-10 – 1135 5th – Windows
Applicant: Clement Coulombe (Owner); Brett Mahaffey (Contractor)
District: Houston
Current Function: Residential

Discussion

This case was tabled at the August 13, 2024 meeting.

The applicant is seeking approval to replace three wooden double-hung windows on the second story of the south (side) elevation, one wooden double-hung window on the second story of the west (rear) elevation, and one wooden double-hung window on the second story of the north (side) elevation with double-hung wood composite replacement windows of the same size and appearance.



View of house from 5th Street, looking south.



Three second-story windows on the south elevation proposed to be replaced.



One second-story window on the west elevation proposed to be replaced.

Standards

WINDOW, DOOR, AND EXTERIOR WOODWORK STANDARDS AND GUIDELINES (Abbreviated)

General

These guidelines pertain only to proposed changes to the structure and do not affect existing construction.

These guidelines are primarily directed toward the front and side elevations of the structure. Greater variances and more leniency may be extended toward proposed changes to the rear elevation of the building by the Commission. All desired or proposed changes should be referred to the Historic District Commission for consideration. Extenuating circumstances, the effect upon the architecture of the particular structure together with the general effect upon the surrounding structures, variables in architectural design, or the effect upon usage and viability of the structure could dictate a variance from these guidelines.

No exterior doors, windows, or exterior woodwork shall be altered, removed, relocated, or added without Historic District Commission approval.

Existing exterior window or door casings, sills, and caps shall not be altered from the original design or appearance. Damaged or deteriorated wood shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Damaged or deteriorated wood elements may be replaced or covered with formed aluminum or vinyl, subject to Commission approval and provided that the original profile of the woodwork is not altered or changed.

Primary Windows

Existing damaged or deteriorating window frames and sash shall be repaired as a first course of action. When repair is not possible, elements shall be replaced with matching wood members. Metal or vinyl replacement windows may be acceptable provided they match the original windows in design and type and that they consist of or are painted an appropriate color. Bare metal finishes generally will not be acceptable.

The size of glass lites and muntin arrangements shall not be altered without Commission approval. Special glazing, such as stained or leaded art glass, shall not be removed without Commission approval. Unusual decorative windows such as Palladian windows, oriels, bays, Gothic arch or segment tops, etc. shall not be removed or altered.

Storm Windows

Wood storm and screen windows are the most appropriate for use in the historic district. Other types of storm, screen, or combination windows will be approved provided that the new storm window mullions align with the mullions of the primary windows. Blind stop storm and screen windows (where such windows are placed inside the existing window frames rather than affixed to the exterior of the frames) are preferable and may be required in some instances. Bare metal storm and screen windows must be painted to match or complement the trim. Interior storm windows may be acceptable as long as they do not detract from the appearance of the primary windows. Care should be taken, however, when using interior storm windows because condensation tends to form on the inside surface of the primary window and could cause damage to the wood and paint if not properly ventilated.

Deliberation

I move that the HDC (approve/deny) the request to replace three wooden double-hung windows on the second story of the south (side) elevation and two wooden double-hung windows on the second story of the west (rear) elevation with double-hung wood composite replacement windows of the same size and appearance as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2024-14 – 1449 Clinton – New Construction
Applicant: Dalton Haight
District: Clinton-Peck
Current Function: Vacant Lot

Discussion

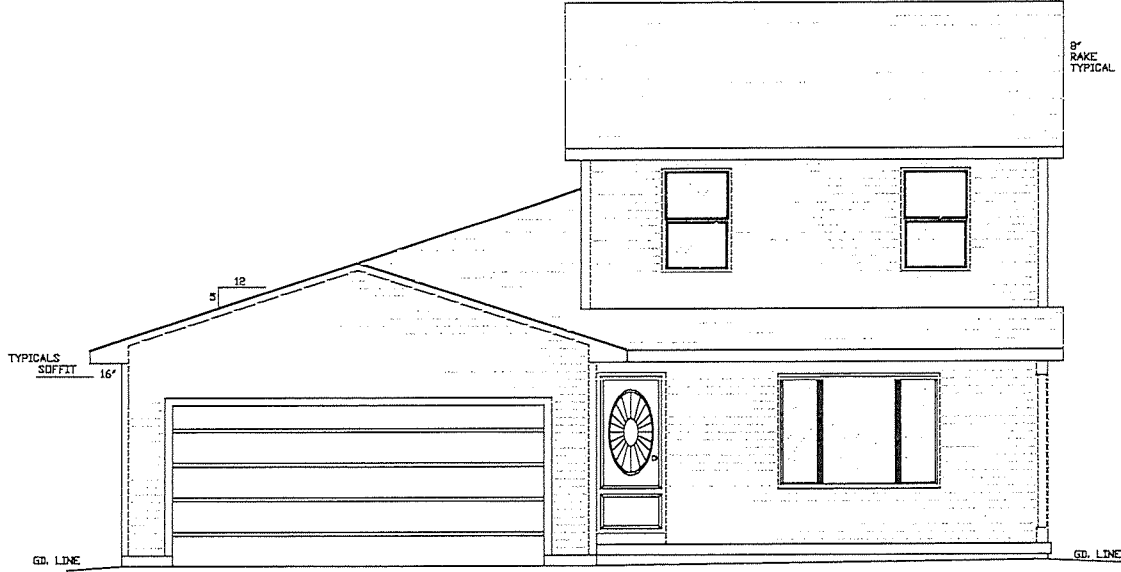
This case was tabled at the August 13, 2024 meeting.

The applicant is seeking approval to construct a new single-family house with an attached garage on the lot. Proposed elevation, floor plan, and site plan drawings are included below.



View of vacant lot from Clinton Street, looking west. Neighboring house to the north visible at right.

PB 240708



FRONT ELEVATION

SCALE: 1/4" = 1'

UP	560			SHEET NO. 1
MAIN	790			
LOWER				
SQ. FOOTAGE:			TOTAL	1,350

DRAWN BY:
G. HAIGHT

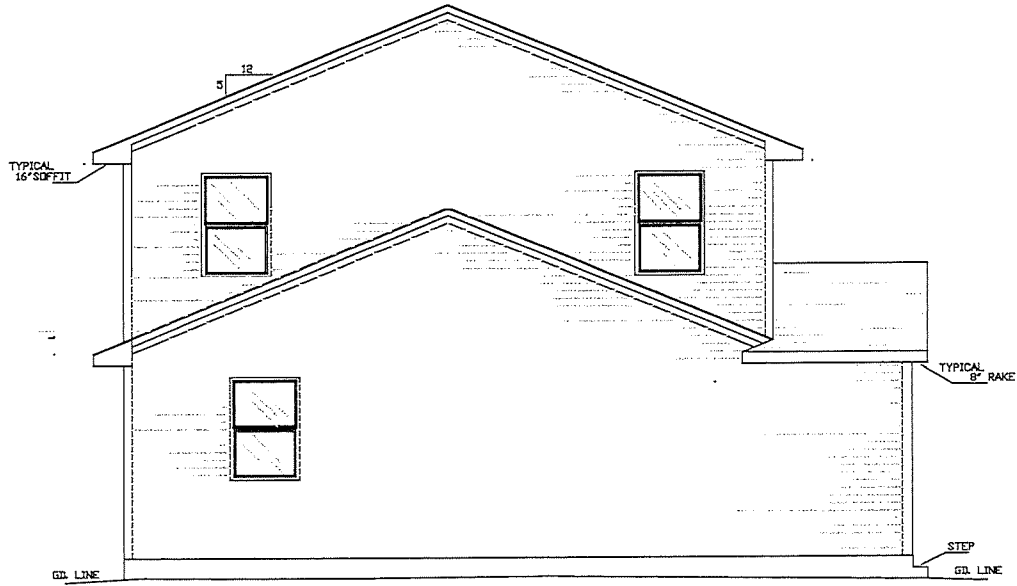
STYLE
2-STORY

PROJECT:
DARTON HAIGHT

GLEN J. HAIGHT
CUSTOM BUILDER
HOME DESIGNING - REMODELING - CABINET MAKING



PR240108



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'

SHEET NO. 4

UP	MAIN	LOWER	TOTAL
560	790		1,350

DRAWN BY:
G. HAIGHT

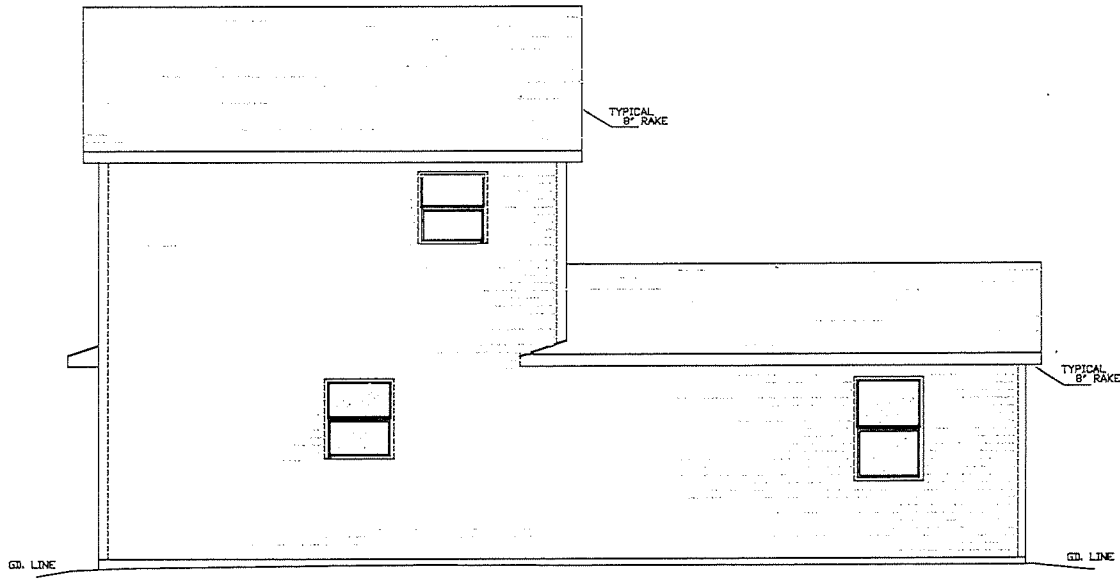
STYLE
2-STORY

PROJECT:
DALTON HAIGHT

GLEN J. HAIGHT
CUSTOM BUILDER
HOME DESIGNING - REMODELING - CABINET MAKING



PB240708



REAR ELEVATION

SCALE: 1/4" = 1'



GLEN J. HAIGHT
CUSTOM BUILDER
HOME DESIGNING - REMODELING - CABINET MAKING

PROJECT:
DALTON HAIGHT

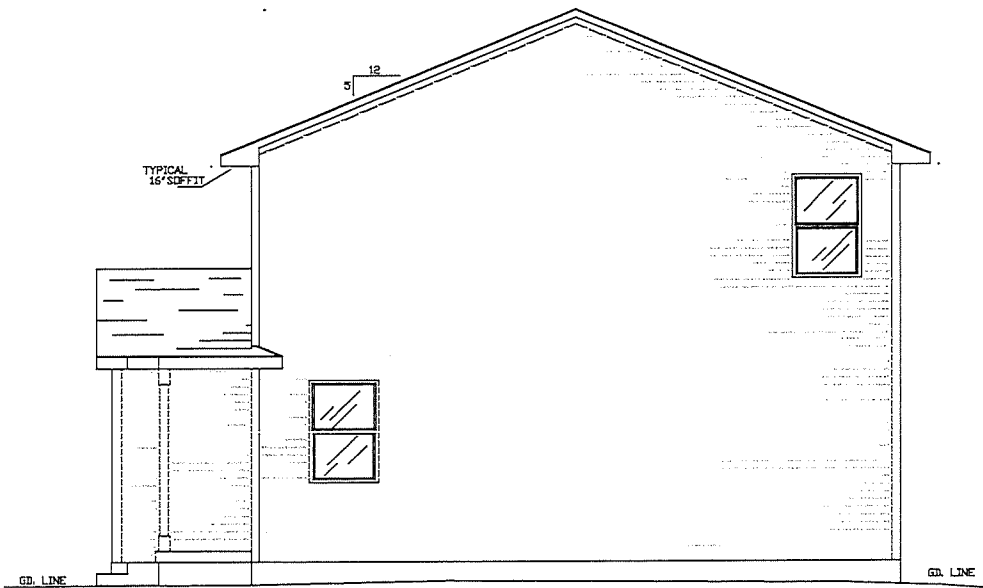
STYLE
2-STORY

DRAWN BY:
G. HAIGHT

SQ. FOOTAGE:	UP	MAIN	LOWER	TOTAL
	560	790		1,350

SHEET NO. 2

PB 240708



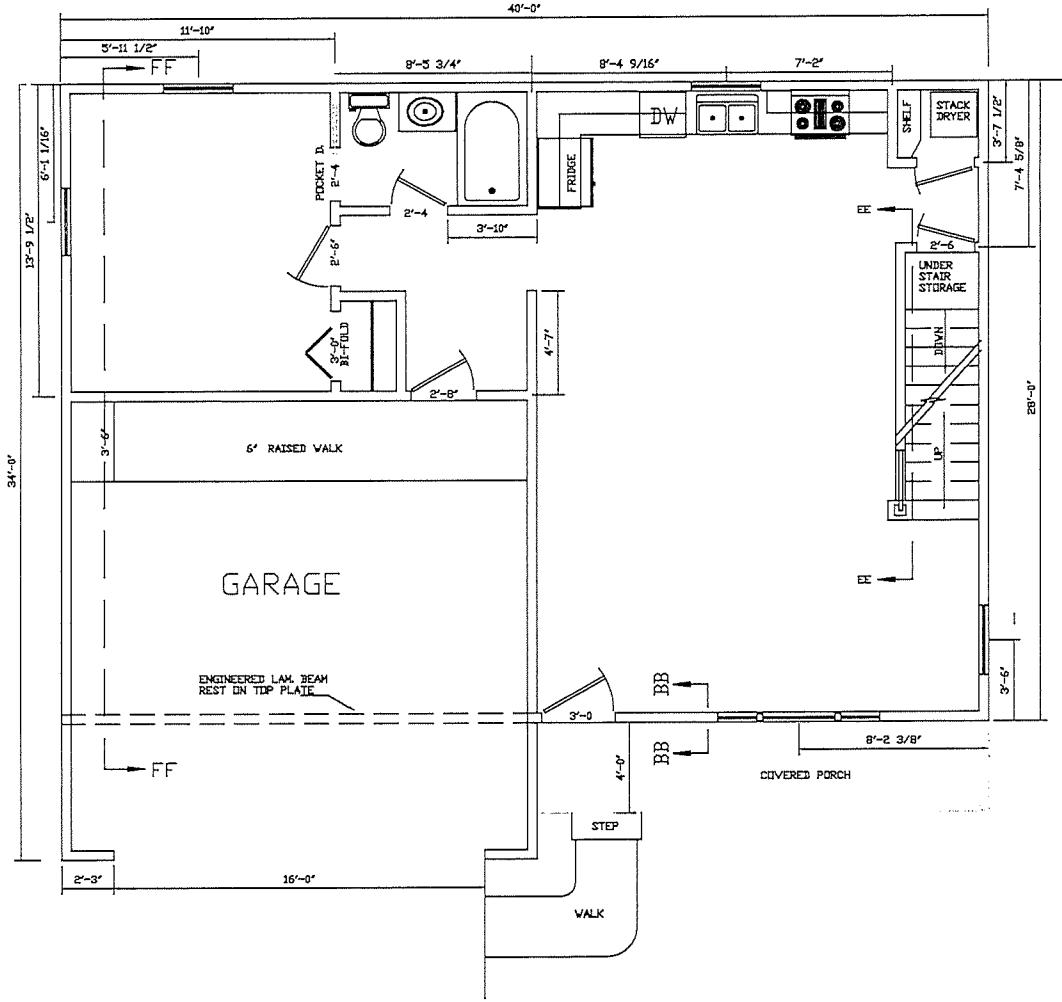
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'

GLEN J. HAIGHT CUSTOM BUILDER HOME DESIGNING - REMODELING - CABINET MAKING		PROJECT: DALTON HAIGHT	STYLE 2-STORY	DRAWN BY: G. HAIGHT	SQ. FOOTAGE:		SHEET NO. 3
					UP MANN	LOWER TOTAL	



PB240108



FIRST STORY FLOOR PLAN

SCALE: 1/4" = 1'

GLEN J. HAIGHT
 CUSTOM BUILDER
 HOME DESIGNING - REMODELING - CABINET MAKING



PROJECT: DALTON HAIGHT

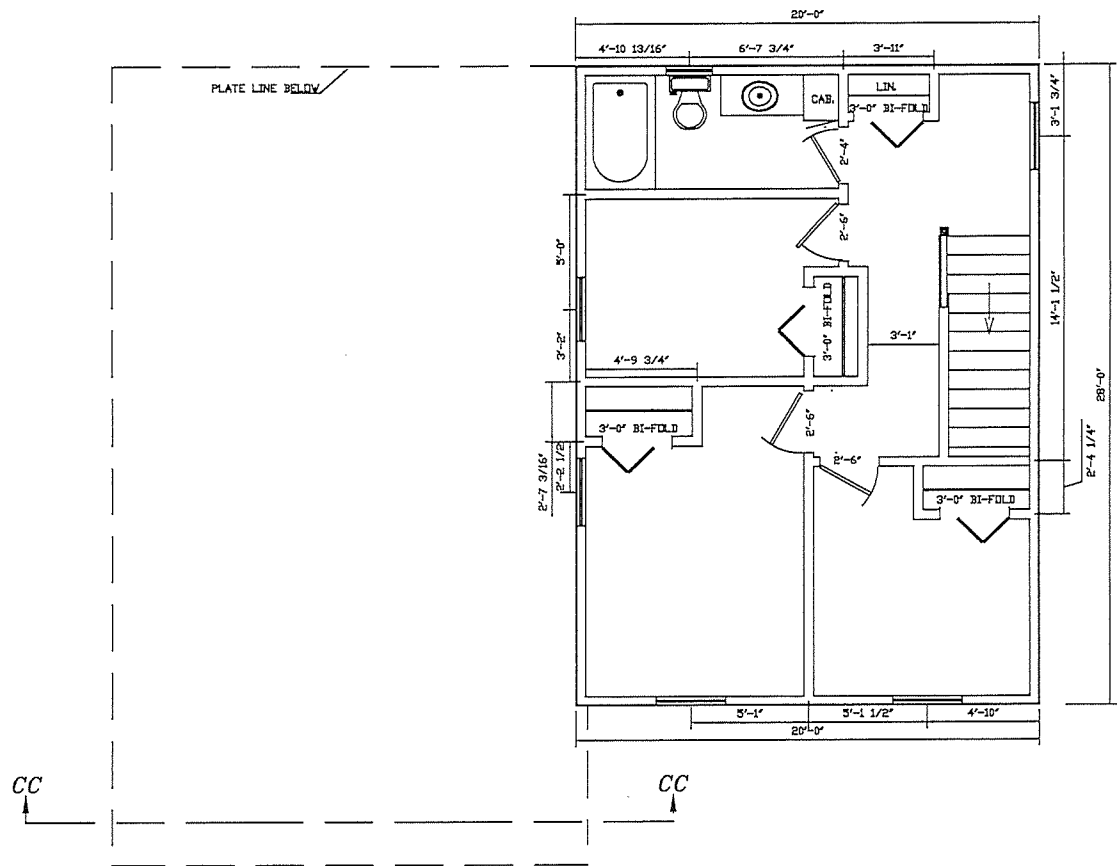
STYLE: 2-STORY

DRAWN BY: G. HAIGHT

UP	DOWN	TOTAL
560	790	1,350
SQ. FOOTAGE:		
UP	DOWN	TOTAL
560	790	1,350

SHEET NO. 6

PB 240708

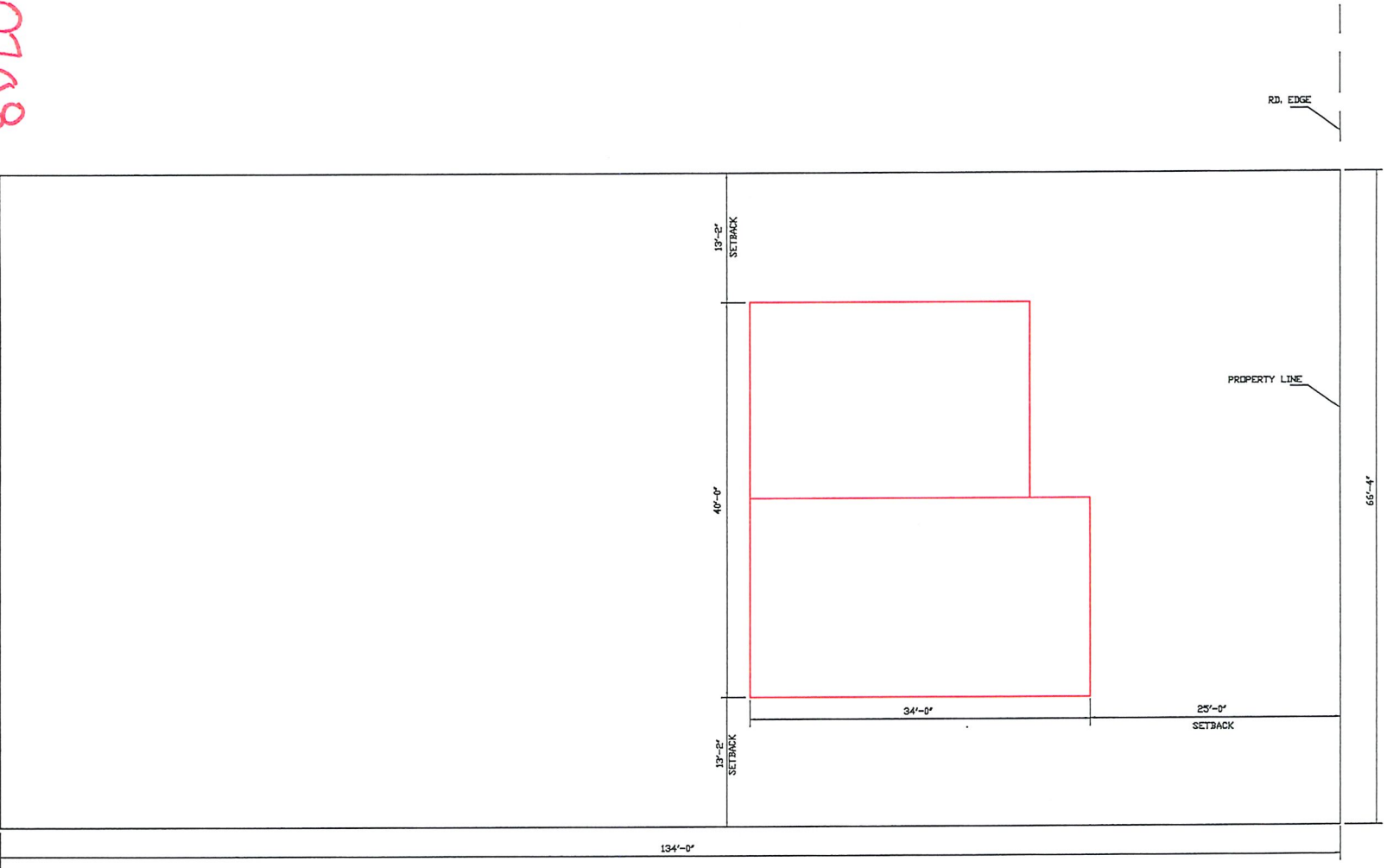


SECOND STORY FLOOR PLAN
 SCALE: 1/4" = 1"

GLEN J. HAIGHT CUSTOM BUILDER HOME DESIGNING - REMODELING - CABINET MAKING	PROJECT: DALTON HAIGHT	STYLE 2-STORY	DRAWN BY: G. HAIGHT	SQ. FOOTAGE: UP 560 MAIN 790 LOWER _____ TOTAL 1,350		SHEET NO. 7



PB240708



CLINTON St.

PLOT PLAN

SCALE: 1/8" = 1'

GLEN J. HAIGHT CUSTOM BUILDER HOME DESIGNING - REMODELING - CABINET MAKING	PROJECT: DALTON HAIGHT	STYLE 2-STORY	DRAWN BY: G. HAIGHT	SQ. FOOTAGE:		SHEET NO. 0
				UP MANN	LOWER LOWER	



Standards

DESIGN GUIDELINES FOR NEW CONSTRUCTION

Although a significant amount of the Commission's work is centered on historic structures, the construction of new structures on vacant lots within historic districts is permitted and encouraged. However, those professionals designing new structures should strive for excellence in design whether small individual infill construction within the existing historic district blocks, or larger independently sited projects. New structures should be in keeping with the existing historical character of the neighborhood or district with a design that is compatible with the size, scale, material, and color of the surrounding buildings and landscaping. Good design which responds positively to its surroundings can be done in several different ways; therefore, it is impossible to develop specific interpretations which will apply in all cases. Every site has its own design opportunities.

The following design recommendations shall be used by the Historic District Commission in evaluating requests for new construction within the districts. These basic criteria should be a part of any proposed design brought before the Commission for approval.

Recommended

Height - Relating the overall height of new construction to that of adjacent structures. As a general rule, construct new buildings to a height roughly equal to the average height of existing buildings from the historic period on and across the street.

Scale - Relating the size and proportions of new structures to the scale of adjacent buildings. Although a building may be much larger than its neighbors in terms of square footage, it should maintain the same scale and rhythm as the existing buildings.

Massing - Breaking up uninteresting box-like forms into smaller, varied masses such as are common on most buildings from the historic period. Variety of form and massing are elements essential to the character of the streetscape in historic districts. For example, if an infill site is large, the mass of the facade can be broken into a number of small bays.

Directional Expression - Relating the vertical, horizontal, or non-directional facade character of new buildings to the predominant directional expression of nearby buildings. Horizontal buildings can be made to relate to the more vertical adjacent structures by breaking the facade into smaller masses that conform to the primary

Not Recommended

Height - Introducing new construction that varies greatly in height (too high or too low) from older buildings in the vicinity. Extreme differences in building heights will have a detrimental visual effects on the appearance of surrounding property.

Scale - Creating buildings that in height, width, or massing violate the existing scale of the area. The new building should not disrupt the scale and rhythm of the streetscape, although it might be appropriate in a different location.

Massing - Introducing single, monolithic forms that are not relieved by variations in massing. Box-like facades and forms are intrusive when placed in a streetscape of older buildings that have varied massing and facade articulation.

Directional Expression - Creating strongly horizontal or vertical facade expressions unless compatible with the character of structures in the immediate area. A new building that does not relate well to its neighbors or to the rhythm of the streetscape because of an unbroken horizontal facade should be avoided.

expression of the streetscape.

Setback - Maintaining the historic facade lines of streetscape by locating front walls of new buildings in the same plane as the facades of adjacent buildings. If exceptions are made, buildings should be set back into the lot rather than closer to the street. If existing setbacks vary, new buildings should conform to historic siting patterns.

Sense of Entry - Articulating the main entrances to the building with covered porches, porticos, and other pronounced architectural forms. Entries were historically raised a few steps above the grade of the property and were a prominent visual feature of the street elevation of the building.

Roof Shapes - Relating the roof forms of the new buildings to those found in the area. Although not entirely necessary, duplication of the existing or traditional roof shapes, pitches, and materials on new construction is one way of making new structures more visually compatible.

Rhythm of Openings - Respecting the recurrent alteration of wall areas with door and window elements in the facade. Also considering the width-to-height ratio of bays in the facade. The placement of openings with respect to the facade's overall composition, symmetry or balanced symmetry should be carefully studied.

Design Expression - Composing the materials, textures and colors of the new building facade to compliment adjacent facades and relating details and decorations of the new building to those of existing surrounding buildings.

Imitations - Accurate restoration of or visually compatible additions to existing buildings and former construction, contemporary architecture that well represents our own time yet, enhances the nature and character of the historic district.

Setback - Violating the existing setback pattern by placing a new building in front of or behind the historic facade line. Placing buildings at odd angles to the street, unless in an area where diverse siting already exists, even if property setback is maintained, should be avoided.

Sense of Entry - Introducing facades with no strong sense of entry. Side entries or entries not defined by a porch or similar transitional element result in an incompatible "flat" first-floor facade.

Roof Shapes - Introducing roof shapes, pitches, or materials not traditionally used in the area.

Rhythm of Openings - Introducing incompatible facade patterns that upset the rhythm of openings established in surrounding structures. For example, glass walls and window and door shapes and locations which are disrespectful to the adjoining buildings.

Design Expression - Violating the existing character of the district by introducing non-compatible materials, textures, colors, details, and decoration on new buildings.

Imitations - Replicating or imitating the styles, motif, or details of older periods. Such attempts detract from the character of the district by compromising what is truly historic.

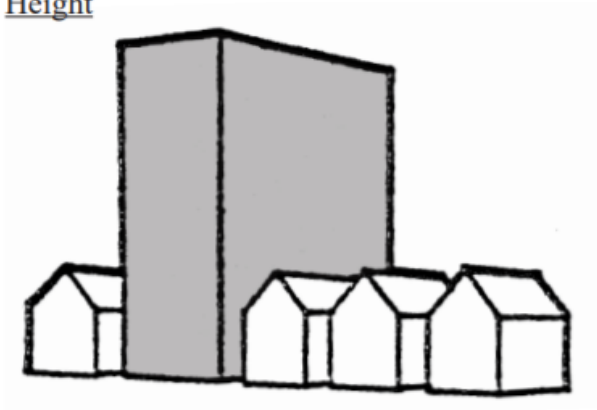
Recommended

Height

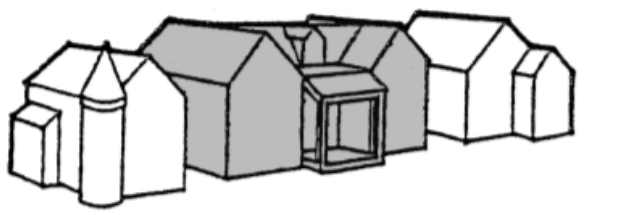


Not Recommended

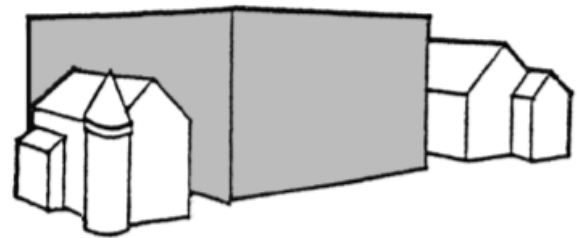
Height



Scale



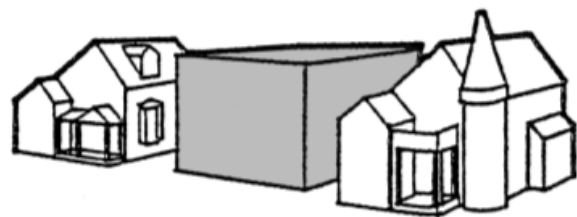
Scale



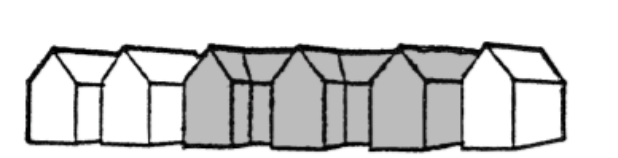
Massing



Massing



Directional Expression



Directional Expression

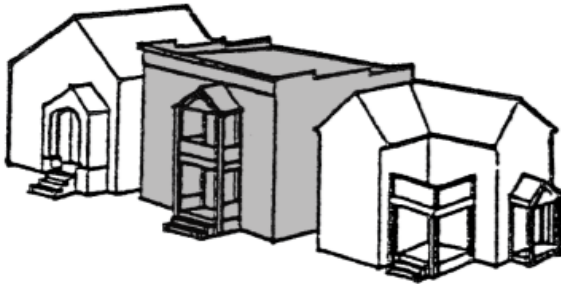


Recommended

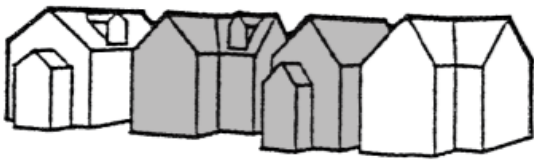
Setback



Sense of Entry



Roof Shapes



Rhythm of Openings

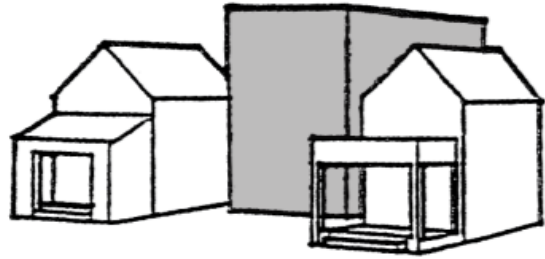


Imitations

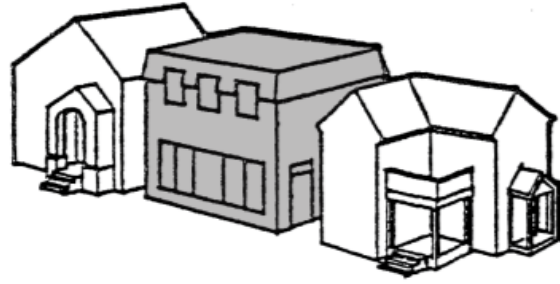


Not Recommended

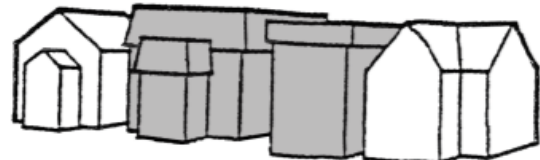
Setback



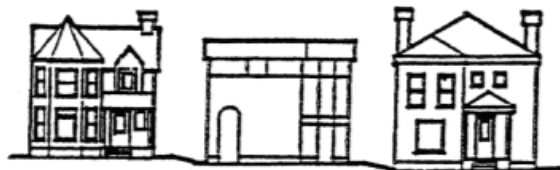
Sense of Entry



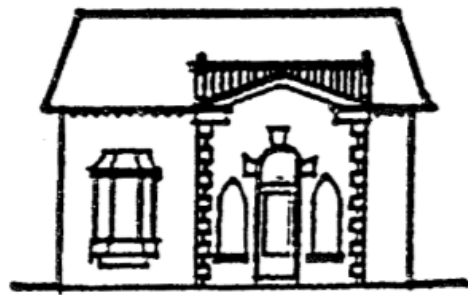
Roof Shapes



Rhythm of Openings



Imitations



Deliberation

I move that the HDC (approve/deny) the request to construct a new single-family house with an attached garage on the lot as depicted in the drawings included in the August 13, 2024 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

IV. NEW BUSINESS

**Case 2024-15 – 1148 Terrace – Siding
Applicant: Steven Roberts
District: McLaughlin
Current Function: Residential**

Discussion

The applicant is seeking approval to replace the siding with a double 4 vinyl siding. More information will be provided prior to the meeting.



View of building from Terrace Street, looking north.



View from Terrace Street, looking east.



Detail view of front porch with section of original wood siding visible above front door.

Standards

RESIDING AND TRIM CLADDING GUIDELINES

General

The Muskegon Historic District Commission does not endorse the residing of structures within the Historic districts. It is the policy of this Commission that the original fabric of the building should be repaired or replaced where necessary with the original building material.

In cases where the repair or replacement with like materials is impractical or where it can be demonstrated that the original materials will no longer hold paint or that the original materials are so badly deteriorated that they can no longer be reasonably repaired, the residing standards below shall strictly be adhered to.

Definitions

For the purpose of this statement, the terms “residing materials” and “trim cladding” shall be understood to encompass the use of any residing materials such as aluminum, vinyl, steel, hardboard, wood, masonry, or molded urethane which is designed to replace or cover all, or any part, of an exterior wall, trim work or other building element or a structure within a designated historic district.

Purpose

The Commission shall review all applications for Certificates of Appropriateness proposing the installation of residing materials or trim cladding as individual cases. Each application shall be decided on its own merit. No person should interpret any Commission approval for residing or trim cladding as being precedent setting. Unrestricted use of residing materials or trim cladding will not be allowed.

In any case where residing materials or trim cladding are proposed for use by a property owner or siding contractor, the property owner shall be required to submit a signed letter stating in detail the intent and scope of the proposed residing or trim cladding installation. Such a letter is to also include the identification of any deterioration or problems occurring relative to the existing siding or exterior building fabric. If known, the cause and extent of this deterioration must be clearly stated.

The following conditions of installation shall be met by all proposals for residing or trim cladding:

1. All existing deterioration shall be made structurally sound and its causes, insofar as possible, shall be corrected prior to the installation of residing materials or trim cladding.
2. Any installation of residing materials shall simulate the appearance of the original building material that it is intended to cover. This simulation shall take into account the size, shape or profile, texture, and linear direction of the original building material.
 - a. The residing material shall be similar in appearance and dimension to the original siding. The exposure to the weather of the new siding shall range within one inch of the nominal dimension of the original siding. The Historic District Commission shall have the authority to waive this requirement in the event that they believe a different design or

dimension siding would be more appropriate to the architectural character of the Historic District.

- b. A proposed color shall be appropriate as determined by the Commission.
 - c. Generally, wood grain textures are not approved by the Commission. However, the appropriateness of a specific siding texture shall be determined on an individual case basis.
3. Any installation of trim cladding shall adhere to the following guidelines for the treatment for architectural trim elements.
- a. Existing cornice or building trim elements shall not be covered or replaced without Commission approval. Commission approval will depend upon how closely the trim cladding or new trim elements duplicate the appearance of the existing building trim elements.
 - b. The wall siding material shall not extend over the existing trim members such as window and door trim, sills, facias, soffits, frieze members and boards, brackets, aprons, corner boards, trim boards, skirt boards, or any other characteristic moldings or architectural features.
 - c. If the above mentioned trim members are to be clad, they shall be covered with custom formed cladding which shall closely approximate the shapes and contours of the existing moldings or trim. Distinctive or unusual trim or architectural elements shall not be clad without prior consideration and Commission approval.
 - d. No building trim elements or architectural features are to be removed or altered to facilitate the installation of the new siding or trim cladding without approval of the Historic District Commission.

In most cases the soffit cladding material shall run parallel and not perpendicular to the plane of the wall.

Deliberation

I move that the HDC (approve/deny) the request to replace the siding with a double 4 vinyl siding as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2024-16 – 407 W. Muskegon – Side Porch Stairs
Applicant: Elizabeth Kuyt
District: Houston
Current Function: Residential

Discussion

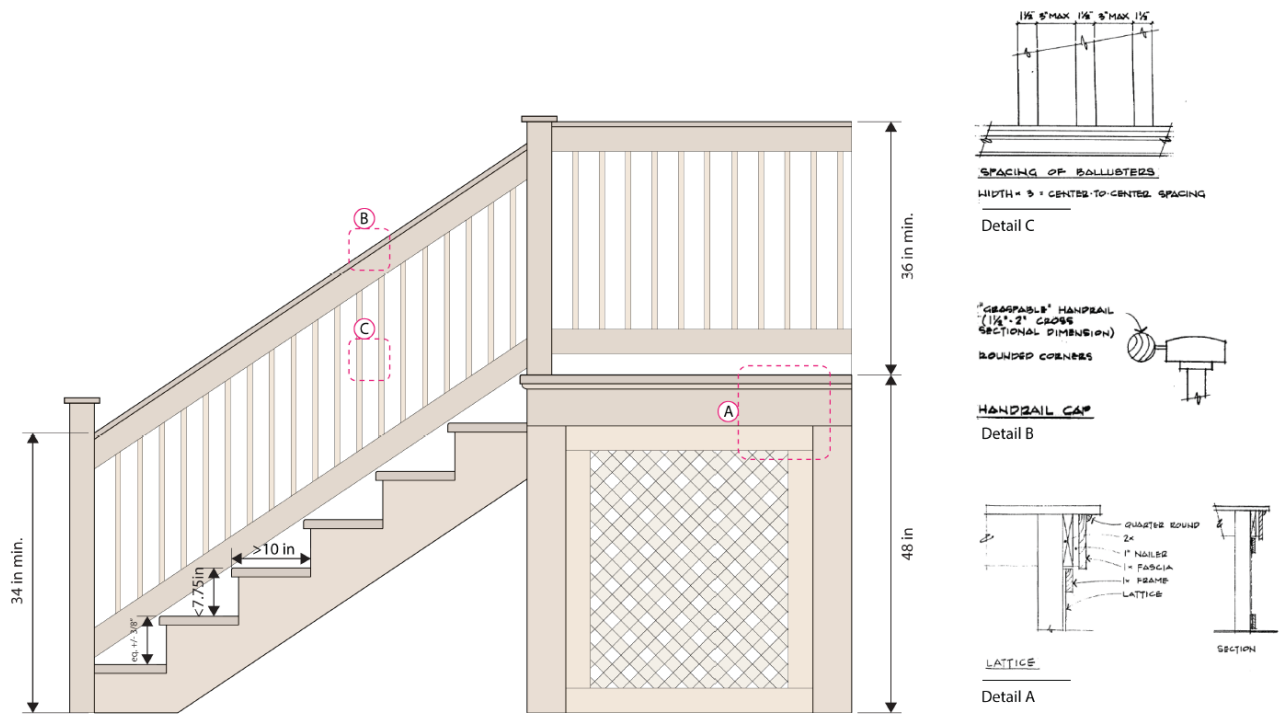
The applicant is seeking approval to remove and replace the existing porch and stairs on the east (5th Street) side of the house with a code compliant, more historically appropriate stair.



View of building from W. Muskegon Avenue, looking south. Side porch stairs visible at left.



Detail view of side porch and stairs with existing dimensions.



Proposed replacement porch and stairs with HDC local standards design details referenced at right.

Standards

See Porch and Deck Standards and Guidelines in Case 2024-09, above.

Deliberation

I move that the HDC (approve/deny) the request to remove and replace the existing porch and stairs on the east (5th Street) side of the house with a code compliant stair as depicted in the September 10, 2024 HDC staff report as long as the work meets all zoning requirements and the necessary permits are obtained.

Case 2024-17 – 416 W. Webster – Shutters
Applicant: Robert Lusby
District: National Register
Current Function: Residential

Discussion

The applicant is seeking approval to install pine shutters on the front elevation of the house. The work has already been completed.



View of building from W. Webster Avenue, looking north.



Detail view of shutters.

Standards

No specific standards apply.

Deliberation

I move that the HDC (approve/deny) the request to install pine shutters on the front elevation of the house as long as the work meets all zoning requirements and the necessary permits are obtained.

V. OTHER BUSINESS

Clarification on Case 2024-08 at 1326 4th Street – This was reviewed as a walk-on case at the July 2nd meeting and the applicant is seeking clarification on the HDC’s approved motion, which read as follows:

“Remove the rotting soffit and fascia and replace the soffit with aluminum vented soffits that match the existing direction of the soffit boards, and retain the original fascia molding or, where rotted, replace with a similar profile wood molding across the front and sides of the house and using a flat fascia on the rear elevation, if needed.”

2024 Staff Approval Update #2 – Since the last update in June 2024, staff has approved nine projects:

- 1562 Peck – Reroof house
- 1326 4th – Reroof house
- 280 W. Muskegon – Restore stained glass windows and install a storm window
- 280 W. Muskegon – Repairs to flat roof
- 1562 Peck – Reroof shed
- 1516 Clinton – Reroof house
- 1121 Peck – Restore porch (no change in appearance)
- 280 W. Muskegon – Tuck pointing, limestone repair, cleaning and sealing, and reinstalling original decorative lamp in front of the building
- 1148 Terrace – Reroof house

New HDC Member – Corbin Davis has been appointed to the Historic District Commission following K. George’s resignation.

VI. ADJOURN